Middleton Westport Joint Zoning Committee
Agenda

Wednesday May 27, 2015 7:00 PM
To be Held in Council Chambers at City Hall
7426 Hubbard Avenue, Middleton WI, 53562

1) **Approve Minutes of 4-29-15**

2) **Discussion and Action on Revised Back Nine Residences Concept Plan for Entire Parcel, Specific Implementation Plan and Design Review for First Phase of Project, Certified Survey Map, and Proposed Landscape Easement for a Portion of the Southern-Most Lot, Bishops Bay Parkway (PC 2438)**

Notice is hereby given that a majority of the members of the Common Council may attend this meeting to gather information about a subject over which the Common Council has decision–making responsibility. If a quorum of the Common Council attends this meeting, no action will be taken by the Common Council at this meeting.

Any person who has a qualifying disability as defined by the American With Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format must contact the City Administrator at (608) 827-1050, 7426 Hubbard Ave., Middleton, WI at least 24 hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

POSTED: 5/22/2015 10:04 AM

MINUTES
MIDDLETON/WESTPORT JOINT ZONING COMMITTEE
WEDNESDAY APRIL 29, 2015 7:00 pm

PRESENT: Ron Bowen, Brad Robinson and John Van Dinter, Town of Westport; Ed Elskamp, City of Middleton
ABSENT: Cindy Zellers, City of Middleton
ALSO PRESENT: Tom Wilson, Eileen Kelley

Chair Bowen called the meeting to order at 7:02 p.m.

1. Approve Minutes of 3-26-15

Moved by Elskamp, seconded by Robinson, to approve the minutes of 3-26-15. Motion carried 4-0.

2. Revised Back Nine Residences Site Plan, Bishops Bay Parkway (PC 2438)

Staff provided a brief review of the history of the project and the approved zoning for the Community of Bishops Bay project. The current submittal does comply with the density as previously approved for the neighborhood.

Van Dinter and Bowen suggested that a landscape buffer on approximately 300 feet of the southern-most lot would help provide a buffer to the existing residential neighborhood to the south. A tree inventory should be prepared as well as a management plan, which will be reviewed at the next meeting along with the proposed landscape easement.

It was the consensus of the Committee members to not take any action at this time and place this project on the May meeting agenda. At that meeting, the Committee will review the concept plan for the entire parcel, the first phase of the project, the Certified Survey Map, and the proposed landscape easement for a portion of the southern- most lot.

3. **Adjourn**

Moved by Robinson, seconded by Elskamp, to adjourn, motion carried 4-0, and the meeting ended at 8:04 p.m.

EILEEN KELLEY

OFFICE OF PLANNING & ZONING ADMINISTRATION

CITY OF MIDDLETON
7426 HUBBARD AVENUE
MIDDLETON, WI 53562-3118

PH 608.821.8370 FAX 608.827.1080
E-MAIL: ekelley@ci.middleton.wi.us
WEB: www.cityofmiddleton.us

TO: Middleton/Westport Joint Zoning Committee members

FROM: Eileen M. Kelley

RE: Agenda and packet for May 27, 2015 meeting

DATE: May 21, 2015

The agenda for the May 27, 2015 Middleton/Westport Joint Zoning Committee is attached. Also attached is the following:

- Overall site plan for the Back Nine Residences
- Site plan and elevations for the first phase of the Back Nine Residences (two of the three apartment buildings and the clubhouse, pool and community center).
- Certified Survey Map for the parcel.
- Letters from Joe Pichette, neighbor on Briggs Rd., and Rachel Neill, Community of Bishops Bay resident.

City and Town staff are currently working on a landscape easement for the southern portion of the property.

The Joint Zoning Committee is asked to concur with the approval actions, including the conditions of approval as specified in the minutes and included below: (Excerpt from the Middleton Plan Commission meeting of May 12, 2015, with the motion highlighted.)

1. <u>Specific Implementation Plan (SIP) Modification and Design Review for Clubhouse Complex and Building #1 and Building #2 – Back Nine Residences, LLC, Bishops Bay Pkwy. (PC 2426)</u>

Staff passed out a letter from Terrence Wall dated 5-8-15 that was received on 5-12-15 addressing neighborhood concerns about multi-family housing at this location. Attoun stated that staff supports multi-family housing as was approved in the master plan for this development and is comfortable with the level of density being proposed by the developer.

Attoun briefed the Plan Commission on staff's concerns over the lack of parking provided for the clubhouse complex, that includes the welcome center and the pool and recommended deferral until an agreement can be reached with the developer over parking for these amenities.

Kirk Keller of Plunkett Raysich Architects represented the developer and worked through the list of staff contingencies as recommended. Keller stated that the developer wants the site to be efficiently parked. They will encourage the use of the underground parking stalls for the apartment tenants and believe that the surface lots can be partially used by visitors to the clubhouse complex. If parking becomes an issue, it can be added in the next phase of the development (building three of the apartment complex). Keller stated that this is a community and is not planned for people to drive to

the site. Keller stated that a very high occupancy at the clubhouse complex would be 8-12 people in the meeting room, 8-10 people in the exercise room, 30-40 people in the main room, and 40 people in the pool.

Keller addressed the staff recommendation for additional plantings on the south side of the building and did not feel this was necessary because there is a terraced wall behind the building. Elskamp recommended that bushes be added to the terraced areas, and Keller agreed.

Keller addressed the staff recommendation for the fire access route to be constructed prior to the occupancy of building 1 and felt that it was unnecessary because the building already had sufficient access. Keller has worked with the Middleton Fire Department to ensure adequate fire protection. Hilbert stated that if the Middleton Fire Department does not require the access at this phase, he is comfortable with it being added in the next phase.

Hilbert stated that if the Plan Commission requires additional parking for the clubhouse complex, it is encouraging people to drive to the site. Mayor Sonnentag stated that the next phase of the development can include additional parking if needed at that time. Hilbert stated that there are not going to be significant changes in the next couple of weeks that would warrant holding up approvals at this time.

Moved by Hilbert, seconded by Wexler, to approve the SIP and design review contingent upon:

- Resolution of staff comments including engineering staff review of plans dated 4/13/15.
- Provision of a landscaping plan showing additional landscaping along the southeast side of Building 2 along the terraced areas.
- The development and acceptance by the MWJZC and the PC of a tree inventory, management plan, and a permanent landscaping easement for the wooded area in the property southwest of the cul-de-sac of Callaway Court
- Satisfaction of the conditions attached to the approval of the certified survey map (CSM).
- Submittal of updated documents with updated titles.
- Satisfaction of fire access routes as required by the Middleton Fire Department
- Concurrence by the MWJZC for the overall plan for this lot and for the specific plan for this first phase.
- Any other previously approved contingencies.

Motion carried (7-0).

PLUNKETT RAYSICH ARCHITECTS, LLP

T. Wall Enterprises

BISHOPS BAY - BACK NINE - CLUBHOUSE COMPLEX
BISHOPS BAY PARKWAY

North View Along Bishop's Bay Parkway

West View Along Bishop's Bay Parkway

140190-03

12-08-14 BISHOPS BAY - BACK NINE - CLUBHOUSE COMPLEX

PLUNKETT RAYSICH ARCHITECTS, LLP

T. Wall Enterprises

BISHOPS BAY - BACK NINE - BLDG 1
BISHOPS BAY PARKWAY

WEST ELEVATION

EAST ELEVATION

NORTHEAST ELEVATION

NORTH ELEVATION

SOUTH ELEVATION

SOUTHEAST ELEVATION

140190-02
12-08-14

PLUNKETT RAYSICH ARCHITECTS, LLP

T. Wall Enterprises

BISHOPS BAY - BACK NINE - BLDG 1
BISHOPS BAY PARKWAY

View Along Bishops Bay Parkway

Detail at South Elevation

140190-02
12-08-14

BISHOPS BAY - BACK NINE - BUILDING 1

PLUNKETT RAYSICH ARCHITECTS, LLP

T. Wall Enterprises

BISHOPS BAY - BACK NINE - BLDG 2
BISHOPS BAY PARKWAY

EAST ELEVATION

NORTHWEST ELEVATION

SOUTHWEST ELEVATION

SOUTH ELEVATION

NORTH ELEVATION

NORTHEAST ELEVATION

140190-03

12-08-14

PLUNKETT RAYSICH
ARCHITECTS, LLP

T. Wall Enterprises

BISHOPS BAY - BACK NINE - BLDG 2
BISHOPS BAY PARKWAY

Main Entry from Parking

Detail at South Elevation

140190-03
12-08-14 BISHOPS BAY - BACK NINE - BUILDING 2

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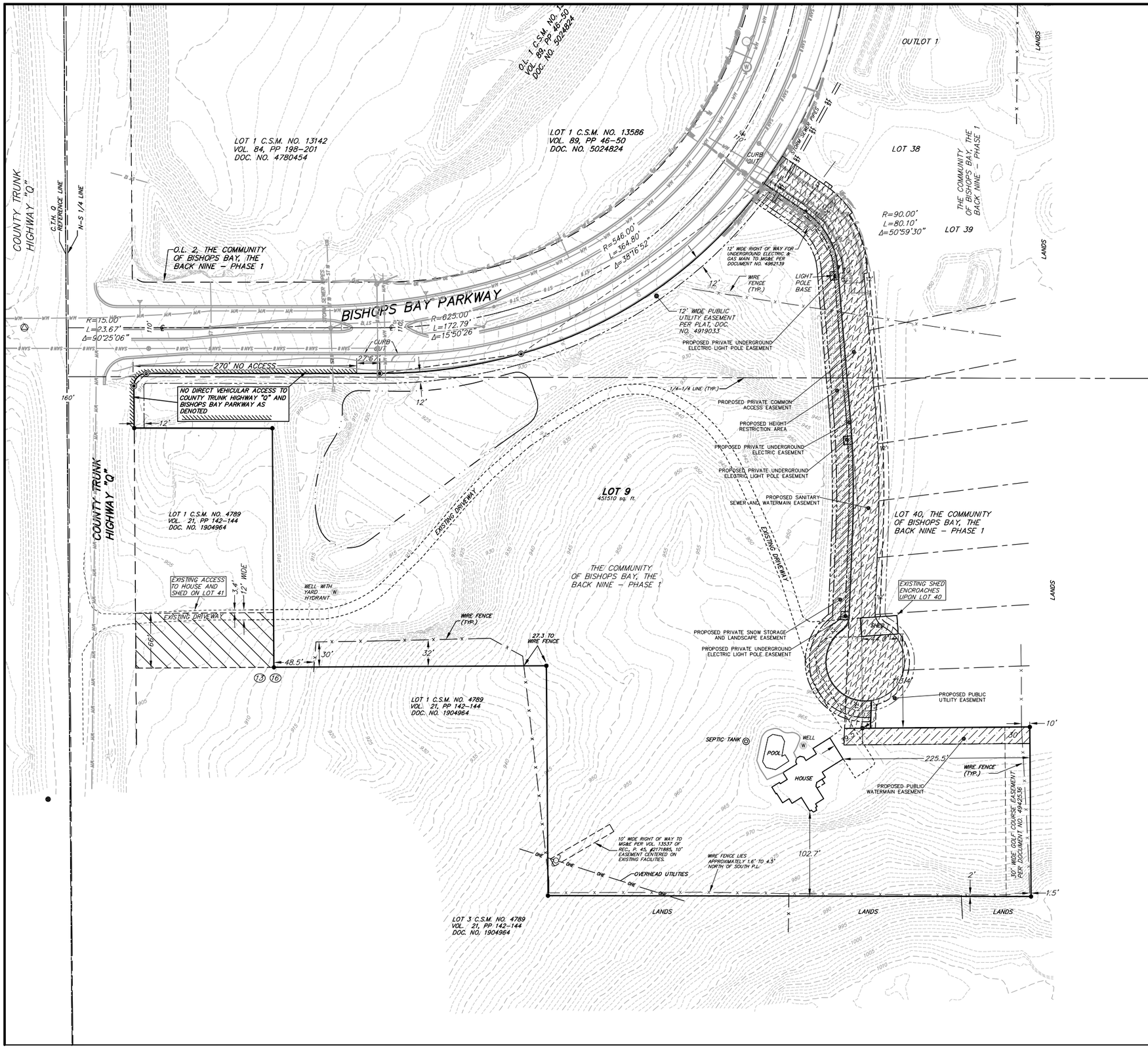

SURVEY LEGEND

- FOUND 1 1/4" ø IRON ROD
- FOUND 3/4" ø IRON ROD

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING FIELD INLET
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WELL
- EXISTING WATER MANHOLE
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE

TOPOGRAPHIC LINEWORK LEGEND

- UTV — EXISTING UNDERGROUND CABLE TV
- UT — EXISTING UNDERGROUND TELEPHONE
- x — EXISTING WIRE FENCE
- G — EXISTING GAS LINE
- UE — EXISTING UNDERGROUND ELECTRIC LINE
- OHE — EXISTING OVERHEAD ELECTRIC LINE
- SAN — EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST — EXISTING STORM SEWER LINE (SIZE NOTED)
- WM — EXISTING WATER MAIN (SIZE NOTED)
- 820 — EXISTING MAJOR CONTOUR
- 818 — EXISTING MINOR CONTOUR

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- SIDEWALK

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Existing Conditions Plan

The Back Nine - Bishops Bay
City of Middleton
Dane County, Wisconsin

REVISIONS		
NO.	DATE	REMARKS
4	02/24/15	City Submittal
5	03/16/15	City Submittal

REVISIONS		
NO.	DATE	REMARKS
1	11/5/14	City Submittal
2	11/24/14	City Submittal
3	01/06/15	City Submittal

SCALE
AS SHOWN

DATE
10/20/14

DRAFTER
JFEL

CHECKED

PROJECT NO.
140224

SHEET
1 OF 4

DWG. NO.
C – 1.0

16 Mar 2015 - 2:47p M:\T Well Enterprises LLC\140224_Bishops Bay Lot 41\CADD\140224_Site Concept.dwg by: jfel

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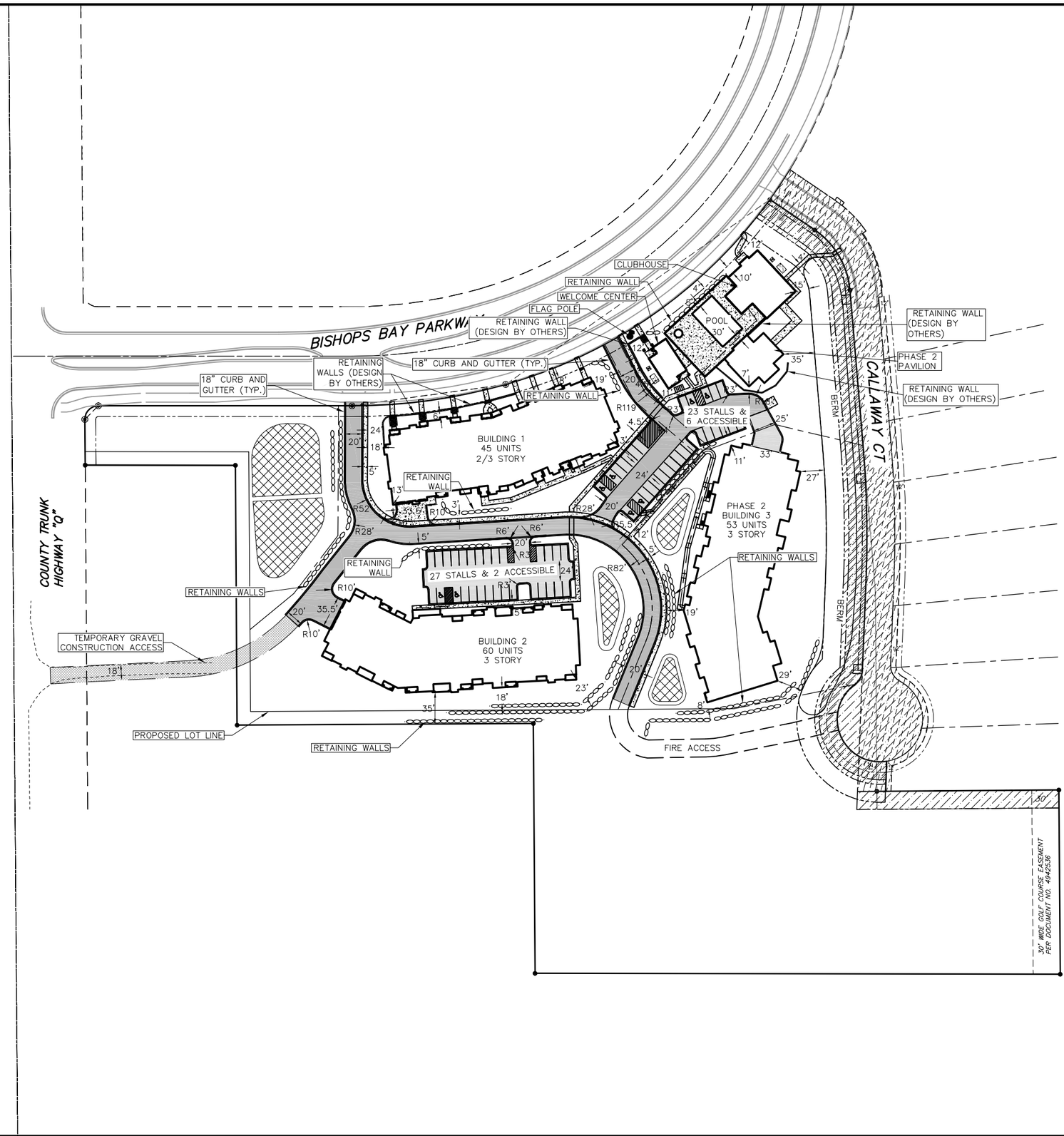

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GRAPHIC SCALE FEET

0 30 60 120

SITE PLAN LEGEND

- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY
- PROPOSED BUILDING OUTLINE
- PROPOSED BOULDER RETAINING WALL
- PROPOSED BLOCK OR CONCRETE RETAINING WALL
- PROPOSED ACCESSIBLE ROUTE
- PROPOSED HANDICAP PARKING
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT
- PROPOSED STORMWATER FACILITY

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Site Plan

The Back Nine - Bishops Bay
City of Middleton
Dane County, Wisconsin

REVISIONS

NO.	DATE	REMARKS
4	02/24/15	City Submittal
5	03/16/15	City Submittal

REVISIONS

NO.	DATE	REMARKS
1	11/5/14	City Submittal
2	11/24/14	City Submittal
3	01/06/15	City Submittal

SCALE
AS SHOWN

DATE
10/20/14

DRAFTER
JFEL

CHECKED

PROJECT NO.
140224

SHEET
2 OF 4

DWG. NO.
C – 2.0

16 Mar 2015 - 2:35p M:\T Wall Enterprises LLC\140224_Bishops Bay Lot 41\CADD\140224_Site Concept.dwg by: jfel

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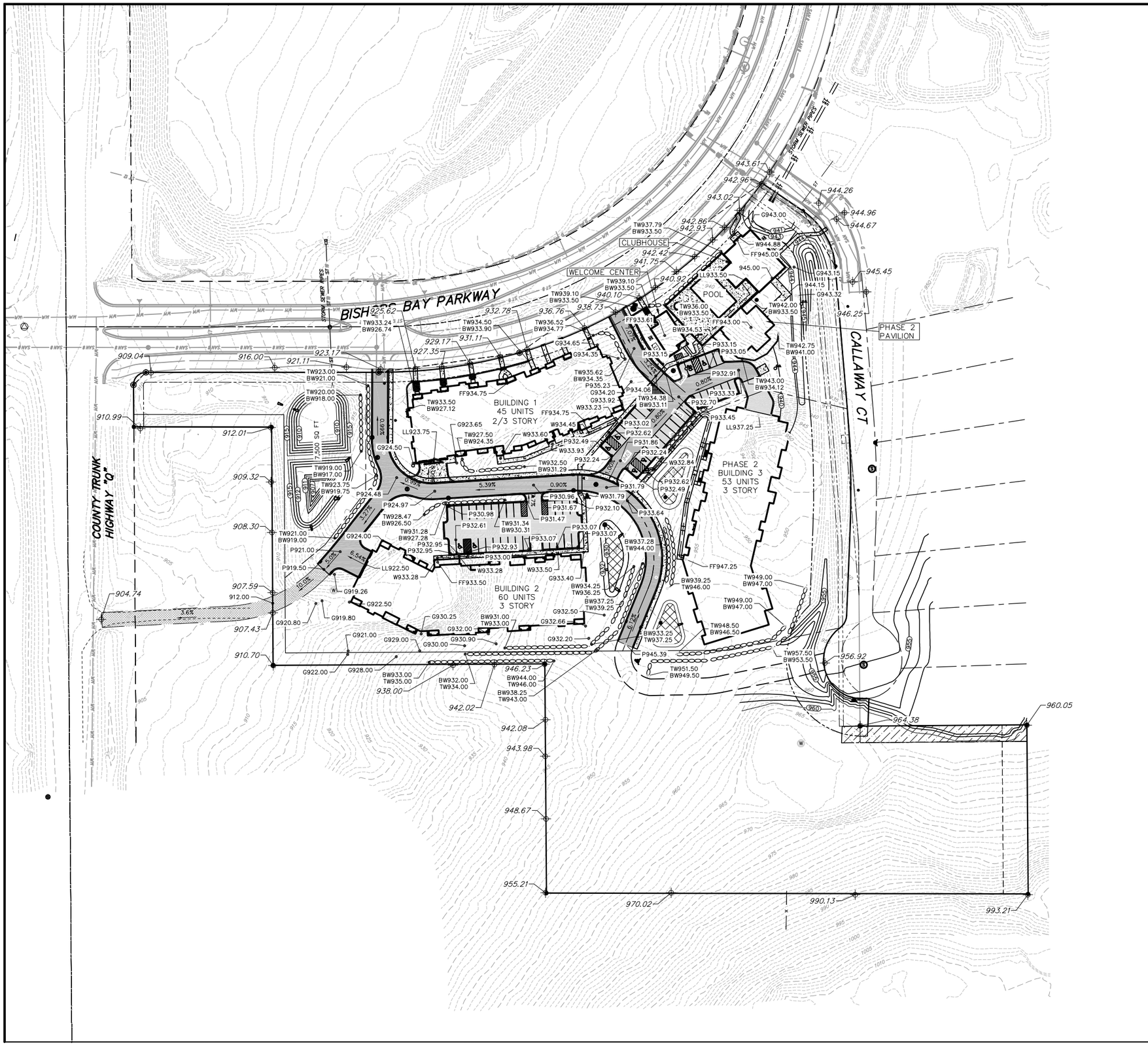

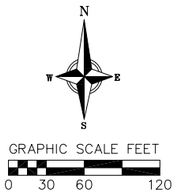

GRADING LEGEND

- 900 — EXISTING MAJOR CONTOURS
- 900 — EXISTING MINOR CONTOURS
- 900 — PROPOSED MAJOR CONTOURS
- 900 — PROPOSED MINOR CONTOURS
- 2.92% — PROPOSED SLOPE ARROWS
- 900.61 — EXISTING SPOT ELEVATIONS
- 900.61 — PROPOSED SPOT ELEVATIONS
- PROPOSED BOULDER RETAINING WALL
- PROPOSED BLOCK OR CONCRETE RETAINING WALL
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT

ABBREVIATIONS

W – TOP OF SIDEWALK
FF – FINISHED FLOOR
LL – LOWER LEVEL
TW – TOP OF WALL
BW – BOTTOM OF WALL
G – GRADE
P – PAVEMENT

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Grading Plan

The Back Nine - Bishops Bay
City of Middleton
Dane County, Wisconsin

REVISIONS

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SCALE
AS SHOWN

DATE
10/20/14

DRAFTER
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PROJECT NO.
140224

SHEET
3 OF 4

DWG. NO.
C – 3.0

16 Mar 2015 - 2:45p M:\T Wall Enterprises LLC\140224_Bishops Bay Lot 41\CADD\140224_Site Concept.dwg by: jfel

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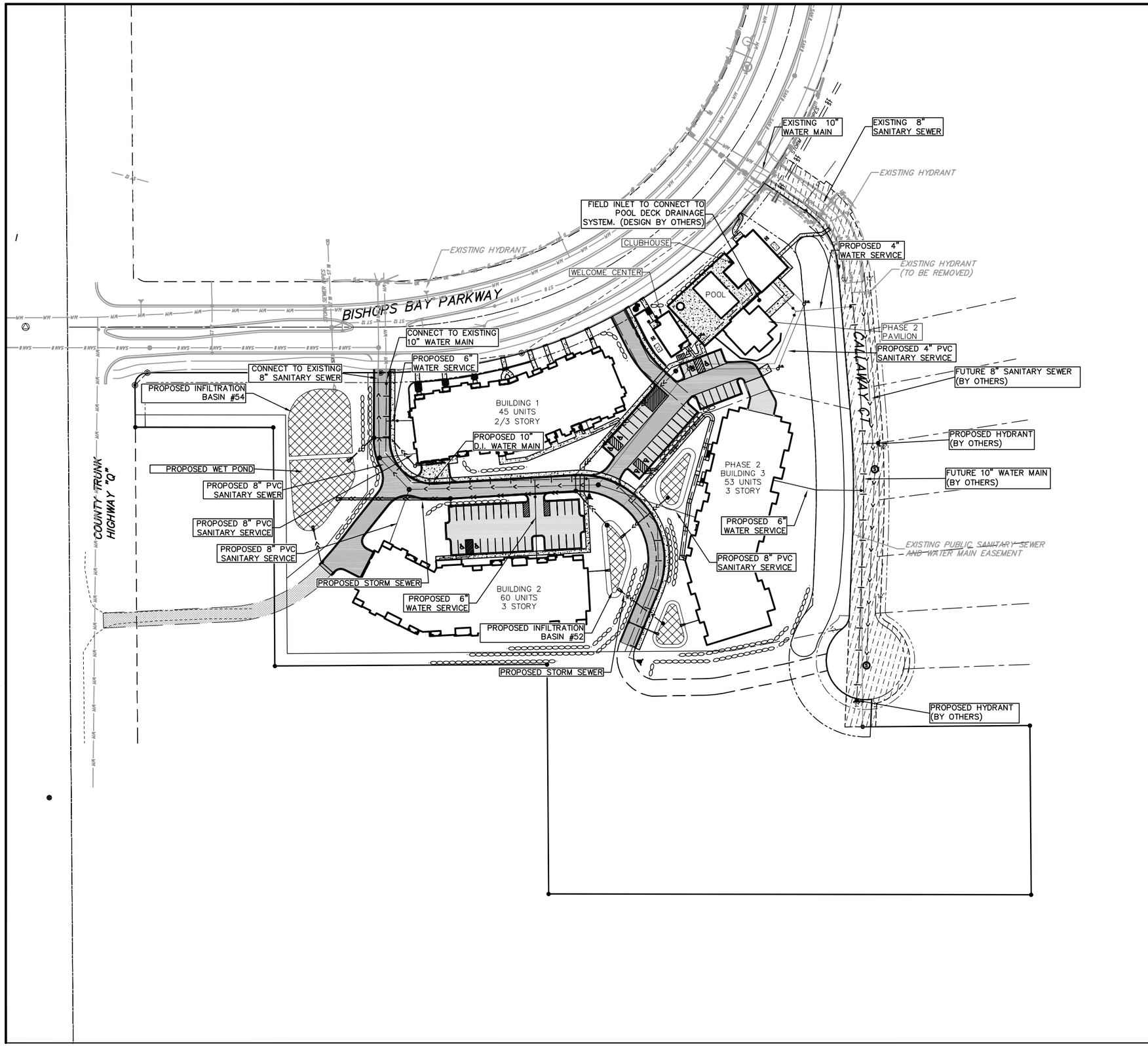

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GRAPHIC SCALE FEET
0 30 60 120

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING FIELD INLET
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- ST — EXISTING STORM SEWER LINE (SIZE NOTED)
- WM — EXISTING WATER MAIN (SIZE NOTED)

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- SIDEWALK

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER CURB INLET W/MANHOLE
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- WATER MAIN
- WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- WATER VALVE
- PROPOSED STORMWATER FACILITY

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Utility Plan

The Back Nine - Bishops Bay
City of Middleton
Dane County, Wisconsin

REVISIONS		
NO.	DATE	REMARKS
4	02/24/15	City Submittal
5	03/16/15	City Submittal

REVISIONS		
NO.	DATE	REMARKS
1	11/5/14	City Submittal
2	11/24/14	City Submittal
3	01/06/15	City Submittal

SCALE
AS SHOWN

DATE
10/20/14

DRAFTER
JFEL

CHECKED

PROJECT NO.
140224

SHEET
4 OF 4

DWG. NO.
C – 4.0

16 Mar 2015 - 2:37p M:\T Wall Enterprises LLC\140224_Bishops Bay Lot 41\CADD\140224_Site Concept.dwg by: jfel

CERTIFIED SURVEY MAP No._____

LOT 9, THE COMMUNITY OF BISHOPS BAY, CALLAWAY COURT ADDITION, AS RECORDED IN VOLUME _____ OF PLATS, ON PAGES, _____, AS DOCUMENT NUMBER _____, DANE COUNTY REGISTRY AND LOCATED IN THE SW ¼ AND THE NW ¼ OF THE SE ¼ OF SECTION 31, TOWNSHIP 08 NORTH, RANGE 09 EAST, CITY OF MIDDLETON, DANE COUNTY, WISCONSIN.

0 100 200 400

SCALE: 1" = 200'

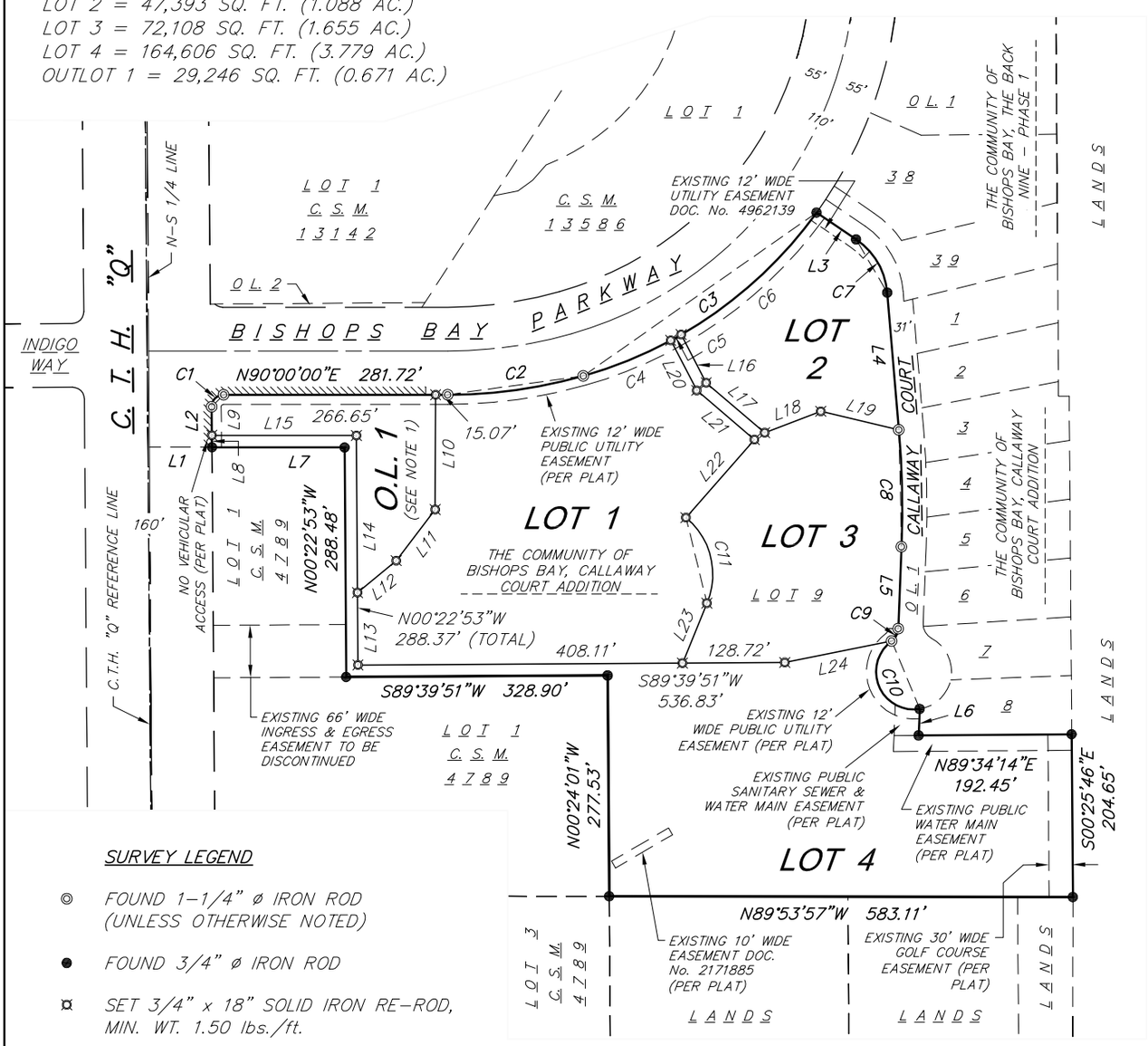
N W E S

BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, WISCONSIN, THE WEST LINE OF THE SE 1/4 OF SECTION 31-08-09 MEASURED AS BEARING N00°22'14"W

NOTE: SEE SHEET 2 FOR SECTION MONUMENT TIES, SEE SHEET 3 FOR ADDITIONAL EASEMENT DETAILS, SEE SHEET 4 FOR THE CURVE TABLE AND THE LINE TABLE AND SEE SHEET 5 FOR OTHER NOTES.

LOT AREA TABLE

LOT 1 = 138,157 SQ. FT. (3.172 AC.)
LOT 2 = 47,393 SQ. FT. (1.088 AC.)
LOT 3 = 72,108 SQ. FT. (1.655 AC.)
LOT 4 = 164,606 SQ. FT. (3.779 AC.)
OUTLOT 1 = 29,246 SQ. FT. (0.671 AC.)



SURVEY LEGEND

◎ FOUND 1-1/4" ø IRON ROD (UNLESS OTHERWISE NOTED)

● FOUND 3/4" ø IRON ROD

¤ SET 3/4" x 18" SOLID IRON RE-ROD, MIN. WT. 1.50 lbs./ft.

( ) INDICATES RECORDED AS

DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT

C.S.M. NOTES:

1. OUTLOT 1 IS "DEDICATED TO THE PUBLIC FOR STORM WATER MANAGEMENT PURPOSES".
2. CALLAWAY COURT IS A PRIVATE STREET AND A PRIVATE COMMON ACCESS EASEMENT (PER PLAT).

24 Jan 2015 - 8:05p M:\T Wall Enterprises LLC\140224_Bishops Bay Lot 41\CADD\140224_CSM.dwg by: mzie

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FN: 140224	SURVEYED FOR:	C.S.M. No._____	SHEET
DATE: 01/23/2015	T. Wall Enterprises	Doc. No._____	1 OF 7
REV:	P.O. Box 620037	Vol._____ Page_____	
Drafted By: MZIE	Middleton, WI 53562		
Checked By: MMAR			

CERTIFIED SURVEY MAP No._____

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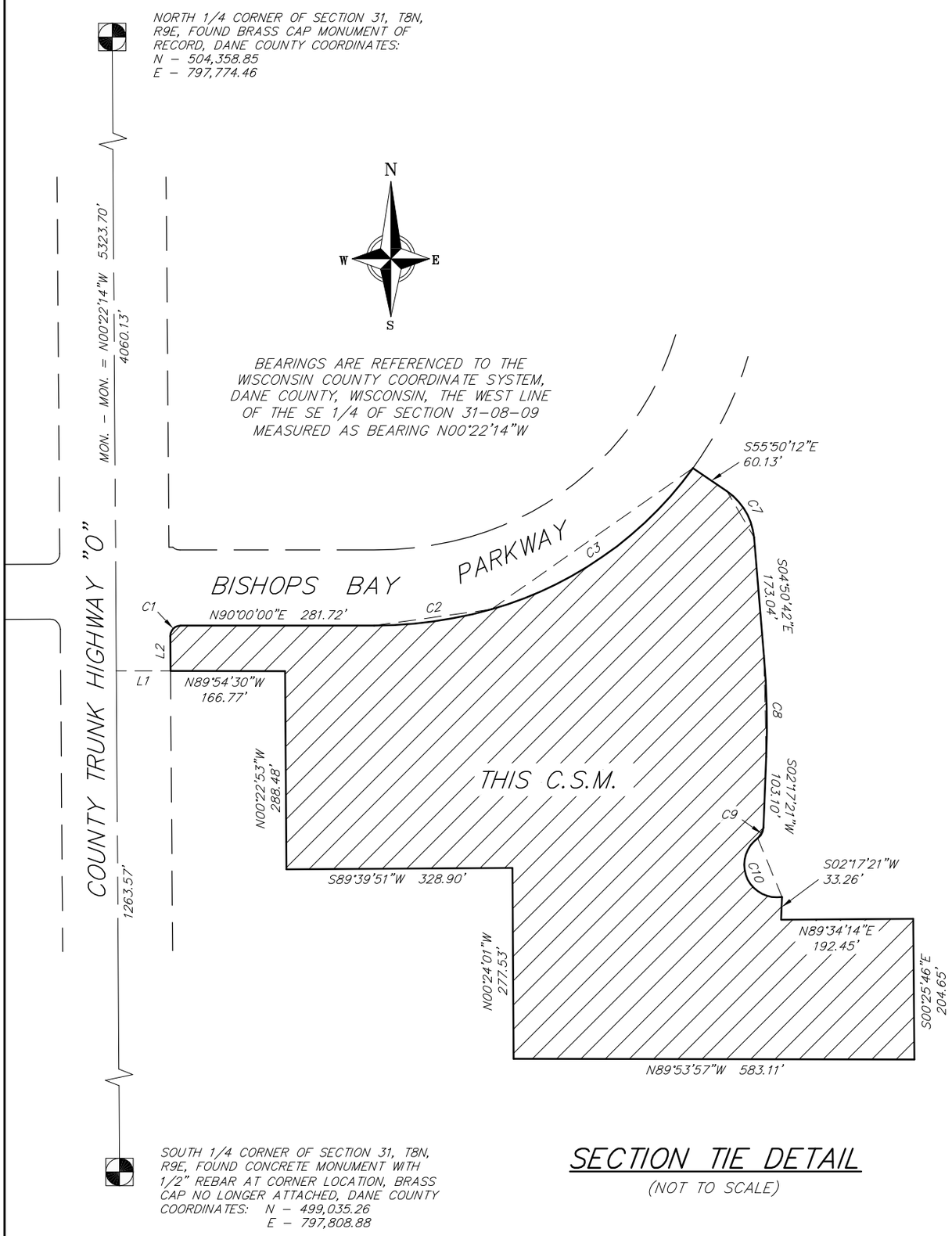

SECTION TIE DETAIL

(NOT TO SCALE)

24 Jan 2015 - 8:06p M:\T Wall Enterprises LLC\140224_Bishops Bay Lot 41\CADD\140224_CSM.dwg by: mzie

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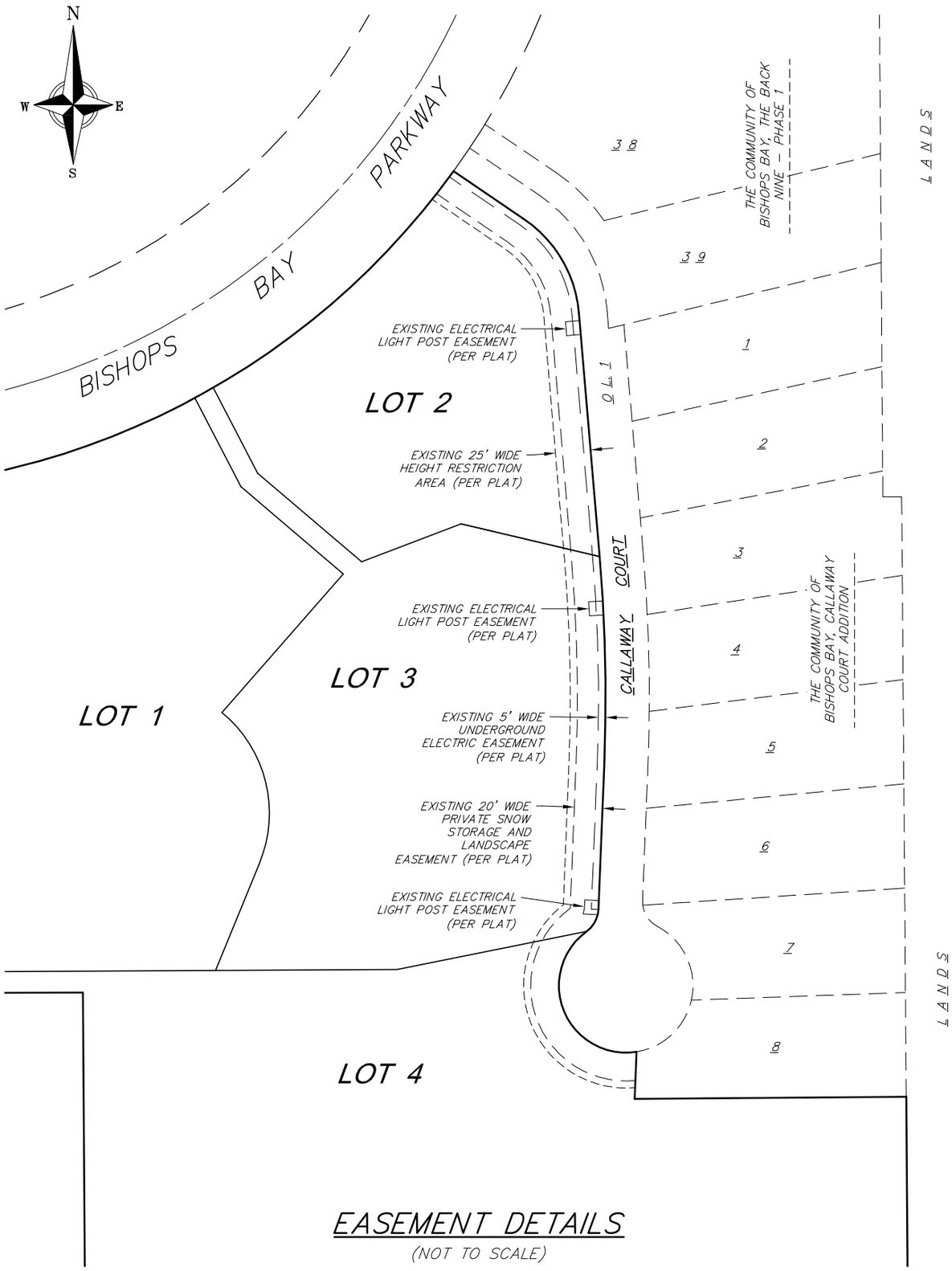
FN: 140224	SURVEYED FOR:	C.S.M. No._____	SHEET
DATE: 01/23/2015	T. Wall Enterprises	Doc. No._____	2 OF 7
REV:	P.O. Box 620037	Vol._____ Page_____	
Drafted By: MZIE	Middleton, WI 53562		
Checked By: MMAR			

CERTIFIED SURVEY MAP No._____

LOT 9, THE COMMUNITY OF BISHOPS BAY, CALLAWAY COURT ADDITION, AS RECORDED IN VOLUME _____ OF PLATS, ON PAGES, _____, AS DOCUMENT NUMBER _____, DANE COUNTY REGISTRY AND LOCATED IN THE SW ¼ AND THE NW ¼ OF THE SE ¼ OF SECTION 31, TOWNSHIP 08 NORTH, RANGE 09 EAST, CITY OF MIDDLETON, DANE COUNTY, WISCONSIN.



EASEMENT DETAILS

(NOT TO SCALE)

24 Jan 2015 - 8:06p M:\T Wall Enterprises LLC\140224_Bishops Bay Lot 41\CADD\140224_CSM.dwg by: mzie

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FN: 140224	SURVEYED FOR:	C.S.M. No._____	SHEET
DATE: 01/23/2015	T. Wall Enterprises	Doc. No._____	3 OF 7
REV:	P.O. Box 620037	Vol._____ Page_____	
Drafted By: MZIE	Middleton, WI 53562		
Checked By: MMAR			

CERTIFIED SURVEY MAP No._____

LOT 9, THE COMMUNITY OF BISHOPS BAY, CALLAWAY COURT ADDITION, AS RECORDED IN VOLUME _____ OF PLATS, ON PAGES, _____, AS DOCUMENT NUMBER _____, DANE COUNTY REGISTRY AND LOCATED IN THE SW ¼ AND THE NW ¼ OF THE SE ¼ OF SECTION 31, TOWNSHIP 08 NORTH, RANGE 09 EAST, CITY OF MIDDLETON, DANE COUNTY, WISCONSIN.

Line Table		
Line Number	Bearing	Distance
L1	S89°54'30"E	78.94'
L2	N00°25'06"W	50.80'
L3	S55°50'12"E	60.13'
L4	S04°50'42"E	173.04'
L5	S02°17'21"W	103.10'
L6	S02°17'21"W	33.26'
L7	N89°54'30"W	166.77'
L8	N00°25'06"W	15.00'
L9	N00°25'06"W	35.80'
L10	S00°15'09"W	144.23'
L11	S37°18'22"W	80.75'
L12	S50°33'50"W	63.08'
L13	N00°22'53"W	91.03'
L14	N00°22'53"W	197.33'
L15	S89°54'30"W	181.77'
L16	S27°27'37"E	68.30'
L17	S49°35'56"E	96.65'
L18	N69°10'55"E	75.44'
L19	S76°39'34"E	100.85'
L20	S27°27'37"E	70.81'
L21	S49°35'56"E	95.36'
L22	S41°15'58"W	130.54'
L23	S22°12'06"W	81.31'
L24	N78°37'39"E	136.98'

Curve Table						
Curve	Radius	Length	Delta	Chord Bearing	Chord Length	Tangent Bearing
C1	15.00'	23.67'	090°25'06"	N44°47'27"E	21.29'	
C2	625.00'	172.79'	015°50'26"	N82°04'47"E	172.24'	
C3	546.00'	364.80'	038°16'52"	N55°01'08"E	358.05'	
C4	546.00'	118.96'	012°28'59"	N67°55'05"E	118.72'	
C5	546.00'	15.01'	001°34'29"	N60°53'20"E	15.01'	
C6	546.00'	230.83'	024°13'23"	N47°59'24"E	229.12'	
C7	90.00'	80.10'	050°59'30"	S30°20'27"E	77.48'	
C8	1181.00'	147.05'	007°08'03"	S01°16'40"E	146.96'	
C9	20.00'	18.12'	051°53'56"	S28°14'19"W	17.50'	
C10	47.50'	127.05'	153°15'01"	S22°26'13"E	92.42'	
C11	92.46'	118.63'	073°30'45"	S13°44'37"E	110.66'	

24 Jan 2015 - 8:07p M:\T Wall Enterprises LLC\140224_Bishops Bay Lot 41\CADD\140224_CSM.dwg by: mzie

vierbicher
planners | engineers | advisors
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999 Fourier Drive, Suite 201 Madison, Wisconsin 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

FN: 140224
DATE: 01/23/2015
REV:
Drafted By: MZIE
Checked By: MMAR

SURVEYED FOR:
T. Wall Enterprises
P.O. Box 620037
Middleton, WI 53562

C.S.M. No._____
Doc. No._____
Vol._____ Page_____

CERTIFIED SURVEY MAP No._____

LOT 9, THE COMMUNITY OF BISHOPS BAY, CALLAWAY COURT ADDITION, AS RECORDED IN VOLUME _____ OF PLATS, ON PAGES, _____, AS DOCUMENT NUMBER _____, DANE COUNTY REGISTRY AND LOCATED IN THE SW ¼ AND THE NW ¼ OF THE SE ¼ OF SECTION 31, TOWNSHIP 08 NORTH, RANGE 09 EAST, CITY OF MIDDLETON, DANE COUNTY, WISCONSIN.

NOTES (From Plat):

1. ACCESS TO COUNTY TRUNK HIGHWAY "Q" FOR THIS PLAT IS NOW REGULATED BY THE CITY OF MIDDLETON. THE RIGHT-OF-WAY OF C.T.H. "Q" DIRECTLY ADJACENT TO THIS PLAT IS NOT SUBJECT TO PROVISIONS OF DANE COUNTY ORDINANCE RECORDED AS DOCUMENT NO. 1368501 REGULATING ACCESS FROM AND TO COUNTY TRUNK HIGHWAY "Q", NOW BEING CHAPTER 79, DANE COUNTY ORDINANCES (FORMERLY CHAPTER 30). SAID ORDINANCE EXCLUDES PORTIONS OF C.T.H. "Q" WITHIN THE CORPORATE LIMITS OF THE CITY OF MIDDLETON. SEE PLAT FOR ACCESS RESTRICTIONS.

2. ALL EXISTING IMPROVEMENTS SHOWN ON LOT 40 AND LOT 41 OF THE COMMUNITY OF BISHOPS BAY, THE BACK NINE – PHASE 1 SHALL BE DEMOLISHED AND/OR INCORPORATED AS PART OF ANY NEW DEVELOPMENT OF SAID LOTS.

3. ANY NEW DEVELOPMENT ON LOT 9 OF THIS PLAT SHALL HAVE VEHICULAR ACCESS TO BISHOPS BAY PARKWAY ONLY.

4. LOTS 40 AND 41 OF THE COMMUNITY OF BISHOPS BAY, THE BACK NINE – PHASE 1 ARE SUBJECT TO PRIVATE SEWAGE SYSTEM MAINTENANCE AGREEMENT PER DOC. NO. 2136521 AND 2141020.

5. LOTS 40 AND 41 OF THE COMMUNITY OF BISHOPS BAY, THE BACK NINE – PHASE 1 ARE SUBJECT TO VARIANCE PER DOC. NO. 2153983 REGARDING WELL PLACEMENT.

6. PRIVATE EASEMENTS AS SPECIFICALLY NOTED AS PRIVATE EASEMENTS AND SET FORTH ON THIS PLAT ARE SPECIFICALLY FOR THE BENEFIT OF THE COMMUNITY OF BISHOPS BAY LLC AND ITS DESIGNEES AND ASSIGNS.

7. LOT 38, LOT 39 AND LOT 40 OF THE COMMUNITY OF BISHOPS BAY, THE BACK NINE – PHASE 1 ARE RESTRICTED TO ONE COMMON SHARED VEHICULAR ACCESS POINT TO BE MAINTAINED BY ALL THREE LOTS. THE LOCATION OF THE COMMON SHARED ACCESS POINT SHALL BE AS APPROVED BY THE CITY OF MIDDLETON DURING THE SITE IMPLEMENTATION PLAN APPROVAL PROCESS.

8. LANDS WITHIN THIS PLAT ARE SUBJECT TO A DECLARATION OF PROTECTIVE COVENANTS FOR THE COMMUNITY OF BISHOPS BAY PER DOCUMENT NO. 4942536.

9. LANDS WITHIN THIS PLAT ARE SUBJECT TO A DECLARATION OF PROTECTIVE COVENANTS FOR THE VILLAS OF BISHOPS BAY PER DOCUMENT NO. 5018968 AND THE AFFIDAVIT OF CORRECTION PER DOCUMENT NO. 5020358.

10. NOTICE OF POSSIBLE LIMITATION OF PUBLIC SERVICES. (PER CITY ORDINANCE, CHAPTER 19.04(2)(f)) THIS PLAT OR CERTIFIED SURVEY MAP CONTAINS PRIVATE ROAD(S), AND, AS A RESULT, CERTAIN CITY SERVICES MAY BE LIMITED. THE EXTENT OF THESE LIMITATIONS IS SPELLED OUT IN A DOCUMENT CALLED A CITY/DEVELOPER AGREEMENT; OR, IF THIS IS A CONDOMINIUM PLAT, IN A DOCUMENT CALLED A GENERAL DEVELOPMENT PLAN (GDP), WHICH DIRECTLY RELATED TO THIS PLAT OR CSM AND IS FILED AS A PUBLIC DOCUMENT IN THE OFFICES OF BOTH THE MIDDLETON CITY CLERK AND THE DIRECTOR OF PUBLIC WORKS FOR THE CITY OF MIDDLETON.

24 Jan 2015 - 8:07p M:\T Wall Enterprises LLC\140224_Bishops Bay Lot 41\CADD\140224_CSM.dwg by: mzie

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FN: 140224 DATE: 01/23/2015 REV: Drafted By: MZIE Checked By: MMAR	SURVEYED FOR: T. Wall Enterprises P.O. Box 620037 Middleton, WI 53562	C.S.M. No._____ Doc. No._____ Vol._____ Page_____	SHEET 5 OF 7

CERTIFIED SURVEY MAP No._____

LOT 9, THE COMMUNITY OF BISHOPS BAY, CALLAWAY COURT ADDITION, AS RECORDED IN VOLUME _____ OF PLATS, ON PAGES, _____, AS DOCUMENT NUMBER _____, DANE COUNTY REGISTRY AND LOCATED IN THE SW ¼ AND THE NW ¼ OF THE SE ¼ OF SECTION 31, TOWNSHIP 08 NORTH, RANGE 09 EAST, CITY OF MIDDLETON, DANE COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

Back Nine Residences, LLC, a Wisconsin limited liability company, duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that we caused land described on this Certified Survey Map to be surveyed, divided, mapped, and dedicated as represented hereon. We further certify that this Certified Survey Map is required by s. 236.10 or 236.12 Wisconsin Statutes, to be submitted to the City of Middleton for approval.

IN WITNESS WHEREOF, Back Nine Residences, LLC, has caused these presents to be signed by Terrence R. Wall, its President, on this _____ day of _____, 20_____.

Back Nine Residences, LLC

By: _____
Terrence R. Wall, President

State of Wisconsin)
) ss
Dane County)

Personally came before me this _____ day of _____, 20_____, the above-named Terrence R. Wall, to me known to be the President of Back Nine Residences LLC, and to me known to be the person who executed the foregoing instrument and acknowledged that he executed the same as the deed of said company, by its authority.

_____ My Commission Expires: _____
Notary Public, State of Wisconsin

CONSENT OF MORTGAGEE

First National Bank – Fox Valley, a banking association duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping, and dedicating of the land described on this Certified Survey Map and does hereby consent to the Owner's Certificate.

IN WITNESS WHEREOF, the said First National Bank – Fox Valley, has caused these presents to be signed by _____ its _____, at Neenah, Wisconsin, on this _____ day of _____, 20_____.

First National Bank – Fox Valley

By: _____

State of Wisconsin)
)ss.
County of _____)

Personally came before me this _____ day of _____, 20_____, _____, of the above named banking association, to me known to be the persons who executed the foregoing instrument, and to me known to be such _____ of said banking association, and acknowledged that they executed the foregoing instrument as such officer as the deed of said banking association, by its authority.

_____
Notary Public, State of Wisconsin

My Commission expires: _____

24 Jan 2015 - 8:07p M:\T Wall Enterprises LLC\140224_Bishops Bay Lot 41\CADD\140224_CSM.dwg by: mzie

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FN: 140224 DATE: 01/23/2015 REV: Drafted By: MZIE Checked By: MMAR	SURVEYED FOR: T. Wall Enterprises P.O. Box 620037 Middleton, WI 53562	C.S.M. No._____ Doc. No._____ Vol._____ Page_____	SHEET 6 OF 7

CERTIFIED SURVEY MAP No._____

LOT 9, THE COMMUNITY OF BISHOPS BAY, CALLAWAY COURT ADDITION, AS RECORDED IN VOLUME _____ OF PLATS, ON PAGES, _____, AS DOCUMENT NUMBER _____, DANE COUNTY REGISTRY AND LOCATED IN THE SW ¼ AND THE NW ¼ OF THE SE ¼ OF SECTION 31, TOWNSHIP 08 NORTH, RANGE 09 EAST, CITY OF MIDDLETON, DANE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Michael J. Ziehr, Professional Land Surveyor, S-2401, do hereby certify to the best of my knowledge and belief, that I have surveyed, divided and mapped the lands described herein and that the map on sheet one (1) is a correct representation of the exterior boundaries of the land surveyed and the division of that land in accordance with the information provided. I further certify that this Certified Survey Map is in full compliance with Chapter 236.34 of the Wisconsin State Statutes, Chapter A-E7 of the Wisconsin Administrative Code and the Subdivision Ordinance of the City of Middleton in surveying, dividing and mapping the same.

Vierbicher Associates, Inc.
By: Michael J. Ziehr

Date: _____

Signed: _____
Michael J. Ziehr, P.L.S. S-2401

LEGAL DESCRIPTION

All of Lot 9, THE COMMUNITY OF BISHOPS BAY, CALLAWAY COURT ADDITION, as recorded in Volume _____ of Plats, on pages _____, as Document Number _____, Dane County Registry and located in the Southwest Quarter and the Northwest Quarter of the Southeast Quarter of Section 31, Township 08 North, Range 09 East, City of Middleton, Dane County, Wisconsin.

Containing 451,510 square feet or 10.36 acres more or less.

CITY OF MIDDLETON COMMON COUNCIL RESOLUTION

Resolved that this certified survey map located in the City of Middleton was hereby approved on this _____ day of _____, 20_____.

Dated this _____ day of _____, 20_____.

_____
City Clerk, City of Middleton

CITY OF MIDDLETON PLAN COMMISSION APPROVAL

Approved for recording per the City of Middleton Planning Commission action of _____, 20_____.

_____ Date: _____
Authorized Representative

REGISTER OF DEEDS CERTIFICATE

Received for recording this _____ day of _____, 20_____, at _____ o'clock _____.m. and recorded in Volume _____ of Certified Survey Maps on pages _____, as Doc. No. _____.

_____
Dane County Register of Deeds

24 Jan 2015 - 8:08p M:\T Wall Enterprises LLC\140224_Bishops Bay Lot 41\CADD\140224_CSM.dwg by: mzie

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PLUNKETT RAYSICH
ARCHITECTS, LLP

OVERVIEW

The overall planning goal of the intended construction is to complete Phase I of a two phase project to develop the clubhouse common amenities buildings for the Bishop Bay overall development and two multi-family residential structures. Phase II construction will add an additional residential building.

This Specific Implementation Plan (SIP) is for Phase I of the Back Nine Residences project within "The Estates-West" neighborhood of the Community of Bishops Bay (See Map3: Regulating Plan Neighborhoods). Phase I of the Back Nine Residences be comprised of two lots and a public outlot, created from Lot 9 (formerly lot 41) through CSM. A preliminary CSM for subdivision of Lot 9 was previously submitted for City review.

PHASE 1 BUILDINGS

The proposed Phase 1 structures include what is called the Club House Complex. This complex is intended for use both by all residences of Bishops Bay. The structures in this complex include:

- Two story clubhouse. 5,936 SF.
- Single story welcome center to be used initially for marketing and a future use as an additional gathering space for residents. 1,344 SF
- A covered walkway and pavilion for outdoor event to be completed in the second phase. 2,689 SF.
- The pool and open deck area. Approximately 6,000 SF.

The multi-family residences will be completed in two phases to achieve the planned 163 unit density. Phase I will consist of two buildings:

- Building #1 (along Bishops Bay Parkway) is a stepped two and three story residence that address the street with multiple walk-up units and a third floor stepped back into the property to maintain a residential street scale.
- Building #2 is located in the interior of the property. This three story structure is tucked into the hillside along its southerly edge.

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2310 crossroads drive suite 2000 madison, wisconsin 53718 t 608 240 9900
1613 fruitville road suite 3 sarasota, florida 34236 t 941 348 3618

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PLUNKETT RAYSICH
ARCHITECTS, LLP

LOT TYPES AND CONSISTENCY WITH THE MDP

This SIP contains two (MF-R) lots. The lot type designations are consistent with the chart on page 25 of the MDP that lists permitted lot types by neighborhood (See Map 4: Regulating Plan Block and Lot Types). These lots meet the current Lot and Building Form Standards and Land Use Standards as detailed on pages 30 and 44, respectively, in the MDP document. Per the MDP, parking requirements will follow the City's Off Street Parking Areas Specifications and Standards. Below is a summary of required and provided parking stalls.

Required:

32 two-bedroom units at 2. stalls/unit = 64 stalls

40 one-bedroom units at 1.5 stalls/unit = 60 stalls

33 studio units at 1.0 stall/unit = 33 stalls

TOTAL STALLS = 157

Provided:

Building One Garage = 44 stalls

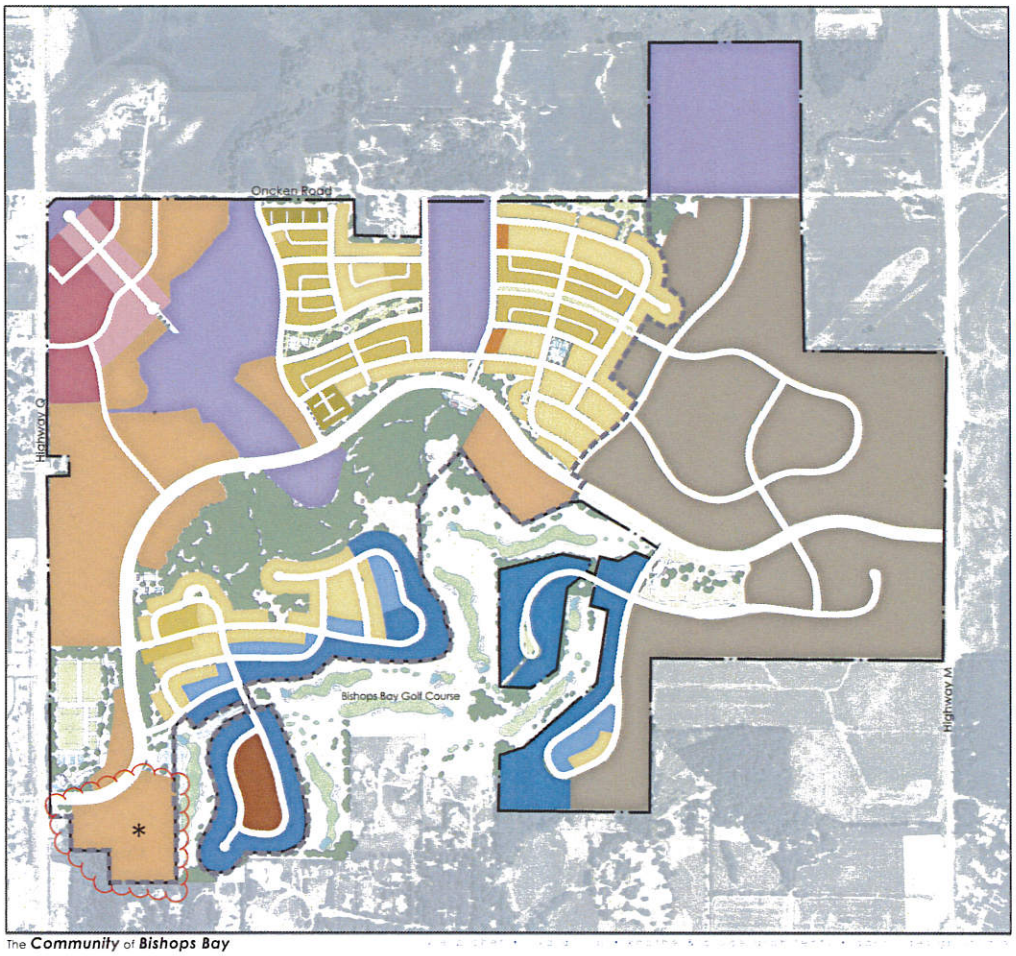
Building Two Garage = 51 stalls

Surface Lots = 62 stalls

TOTAL STALLS = 157

STREET NETWORK

This SIP includes creating a private street into the site off Bishops Bay Parkway to the south, terminating at the south end of the site. As this will be a private street it does not conform to a standard street type as defined in the MDP. The street will include a 20' two-way traffic lane with a 5' sidewalk on the east side and a terrace of varying width on the west side. There will be no on-street parking.



Map 4: Regulating Plan Blocks & Lot Types

- Planning Boundary
- Anticipated City of Middleton/Town of Westport Boundary
- Cottage Residential Lots (CO-R): 1800 SF. Min. 30' Wide
- Garden Residential Lots (G-R): 4500 SF. Min. 45' Wide
- Village Residential Lots (V-R): 6000 SF. Min. 55' Wide
- Manor Residential Lots (M-R): 9500 SF. Min. 75' Wide
- Golf Estate Residential Lots (GE-R): 20,000 SF. Min. 100' Wide
- Cluster Residential Lots (CI-R): 5000 SF. Min. 50' Wide
- Terrace Residential Four-Plex Lots (T-R): Min. 60' Wide
- Townhome Residential (TH-R)
- Multi-Family Residential Units (MF-R)
- Neighborhood Civic (NC)
- Mixed Use (MU)
- Commerce (C)

Notes:

- See the Lot & Building Form Standards section for more details.
- Public park areas shown will likely be designated civic as part of the SIP process.
- As described in the Regulating Plan text, lot types shown may be changed as part of the SIP process, provided the changes are consistent with the zoning district lot type chart contained in this section.

* Only this portion of the Estates neighborhood can use the MF-R lot type.

0 400 800 Feet
Drawn at 1:800

BISHOPS BAY T Wall Properties

PLUNKETT RAYSICH ARCHITECTS, LLP

T. Wall Enterprises

BISHOPS BAY - BACK NINE - BLDG 1
BISHOPS BAY PARKWAY

View Along Bishops Bay Parkway

Detail at South Elevation

140190-02
12-08-14

BISHOPS BAY - BACK NINE - BUILDING 1

PLUNKETT RAYSICH ARCHITECTS, LLP

T. Wall Enterprises

BISHOPS BAY - BACK NINE - BLDG 1
BISHOPS BAY PARKWAY

WEST ELEVATION

EAST ELEVATION

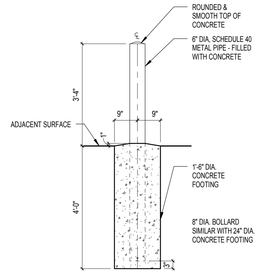
NORTHEAST ELEVATION

NORTH ELEVATION

SOUTH ELEVATION

SOUTHEAST ELEVATION

140190-02
12-08-14



A3 / A200 CONCRETE FILLED PIPE BOLLARD
1/2" = 1'-0"

FLOOR PLAN - ACCESSIBILITY NOTES

A. VARIATIONS IN FLOOR FINISH TO BE 1/2" OR LESS. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" TO BE BEVELED AT A SLOPE OF 1:2 OR LESS.

B. OBJECTS PROTRUDING INTO THE PATH OF TRAVEL WITH THEIR LEADING EDGES GREATER THAN 27" AND ELSS THAN 80" AFF SHALL PROJECT 4" MAX INTO THE PATH OF TRAVEL.

C. BRAILLE LETTERING COMPLYING WITH ICC/ANSI A117.1 SHALL BE USED IN CONJUNCTION WITH VISUAL SIGNAGE OUTSIDE ELEVATOR DOORS AND AT DOORS TO EXIT STAIRWAYS. THE SIGN SHALL HAVE A TACTILE SIGN INCLUDING RAISED LETTERS AND BRAILLE STATING 'EXIT'. THERE SHALL BE STAIR LEVEL IDENTIFICATION W/TACTILE CHARACTERS PROVIDED AT EACH FLOOR LANDING. EXIT DOORS DISCHARGING TO OUTSIDE OF LEVEL OF DISCHARGE SHALL HAVE A TACTILE SIGN STATING 'EXIT'.

D. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE DISPLAYED AT ACCESSIBLE ENTRANCES AND ACCESSIBLE PARKING SPACES. THE SIZE, STYLE, LOCATION AND HEIGHT OF THE SYMBOLS SHALL COMPLY WITH ICC/ANSI A117.1.

E. DIRECTIONAL SIGNAGE INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY INDICATING THE ROUTE TO THE NEAREST LIKE ACCESSIBLE ELEMENT WITHIN THE BUILDING SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES AND INACCESSIBLE EXITS.

F. THE BUILDING WATER SUPPLY SHALL BE CONNECTED TO ANTI-SCALD TEMPERATURE CONTROLS.

G. AT EVERY ELEVATOR LANDING, PROVIDE TWO-WAY COMMUNICATION SYSTEM PER IBC 1007.8.1. INSTRUCTION ON THE USE OF THE AREA UNDER EMERGENCY CONDITIONS SHALL BE POSTED ADJOINING THE COMMUNICATION SYSTEM.

KEYNOTE LEGEND - INTERIOR PARTITION TYPES - BY SHEET

TAG	INTERIOR PARTITION DESCRIPTION
CONC8	INTERIOR CONCRETE PARTITION: 8" CAST IN PLACE REINFORCED CONCRETE.
FV4A	INTERIOR PARTITION: 3-5/8" STEEL STUDS @ 16" OC WITH ONE LAYER 1/2" FIRE RESISTANT PLYWOOD (PLYWOOD FROM 0'-0" TO 8'-0" AFF, CHICKEN WIRE FROM TOP OF PLYWOOD TO UNDERSIDE OF DECK ABOVE).
M8	INTERIOR MASONRY PARTITION: 8" CONCRETE BLOCK.

GYPSUM BOARD PARTITIONS - GENERAL NOTES

ALL GYPSUM BOARD PARTITIONS SHALL BE FV4A ON THE 1ST THROUGH 3RD FLOORS UNLESS OTHERWISE NOTED ON FLOOR PLAN.

ALL CORRIDOR WALLS SHALL BE FVAR8 UNLESS OTHERWISE NOTED ON FLOOR PLAN.

GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

PROVIDE TYPE 'X' FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF FLOOR OR ROOF ASSEMBLY ABOVE.

MASONRY PARTITIONS - GENERAL NOTES

MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:

ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.

PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.

EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL A1/A810. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.

KEYNOTE LEGEND - EXTERIOR WALL TYPES - BY SHEET

TAG	EXTERIOR WALL DESCRIPTION
W1	EXTERIOR WALL: MASONRY CAVITY WALL CONSISTING OF 4" FACE BRICK OR STONE, 1-3/4" AIR SPACE, 2" RIGID INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 8" CAST IN PLACE BACK-UP WALL WITH ADJUSTABLE (TWO-PIECE) HORIZONTAL MASONRY JOINT REINFORCING @ 16" OC. PROVIDE CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPS/VENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE THE CAVITY (SEE DETAIL D1/A600) AND PROVIDE CAVITY WEEPS/VENTS AT TOP/BOTTOM OF CAVITY. CMU TO BE 2 HOUR RATED. FACADE DESIGNED ASSUMING MODULAR BRICK, IF NON-MODULAR BRICK ARE USED, WALL OPENINGS AND SILLS MAY HAVE TO BE ADJUSTED.
WB2	EXTERIOR WALL (BELOW GRADE): REINFORCED CONCRETE FOUNDATION WALL WITH SHEET MEMBRANE WATERPROOFING. TERMINATE ALL MEMBRANE PERIMETER EDGES WITH 1/8" x 1" ALUMINUM COMPRESSION BAR WITH CONTINUOUS SEALANT. SHEET MEMBRANE MUST INTERFACE WITH VERTICAL WALL AIR & VAPOR BARRIER LINE. PROVIDE 2" RIGID FOUNDATION INSULATION, EXTEND FULL HEIGHT VERTICALLY.

FLOOR PLAN - SYMBOLS LEGEND

NEW WALL/PARTITION
NEW DOOR
SECTION REFERENCE
DETAIL REFERENCE
EXTERIOR ELEVATION
INTERIOR ELEVATION
FLOOR PLAN KEYNOTE
WALL/PARTITION TYPE
ONE HOUR FIRE RESISTIVE CONSTRUCTION
TWO HOUR FIRE RESISTIVE CONSTRUCTION
FLOOR DRAIN - PITCH FLOOR TO DRAIN
FIRE EXTINGUISHER SEMI-RECESSED - REFER TO DETAIL C3/A810

FLOOR PLAN - GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

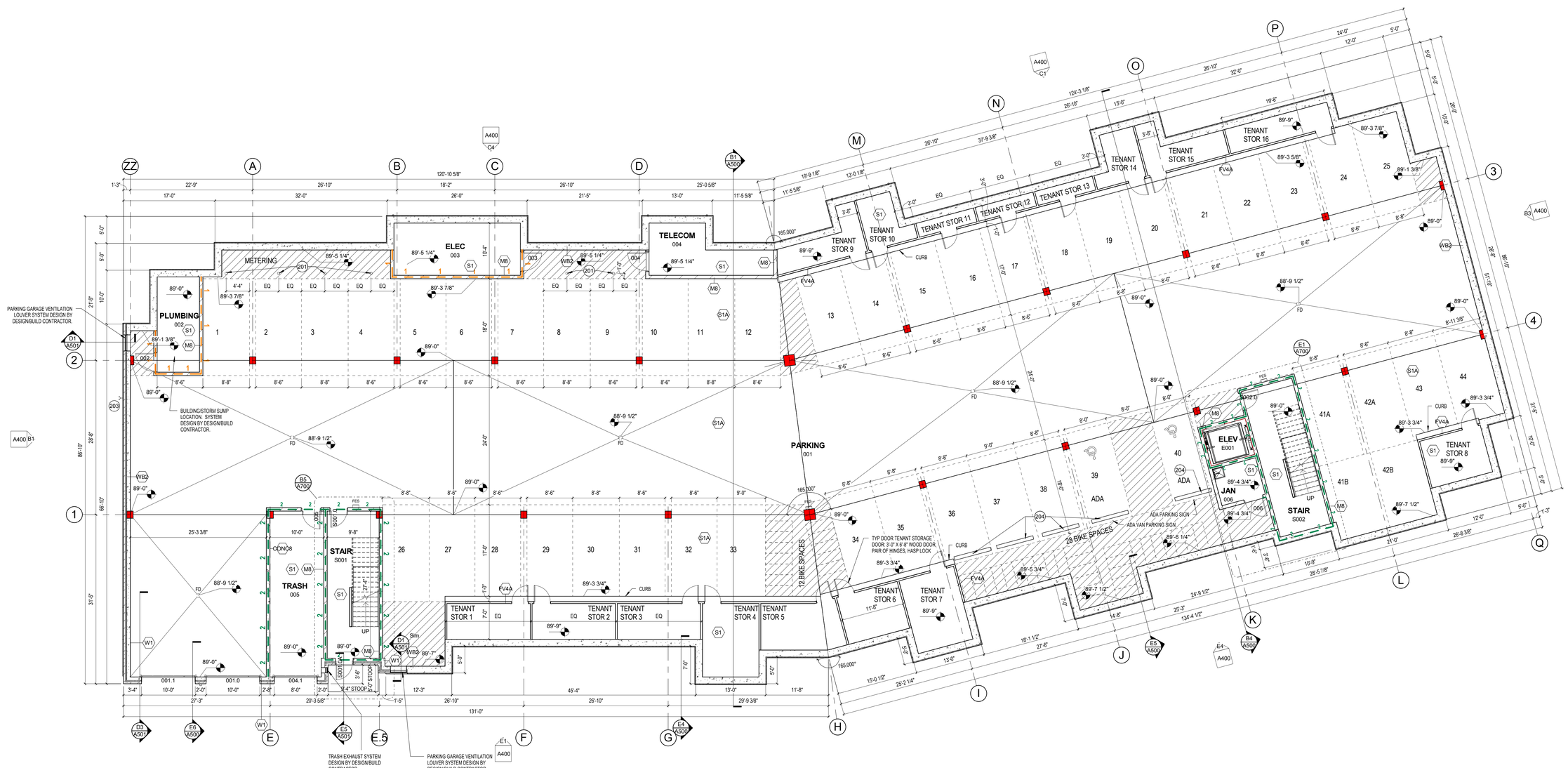
B. ALL EXPOSED STRUCTURAL STEEL AT THE LOWER LEVEL NEEDS TO BE PROTECTED TO 2 HOURS W/SPRAY APPLIED FIRE PROTECTION.

C. REFER TO SHEET A891 FOR DOOR SCHEDULE.

NOTE #	FLOOR PLAN NOTE
200	ATTIC ACCESS HATCH/LADDER. REFER TO DETAIL B6/A810.
201	CONCRETE FILLED STEEL BOLLARD, SEE DETAIL A3/A200
202	KNOX BOX
203	FIRE DEPARTMENT CONNECTION - SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
204	CONCRETE WHEEL STOP
206	PROVIDE CONCRETE STAIRS AND RAILINGS AT FIRST FLOOR UNIT ENTRANCES. COORDINATE NUMBER OF STAIRS AND LOCATION WITH CIVIL DRAWINGS.
207	FLOOR RECESSED WALK-OFF MAT.
208	DOWNSPOUT TO CONCRETE SPLASH BLOCKS
209	ROOF DRAIN LEADER WALL ENCLOSURE
210	DWELLING UNIT: (5) OPEN, ADJUSTABLE SHELVES ON SHELF STANDARDS. SHELVES TO BE 1'-0" DEEP AND MATCH EXPOSED CASEWORK IN UNIT.
211	DWELLING UNIT: SHELF AND POLE TO MATCH EXPOSED CASEWORK IN UNIT.

KEYNOTE LEGEND - CONSTRUCTION TYPES - BY SHEET

TAG	CONSTRUCTION DESCRIPTION
S1	4" REINFORCED CONCRETE SLAB ON VAPOR BARRIER ON 6" DRAINAGE FILL.
S1A	5" REINFORCED CONCRETE SLAB ON VAPOR BARRIER ON 6" DRAINAGE FILL.



E1 / A200 00 - LOWER LEVEL
1/8" = 1'-0"

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BISHOPS BAY - BACK NINE - BUILDING 1
HWY Q & BISHOPS BAY PARKWAY
MIDDLETON, WI 53562

Revisions

Drawn By: AML
Date: 02-13-15
Job No.: 140190-02
Sheet No.: A200

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FLOOR PLAN - ACCESSIBILITY NOTES

A. VARIATIONS IN FLOOR FINISH TO BE 1/2" OR LESS. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" TO BE BEVELED AT A SLOPE OF 1:2 OR LESS.

B. OBJECTS PROTRUDING INTO THE PATH OF TRAVEL WITH THEIR LEADING EDGES GREATER THAN 27" AND ELSS THAN 80" AFF SHALL PROJECT 4" MAX INTO THE PATH OF TRAVEL.

C. BRAILLE LETTERING COMPLYING WITH ICC/ANSI A117.1 SHALL BE USED IN CONJUNCTION WITH VISUAL SIGNAGE OUTSIDE ELEVATOR DOORS AND AT DOORS TO EXIT STAIRWAYS. THE SIGN SHALL HAVE A TACTILE SIGN INCLUDING RAISED LETTERS AND BRAILLE STATING 'EXIT'. THERE SHALL BE STAIR LEVEL IDENTIFICATION W/TACTILE CHARACTERS PROVIDED AT EACH FLOOR LANDING. EXIT DOORS DISCHARGING TO OUTSIDE OF LEVEL OF DISCHARGE SHALL HAVE A TACTILE SIGN STATING 'EXIT'.

D. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE DISPLAYED AT ACCESSIBLE ENTRANCES AND ACCESSIBLE PARKING SPACES. THE SIZE, STYLE, LOCATION AND HEIGHT OF THE SYMBOLS SHALL COMPLY WITH ICC/ANSI A117.1.

E. DIRECTIONAL SIGNAGE INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY INDICATING THE ROUTE TO THE NEAREST LIKE ACCESSIBLE ELEMENT WITHIN THE BUILDING SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES AND INACCESSIBLE EXITS.

F. THE BUILDING WATER SUPPLY SHALL BE CONNECTED TO ANTI-SCALD TEMPERATURE CONTROLS.

G. AT EVERY ELEVATOR LANDING, PROVIDE TWO-WAY COMMUNICATION SYSTEM PER IBC 1007.8.1. INSTRUCTION ON THE USE OF THE AREA UNDER EMERGENCY CONDITIONS SHALL BE POSTED ADJOINING THE COMMUNICATION SYSTEM.

GYPSUM BOARD PARTITIONS - GENERAL NOTES

ALL GYPSUM BOARD PARTITIONS SHALL BE (VA4) ON THE 1ST THROUGH 3RD FLOORS UNLESS OTHERWISE NOTED ON FLOOR PLAN.

ALL CORRIDOR WALLS SHALL BE (VAR6) UNLESS OTHERWISE NOTED ON FLOOR PLAN.

GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

PROVIDE TYPE 'X' FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF FLOOR OR ROOF ASSEMBLY ABOVE.

MASONRY PARTITIONS - GENERAL NOTES

MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:

ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.

PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.

EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL A1/A810. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.

FLOOR PLAN - SYMBOLS LEGEND

NEW WALL/PARTITION
NEW DOOR
SECTION REFERENCE
DETAIL REFERENCE
EXTERIOR ELEVATION
INTERIOR ELEVATION
FLOOR PLAN KEYNOTE
WALL/PARTITION TYPE
ONE HOUR FIRE RESISTIVE CONSTRUCTION
TWO HOUR FIRE RESISTIVE CONSTRUCTION
FLOOR DRAIN - PITCH FLOOR TO DRAIN
FIRE EXTINGUISHER SEMI-RECESSED - REFER TO DETAIL C3/A810

FLOOR PLAN - GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

B. ALL EXPOSED STRUCTURAL STEEL AT THE LOWER LEVEL NEEDS TO BE PROTECTED TO 2 HOURS W/SPRAY APPLIED FIRE PROTECTION.

C. REFER TO SHEET A891 FOR DOOR SCHEDULE.

KEYNOTE LEGEND - EXTERIOR WALL TYPES - BY SHEET

TAG	EXTERIOR WALL DESCRIPTION
W13	EXTERIOR WALL: MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK OR STONE, 2-3/4" AIR SPACE, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY. CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPS/VENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE CAVITY (SEE DETAIL D2/A600) AND PROVIDE CAVITY WEEPS/VENTS AT TOP AND BOTTOM OF CAVITY. 1 HR RATED, UL DESIGN #U354. FACADE DESIGNED ASSUMING MODULAR BRICK, IF NON-MODULAR BRICK ARE USED, WALL OPENINGS AND SILLS MAY HAVE TO BE ADJUSTED.
W13A	EXTERIOR WALL: MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK OR STONE, 2-3/4" AIR SPACE, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC, 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, BUILDING WRAP, 1" RIGID INSULATION, FIBER CEMENT SIDING AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY. CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPS/VENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE CAVITY (SEE DETAIL D2/A600) AND PROVIDE CAVITY WEEPS/VENTS AT TOP AND BOTTOM OF CAVITY. FACADE DESIGNED ASSUMING MODULAR BRICK, IF NON-MODULAR BRICK ARE USED, WALL OPENINGS AND SILLS MAY HAVE TO BE ADJUSTED.
W13B	EXTERIOR WALL: MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK OR STONE, 2-3/8" AIR SPACE, 1" RIGID INSULATION, BUILDING WRAP ON 2 LAYERS 5/8" EXTERIOR GYP SHEATHING, 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND 2 LAYERS 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY. CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPS/VENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE CAVITY (SEE DETAIL D2/A600) AND PROVIDE CAVITY WEEPS/VENTS AT TOP AND BOTTOM OF CAVITY. 2 HR RATED, UL DESIGN #U308. FACADE DESIGNED ASSUMING MODULAR BRICK, IF NON-MODULAR BRICK ARE USED, WALL OPENINGS AND SILLS MAY HAVE TO BE ADJUSTED.
W14	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SHINGLES, PANELS OR SIDING, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. 1 HR RATED, UL DESIGN #U354.
W14A	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SHINGLES, PANELS OR SIDING, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC, 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, BUILDING WRAP, 1" RIGID INSULATION, FIBER CEMENT SIDING AT INTERIOR FACE.
W14B	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SHINGLES, PANELS OR SIDING, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC , BUILDING WRAP, FIBER CEMENT SHINGLES, PANELS OR SIDING.
W14C	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SIDING ON 1" RIGID INSULATION ON BUILDING WRAP ON 2 LAYERS 5/8" EXTERIOR GYP SHEATHING SHEATHING, 2 X 6 WOOD STUDS @ 16" OC, FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND 2 LAYERS 5/8" GYPSUM BOARD AT INTERIOR FACE. 2 HR RATED, UL DESIGN #U308.

KEYNOTE LEGEND - INTERIOR PARTITION TYPES - BY SHEET

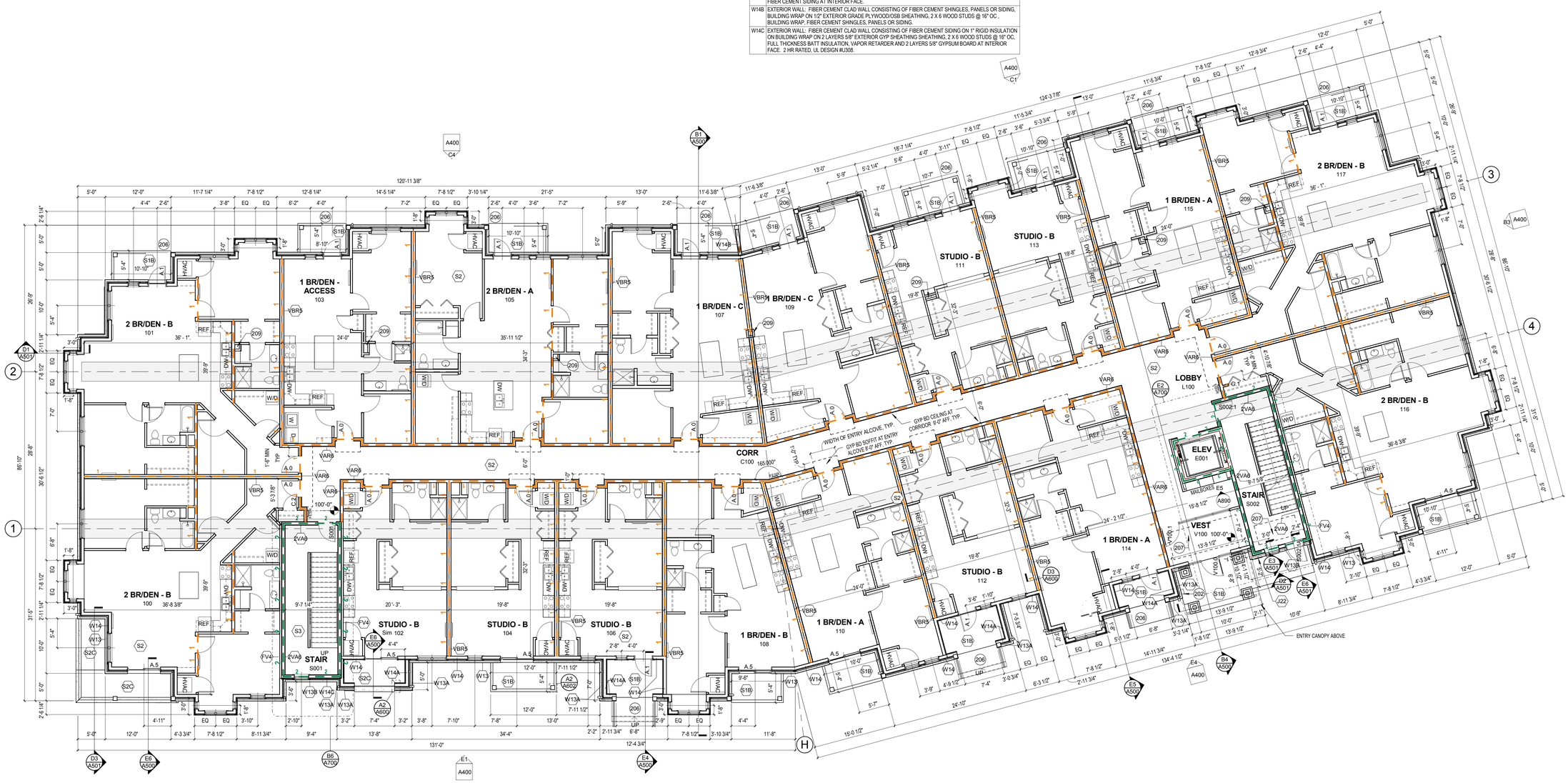
TAG	INTERIOR PARTITION DESCRIPTION
2VA6	INTERIOR WOOD STUD PARTITION: 2 HR RATED UL #U301 WITH 2 X 6 WOOD STUDS @ 16" OC WITH 5-1/2" SOUND ATTENUATION INSUL. AND 2 LAYERS 5/8" GYPSUM BOARD @ EACH FACE.
FV4	INTERIOR FURRING (PARTITION): 3-1/2" WOOD STUDS @ 16" OC WITH ONE LAYER 5/8" GYPSUM BOARD.
VAR6	INTERIOR WOOD STUD PARTITION: 2 X 6 WOOD STUDS @ 16" OC WITH 5-1/2" SOUND ATTENUATION INSUL. AND ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC (CORRIDOR SIDE ONLY). PROVIDE 1 HR RATED ULRU305 DESIGN WHERE 1 HR CONSTRUCTION IS INDICATED ON PLANS.
VBR5	INTERIOR STAGGERED STUD PARTITION: STAGGERED 3 1/2" WOOD STUDS @ 16" OC ON SEPARATE WOOD PLATE WITH 3-1/2" SOUND ATTENUATION INSULATION (BOTH SIDES), 7/16" PLYWOOD SHEATHING, 5/16" GAP BETWEEN RUNNER AND SHEATHING AND ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC ONE SIDE ONLY. PROVIDE 1 HR RATED ULRU341 DESIGN.

KEYNOTE LEGEND - FLOOR PLAN NOTE

NOTE #	FLOOR PLAN NOTE
200	ATTIC ACCESS HATCH/LADDER. REFER TO DETAIL B6/A810.
201	CONCRETE FILLED STEEL BOLLARD, SEE DETAIL A3/A200
202	KNOX BOX
203	FIRE DEPARTMENT CONNECTION - SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
204	CONCRETE WHEEL STOP
206	PROVIDE CONCRETE STAIRS AND RAILINGS AT FIRST FLOOR UNIT ENTRANCES. COORDINATE NUMBER OF STAIRS AND LOCATION WITH CIVIL DRAWINGS.
207	FLOOR RECESSED WALK-OFF MAT.
208	DOWNSPOUT TO CONCRETE SPLASH BLOCKS
209	ROOF DRAIN LEADER WALL ENCLOSURE
210	DWELLING UNIT: (5) OPEN, ADJUSTABLE SHELVES ON SHELF STANDARDS. SHELVES TO BE 1'-0" DEEP AND MATCH EXPOSED CASEWORK IN UNIT.
211	DWELLING UNIT: SHELF AND POLE TO MATCH EXPOSED CASEWORK IN UNIT.

KEYNOTE LEGEND - CONSTRUCTION TYPES - BY SHEET

TAG	CONSTRUCTION DESCRIPTION
J22	BRONZE DEDICATION PLAQUE. REFER TO DETAIL D6/A810
S1B	4" REINFORCED CONCRETE SLAB.
S2	LEVELING GYPSUM (3/4" MIN) ON STRUCTURAL CONCRETE DECK. 2 HR RATED.
S2A	4" REINFORCED CONCRETE TOPPING ON 4" HIGH DENSITY RIGID INSULATION ON STRUCTURAL CONCRETE DECK. 2 HR RATED.
S2C	MIN 4" REINFORCED CONCRETE TOPPING ON 2" HIGH DENSITY RIGID INSULATION ON DRAINAGE MAT ON WATERPROOFING MEMBRANE ON SLOPED TOPPING ON PRECAST CONCRETE DECK. 2 HR RATED.
S3	2 1/2" CAST-IN-PLACE REINFORCED CONCRETE ON METAL DECK.



E1 FIRST FLOOR PLAN
A201 1/8" = 1'-0"

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BISHOPS BAY - BACK NINE - BUILDING 1

HWY Q & BISHOPS BAY PARKWAY
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Revisions

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Date: 02-13-15
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FLOOR PLAN - ACCESSIBILITY NOTES

A. VARIATIONS IN FLOOR FINISH TO BE 1/2" OR LESS. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" TO BE BEVELED AT A SLOPE OF 1:2 OR LESS.

B. OBJECTS PROTRUDING INTO THE PATH OF TRAVEL WITH THEIR LEADING EDGES GREATER THAN 27" AND ELSS THAN 80" AFF SHALL PROJECT 4" MAX INTO THE PATH OF TRAVEL.

C. BRAILLE LETTERING COMPLYING WITH ICC/ANSI A117.1 SHALL BE USED IN CONJUNCTION WITH VISUAL SIGNAGE OUTSIDE ELEVATOR DOORS AND AT DOORS TO EXIT STAIRWAYS. THE SIGN SHALL HAVE A TACTILE SIGN INCLUDING RAISED LETTERS AND BRAILLE STATING 'EXIT'. THERE SHALL BE STAIR LEVEL IDENTIFICATION W/TACTILE CHARACTERS PROVIDED AT EACH FLOOR LANDING. EXIT DOORS DISCHARGING TO OUTSIDE OF LEVEL OF DISCHARGE SHALL HAVE A TACTILE SIGN STATING 'EXIT'.

D. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE DISPLAYED AT ACCESSIBLE ENTRANCES AND ACCESSIBLE PARKING SPACES. THE SIZE, STYLE, LOCATION AND HEIGHT OF THE SYMBOLS SHALL COMPLY WITH ICC/ANSI A117.1.

E. DIRECTIONAL SIGNAGE INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY INDICATING THE ROUTE TO THE NEAREST LIKE ACCESSIBLE ELEMENT WITHIN THE BUILDING SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES AND INACCESSIBLE EXITS.

F. THE BUILDING WATER SUPPLY SHALL BE CONNECTED TO ANTI-SCALD TEMPERATURE CONTROLS.

G. AT EVERY ELEVATOR LANDING, PROVIDE TWO-WAY COMMUNICATION SYSTEM PER IBC 1007.8.1. INSTRUCTION ON THE USE OF THE AREA UNDER EMERGENCY CONDITIONS SHALL BE POSTED ADJOINING THE COMMUNICATION SYSTEM.

KEYNOTE LEGEND - EXTERIOR WALL TYPES - BY SHEET

TAG	EXTERIOR WALL DESCRIPTION
W13	EXTERIOR WALL: MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK OR STONE, 2-3/4" AIR SPACE, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY. CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPS/VENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE CAVITY (SEE DETAIL D2/A600) AND PROVIDE CAVITY WEEPS/VENTS AT TOP AND BOTTOM OF CAVITY. 1 HR RATED, UL DESIGN #U354. FACADE DESIGNED ASSUMING MODULAR BRICK, IF NON-MODULAR BRICK ARE USED, WALL OPENINGS AND SILLS MAY HAVE TO BE ADJUSTED.
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W14A	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SHINGLES, PANELS OR SIDING, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC, 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, BUILDING WRAP, 1" RIGID INSULATION, FIBER CEMENT SIDING AT INTERIOR FACE.
W14C	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SIDING ON 1" RIGID INSULATION ON BUILDING WRAP ON 2 LAYERS 5/8" EXTERIOR GYP SHEATHING SHEATHING, 2 X 6 WOOD STUDS @ 16" OC, FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND 2 LAYERS 5/8" GYPSUM BOARD AT INTERIOR FACE. 2 HR RATED, UL DESIGN #U308.

GYPSUM BOARD PARTITIONS - GENERAL NOTES

ALL GYPSUM BOARD PARTITIONS SHALL BE VA4 ON THE 1ST THROUGH 3RD FLOORS UNLESS OTHERWISE NOTED ON FLOOR PLAN.

ALL CORRIDOR WALLS SHALL BE VAR8 UNLESS OTHERWISE NOTED ON FLOOR PLAN.

GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

PROVIDE TYPE 'X' FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF FLOOR OR ROOF ASSEMBLY ABOVE.

MASONRY PARTITIONS - GENERAL NOTES

MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:

ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.

PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.

EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL A1/A810. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.

KEYNOTE LEGEND - INTERIOR PARTITION TYPES - BY SHEET

TAG	INTERIOR PARTITION DESCRIPTION
2VA6	INTERIOR WOOD STUD PARTITION: 2 HR RATED UL #U301 WITH 2 X 6 WOOD STUDS @ 16" OC WITH 5-1/2" SOUND ATTENUATION INSUL. AND 2 LAYERS 5/8" GYPSUM BOARD @ EACH FACE.
FV4	INTERIOR FURRING (PARTITION): 3-1/2" WOOD STUDS @ 16" OC WITH ONE LAYER 5/8" GYPSUM BOARD.
M8	INTERIOR MASONRY PARTITION: 8" CONCRETE BLOCK.
VAR6	INTERIOR WOOD STUD PARTITION: 2 X 6 WOOD STUDS @ 16" OC WITH 5-1/2" SOUND ATTENUATION INSUL. AND ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC (CORRIDOR SIDE ONLY). PROVIDE 1 HR RATED ULRU305 DESIGN WHERE 1 HR CONSTRUCTION IS INDICATED ON PLANS.
VBR4	INTERIOR STAGGERED STUD PARTITION: STAGGERED 3 1/2" WOOD STUDS @ 16" OC ON SEPARATE WOOD PLATE WITH 3-1/2" SOUND ATTENUATION INSULATION (BOTH SIDES), 1/2" GAP BETWEEN RUNNERS AND ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC ONE SIDE ONLY. PROVIDE 1 HR RATED ULRU341 DESIGN.

FLOOR PLAN - SYMBOLS LEGEND

NEW WALL/PARTITION

NEW DOOR

SECTION REFERENCE

DETAIL REFERENCE

EXTERIOR ELEVATION

INTERIOR ELEVATION

FLOOR PLAN KEYNOTE

WALL/PARTITION TYPE

ONE HOUR FIRE RESISTIVE CONSTRUCTION

TWO HOUR FIRE RESISTIVE CONSTRUCTION

FLOOR DRAIN - PITCH FLOOR TO DRAIN

FIRE EXTINGUISHER SEMI-RECESSED - REFER TO DETAIL C3/A810

FLOOR PLAN - GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

B. ALL EXPOSED STRUCTURAL STEEL AT THE LOWER LEVEL NEEDS TO BE PROTECTED TO 2 HOURS W/SPRAY APPLIED FIRE PROTECTION.

C. REFER TO SHEET A891 FOR DOOR SCHEDULE.

NOTE #	FLOOR PLAN NOTE
200	ATTIC ACCESS HATCH/LADDER. REFER TO DETAIL B6/A810.
201	CONCRETE FILLED STEEL BOLLARD, SEE DETAIL A3/A200
202	KNOX BOX
203	FIRE DEPARTMENT CONNECTION - SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
204	CONCRETE WHEEL STOP
206	PROVIDE CONCRETE STAIRS AND RAILINGS AT FIRST FLOOR UNIT ENTRANCES. COORDINATE NUMBER OF STAIRS AND LOCATION WITH CIVIL DRAWINGS.
207	FLOOR RECESSED WALK-OFF MAT.
208	DOWNSPOUT TO CONCRETE SPLASH BLOCKS
209	ROOF DRAIN LEADER WALL ENCLOSURE
210	DWELLING UNIT: (5) OPEN, ADJUSTABLE SHELVES ON SHELF STANDARDS. SHELVES TO BE 1'-0" DEEP AND MATCH EXPOSED CASEWORK IN UNIT.
211	DWELLING UNIT: SHELF AND POLE TO MATCH EXPOSED CASEWORK IN UNIT.

KEYNOTE LEGEND - CONSTRUCTION TYPES - BY SHEET

TAG	CONSTRUCTION DESCRIPTION
S5	WOOD TRUSS FRAMED, FLOOR-CEILING ASSEMBLY: 1 1/2" LEVELING GYPSUM, 3/4" TONGUE AND GROOVE PLYWOOD SUBFLOOR ON WOOD FLOOR TRUSS SYSTEM, FULL CAVITY BLOWN-IN INSULATION, 5/8" TYPE 'X' GYPSUM BOARD ON 1/2" RESILIENT CHANNELS AT 12" OC DIRECTLY SECURED TO TRUSS STRUCTURE ABOVE, PROVIDE SOUND ISOLATION MAT AT HARD FLOORING LOCATIONS. 1 HR RATED, UL DESIGN #L563.
S5A	WOOD JOIST FRAMED, FLOOR-CEILING ASSEMBLY: 1 1/2" LEVELING GYPSUM, 3/4" TONGUE AND GROOVE PLYWOOD SUBFLOOR ON WOOD FLOOR JOISTS, FULL CAVITY BLOWN-IN INSULATION, 5/8" TYPE 'X' GYPSUM BOARD ON 1/2" RESILIENT CHANNELS AT 12" OC DIRECTLY SECURED TO TRUSS STRUCTURE ABOVE, PROVIDE SOUND ISOLATION MAT AT HARD FLOORING LOCATIONS. 1 HR RATED, UL DESIGN #L502.
S7	2X COMPOSITE DECKING ON 2X PT WOOD FRAMING DECK, STAIN WOOD ELEMENTS TO MATCH DECKING, PAINT METAL SUPPORT ELEMENTS TO MATCH DECKING
S8	WOOD TRUSS FRAMED, FLOOR-CEILING ASSEMBLY: 1" LEVELING GYPSUM, 3/4" TONGUE AND GROOVE PLYWOOD SUBFLOOR ON WOOD JOIST SYSTEM, FULL CAVITY BLOWN-IN INSULATION, 5/8" TYPE 'X' GYPSUM BOARD ON 1/2" RESILIENT CHANNELS AT 12" OC DIRECTLY SECURED TO JOIST STRUCTURE ABOVE, PROVIDE SOUND ISOLATION MAT AT HARD FLOORING LOCATIONS. 1 HR RATED, UL DESIGN #L502.

E1 A202 SECOND FLOOR PLAN
1/8" = 1'-0"

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Revisions

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FLOOR PLAN - ACCESSIBILITY NOTES

A. VARIATIONS IN FLOOR FINISH TO BE 1/2" OR LESS. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" TO BE BEVELED AT A SLOPE OF 1:2 OR LESS.

B. OBJECTS PROTRUDING INTO THE PATH OF TRAVEL WITH THEIR LEADING EDGES GREATER THAN 27" AND ELSS THAN 80" AFF SHALL PROJECT 4" MAX INTO THE PATH OF TRAVEL.

C. BRAILLE LETTERING COMPLYING WITH ICC/ANSI A117.1 SHALL BE USED IN CONJUNCTION WITH VISUAL SIGNAGE OUTSIDE ELEVATOR DOORS AND AT DOORS TO EXIT STAIRWAYS. THE SIGN SHALL HAVE A TACTILE SIGN INCLUDING RAISED LETTERS AND BRAILLE STATING 'EXIT'. THERE SHALL BE STAIR LEVEL IDENTIFICATION W/TACTILE CHARACTERS PROVIDED AT EACH FLOOR LANDING. EXIT DOORS DISCHARGING TO OUTSIDE OF LEVEL OF DISCHARGE SHALL HAVE A TACTILE SIGN STATING 'EXIT'.

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F. THE BUILDING WATER SUPPLY SHALL BE CONNECTED TO ANTI-SCALD TEMPERATURE CONTROLS.

G. AT EVERY ELEVATOR LANDING, PROVIDE TWO-WAY COMMUNICATION SYSTEM PER IBC 1007.8.1. INSTRUCTION ON THE USE OF THE AREA UNDER EMERGENCY CONDITIONS SHALL BE POSTED ADJOINING THE COMMUNICATION SYSTEM.

KEYNOTE LEGEND - EXTERIOR WALL TYPES - BY SHEET

TAG	EXTERIOR WALL DESCRIPTION
W14	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SHINGLES, PANELS OR SIDING, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. 1 HR RATED, UL DESIGN #U354.
W14A	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SHINGLES, PANELS OR SIDING, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC, 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, BUILDING WRAP, 1" RIGID INSULATION, FIBER CEMENT SIDING AT INTERIOR FACE.
W14C	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SIDING ON 1" RIGID INSULATION ON BUILDING WRAP ON 2 LAYERS 5/8" EXTERIOR GYP SHEATHING SHEATHING, 2 X 6 WOOD STUDS @ 16" OC, FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND 2 LAYERS 5/8" GYPSUM BOARD AT INTERIOR FACE. 2 HR RATED, UL DESIGN #U308.

GYPSUM BOARD PARTITIONS - GENERAL NOTES

ALL GYPSUM BOARD PARTITIONS SHALL BE VA4 ON THE 1ST THROUGH 3RD FLOORS UNLESS OTHERWISE NOTED ON FLOOR PLAN.

ALL CORRIDOR WALLS SHALL BE VAR8 UNLESS OTHERWISE NOTED ON FLOOR PLAN.

GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

PROVIDE TYPE 'X' FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF FLOOR OR ROOF ASSEMBLY ABOVE.

MASONRY PARTITIONS - GENERAL NOTES

MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:

ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.

PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.

EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL A1/A810. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.

KEYNOTE LEGEND - INTERIOR PARTITION TYPES - BY SHEET

TAG	INTERIOR PARTITION DESCRIPTION
2VA6	INTERIOR WOOD STUD PARTITION: 2 HR RATED UL #U301 WITH 2 X 6 WOOD STUDS @ 16" OC WITH 5-1/2" SOUND ATTENUATION INSUL. AND 2 LAYERS 5/8" GYPSUM BOARD @ EACH FACE.
FV4	INTERIOR FURRING (PARTITION): 3-1/2" WOOD STUDS @ 16" OC WITH ONE LAYER 5/8" GYPSUM BOARD.
M8	INTERIOR MASONRY PARTITION: 8" CONCRETE BLOCK.
VAR6	INTERIOR WOOD STUD PARTITION: 2 X 6 WOOD STUDS @ 16" OC WITH 5-1/2" SOUND ATTENUATION INSUL. AND ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC (CORRIDOR SIDE ONLY). PROVIDE 1 HR RATED ULRU305 DESIGN WHERE 1 HR CONSTRUCTION IS INDICATED ON PLANS.
VBR4	INTERIOR STAGGERED STUD PARTITION: STAGGERED 3 1/2" WOOD STUDS @ 16" OC ON SEPARATE WOOD PLATE WITH 3-1/2" SOUND ATTENUATION INSULATION (BOTH SIDES), 1/2" GAP BETWEEN RUNNERS AND ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC ONE SIDE ONLY. PROVIDE 1 HR RATED ULRU341 DESIGN.

FLOOR PLAN - SYMBOLS LEGEND

NEW WALL/PARTITION
NEW DOOR
SECTION REFERENCE
DETAIL REFERENCE
EXTERIOR ELEVATION
INTERIOR ELEVATION
FLOOR PLAN KEYNOTE
WALL/PARTITION TYPE
ONE HOUR FIRE RESISTIVE CONSTRUCTION
TWO HOUR FIRE RESISTIVE CONSTRUCTION
FLOOR DRAIN - PITCH FLOOR TO DRAIN
FIRE EXTINGUISHER SEMI-RECESSED - REFER TO DETAIL C3/A810

FLOOR PLAN - GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

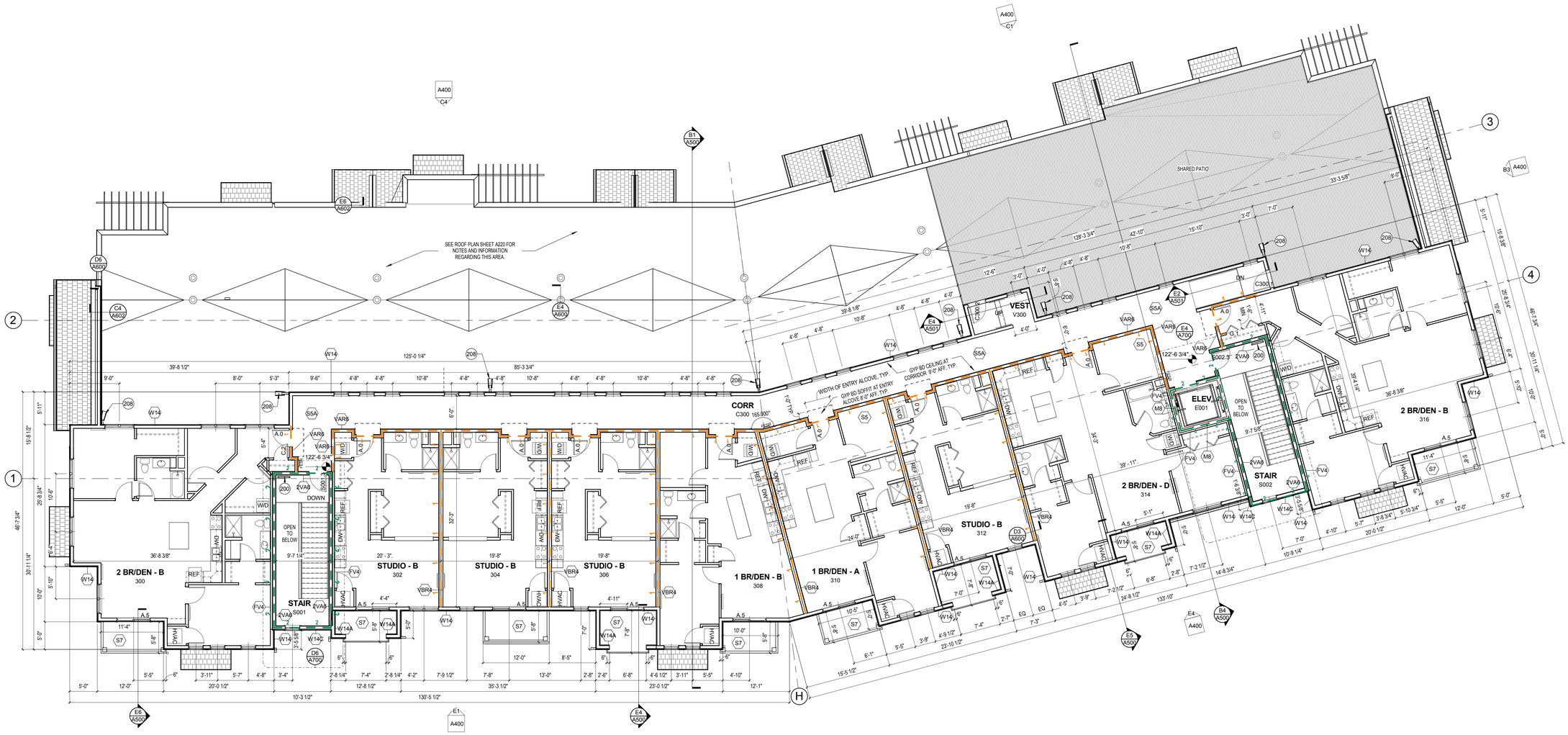
B. ALL EXPOSED STRUCTURAL STEEL AT THE LOWER LEVEL NEEDS TO BE PROTECTED TO 2 HOURS W/SPRAY APPLIED FIRE PROTECTION.

C. REFER TO SHEET A891 FOR DOOR SCHEDULE.

NOTE #	FLOOR PLAN NOTE
200	ATTIC ACCESS HATCH/LADDER. REFER TO DETAIL B6/A810.
201	CONCRETE FILLED STEEL BOLLARD, SEE DETAIL A3/A200
202	KNOX BOX
203	FIRE DEPARTMENT CONNECTION - SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
204	CONCRETE WHEEL STOP
206	PROVIDE CONCRETE STAIRS AND RAILINGS AT FIRST FLOOR UNIT ENTRANCES. COORDINATE NUMBER OF STAIRS AND LOCATION WITH CIVIL DRAWINGS.
207	FLOOR RECESSED WALK-OFF MAT.
208	DOWNSPOUT TO CONCRETE SPLASH BLOCKS
209	ROOF DRAIN LEADER WALL ENCLOSURE
210	DWELLING UNIT: (5) OPEN, ADJUSTABLE SHELVES ON SHELF STANDARDS. SHELVES TO BE 1'-0" DEEP AND MATCH EXPOSED CASEWORK IN UNIT.
211	DWELLING UNIT: SHELF AND POLE TO MATCH EXPOSED CASEWORK IN UNIT.

KEYNOTE LEGEND - CONSTRUCTION TYPES - BY SHEET

TAG	CONSTRUCTION DESCRIPTION
S5	WOOD TRUSS FRAMED, FLOOR-CEILING ASSEMBLY: 1 1/2" LEVELING GYPSUM, 3/4" TONGUE AND GROOVE PLYWOOD SUBFLOOR ON WOOD FLOOR TRUSS SYSTEM, FULL CAVITY BLOWN-IN INSULATION, 5/8" TYPE 'X' GYPSUM BOARD ON 1/2" RESILIENT CHANNELS AT 12" OC DIRECTLY SECURED TO TRUSS STRUCTURE ABOVE, PROVIDE SOUND ISOLATION MAT AT HARD FLOORING LOCATIONS. 1 HR RATED, UL DESIGN #L563.
S5A	WOOD JOIST FRAMED, FLOOR-CEILING ASSEMBLY: 1 1/2" LEVELING GYPSUM, 3/4" TONGUE AND GROOVE PLYWOOD SUBFLOOR ON WOOD FLOOR JOISTS, FULL CAVITY BLOWN-IN INSULATION, 5/8" TYPE 'X' GYPSUM BOARD ON 1/2" RESILIENT CHANNELS AT 12" OC DIRECTLY SECURED TO TRUSS STRUCTURE ABOVE, PROVIDE SOUND ISOLATION MAT AT HARD FLOORING LOCATIONS. 1 HR RATED, UL DESIGN #L502.
S7	2X COMPOSITE DECKING ON 2X PT WOOD FRAMING DECK, STAIN WOOD ELEMENTS TO MATCH DECKING, PAINT METAL SUPPORT ELEMENTS TO MATCH DECKING



E1 / A203 03 - THIRD FLOOR PLAN
1/8" = 1'-0"

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BISHOPS BAY - BACK NINE - BUILDING 1

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ROOF PLAN - SYMBOLS LEGEND

- SLOPE DIRECTION OF INSULATION TAPER SLOPE TO DRAIN. MINIMUM ALLOWABLE TAPER SLOPE SHALL BE 1/4" PER FOOT UNLESS NOTED OTHERWISE
- TAPERED INSULATION VALLEY OR RIDGE
- RD — ROOF DRAIN
- OD — OVERFLOW DRAIN
- +X" — TAPERED INSULATION THICKNESS
- 1 — ROOF PLAN NOTE
- LOCATION OF SELF-ADHERING UNDERLAYMENT (ICE AND WATER BARRIER)

ROOF PLAN - GENERAL NOTES

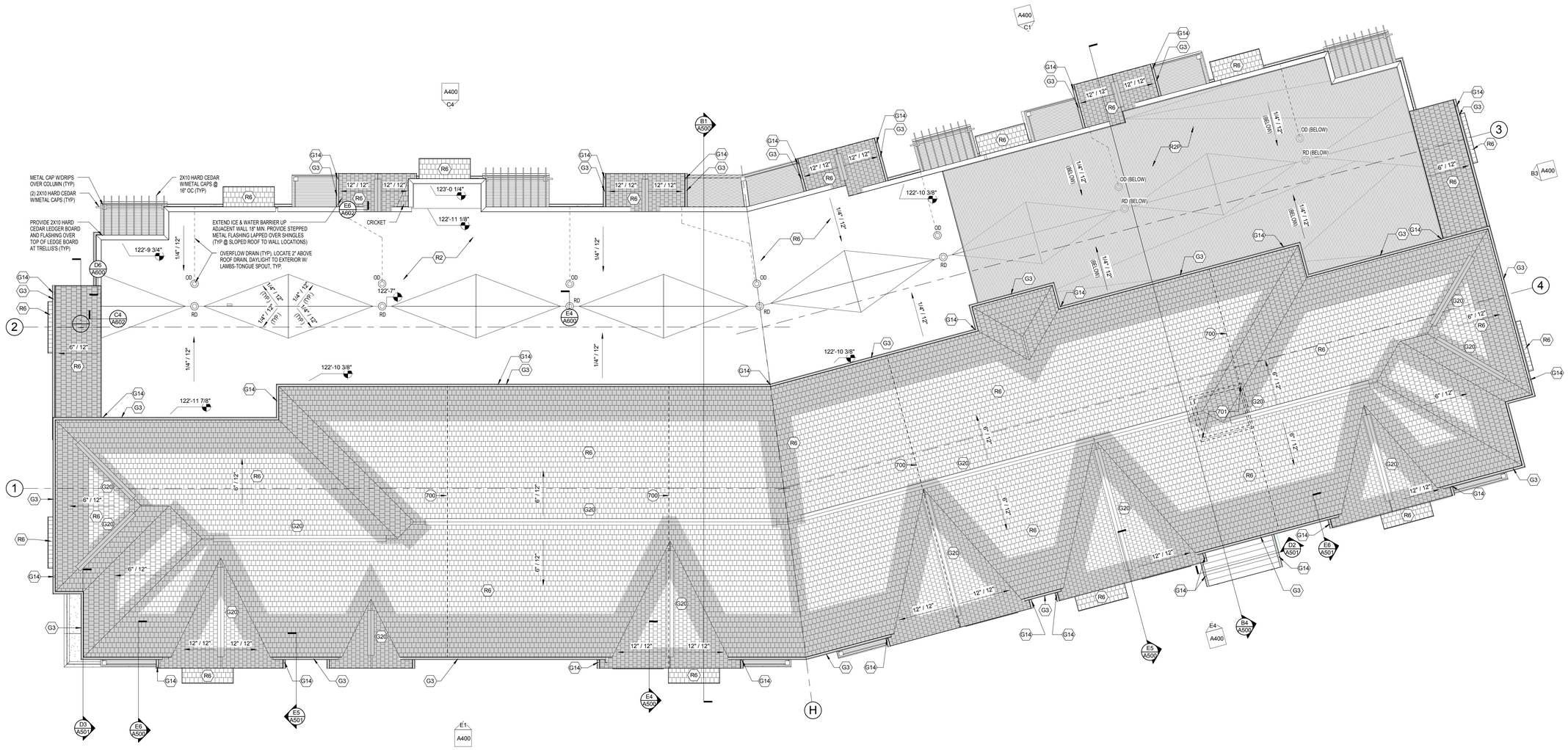
A. COORDINATE AND VERIFY ALL ROOF OPENINGS AND PENETRATIONS WITH STRUCTURAL, PLUMBING, HVAC, AND ELECTRICAL REQUIREMENTS. MECHANICAL DESIGN / BUILD CONTRACTOR, PLUMBING DESIGN / BUILD CONTRACTOR, ELECTRICAL DESIGN / BUILD CONTRACTOR, TO REVIEW WITH OWNER AND ARCHITECT LOCATION OF ALL ROOF OPENINGS AND PENETRATIONS FOR DESIGN INTENT.

B. PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.

C. PROVIDE POSITIVE ROOF DRAINAGE INCLUDING TAPERED INSULATION LAYOUT. PROVIDE SADDLES AND CRICKETS AT ALL ROOF TOP EQUIPMENT AND PENETRATIONS TO ENSURE POSITIVE DRAINAGE.

NOTE #	ROOF PLAN NOTE
700	CONTINUOUS DRAFT STOP FASCIA TO FASCIA CONSISTING OF 2X4 WOOD STUD FRAMING AND ONE LAYER OF 5/8" TYPE X GYP ONE SIDE, TAPED AND FINISHED. PROVIDE CONTINUOUS CATWALK FROM ATTIC ACCESS POINT TO ATTIC ACCESS POINT WITH 3'-0" X 6'-8" DOORS AT EACH DRAFT STOP W/SEALS/SWEEPS/SILLS.
701	FIELD VERIFY ELEVATOR SHAFT VENTING LOCATION.

KEYNOTE LEGEND - CONSTRUCTION TYPES - BY SHEET	
TAG	CONSTRUCTION DESCRIPTION
G3	METAL GUTTER. 5" K STYLE
G14	METAL DOWNSPOUT. 4" X 4"
G20	CONTINUOUS RIDGE VENT
R2	SINGLE PLY ROOFING SYSTEM: FULLY ADHERED THERMOPLASTIC MEMBRANE ON 2" MIN OF TAPERED RIGID INSULATION (ON VAPOR RETARDER) ON 3/4" EXTERIOR PLYWOOD SHEATHING ON WOOD ROOF TRUSS FRAMING. 1 HR RATED. C8 CEILING CEILING SYSTEM IS PART OF THIS ASSEMBLY.
R2P	SINGLE PLY ROOFING SYSTEM: SYNTHETIC WOOD PLANKING ON 2X PRESSURE TREATED WOOD SLEEPERS AND SHIMS ON SLIP SHEET ON FULLY ADHERED THERMOPLASTIC MEMBRANE ON 2" MIN OF TAPERED RIGID INSULATION (ON VAPOR RETARDER) ON 3/4" EXTERIOR PLYWOOD SHEATHING ON WOOD ROOF TRUSS FRAMING. 1 HR RATED. C8 CEILING CEILING SYSTEM IS PART OF THIS ASSEMBLY.
R6	ASPHALT SHINGLE ROOFING SYSTEM: ASPHALT SHINGLES ON UNDERLAYMENT ON 5/8" EXTERIOR GRADE WOOD SHEATHING ON WOOD STRUCTURE. SEE ROOF PLAN FOR LOCATION(S) OF ICE AND WATER BARRIER. 12" BATT INSULATION ON TOP OF VAPOR RETARDER ON TOP OF CEILING SYSTEM IMMEDIATELY BELOW ROOF STRUCTURE.



E1 A220 ROOF PLAN
1/8" = 1'-0"

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B1 A400 WEST ELEVATION
1/8" = 1'-0"

B3 A400 EAST ELEVATION
1/8" = 1'-0"

C1 A400 NORTHEAST ELEVATION
1/8" = 1'-0"

C4 A400 NORTH ELEVATION
1/8" = 1'-0"

E1 A400 SOUTH ELEVATION
1/8" = 1'-0"

E4 A400 SOUTHEAST ELEVATION
1/8" = 1'-0"

EXTERIOR FINISH PATTERNS

- SHINGLES
- BRICK
- STONE
- LAP SIDING
- SHINGLE SIDING
- XX-X SIDING STYLE & COLOR

SIDING STYLE & COLOR

S-1	LAP SIDING (SELECT CEDARMILL)	COLOR: EVENING BLUE
S-2	LAP SIDING (SELECT CEDARMILL)	COLOR: COUNTRYLANE RED
S-3	LAP SIDING (SELECT CEDARMILL)	COLOR: HEATHERED MOSS
S-4	LAP SIDING (SELECT CEDARMILL)	COLOR: TUSCAN GOLD
S-5	LAP SIDING (SELECT CEDARMILL)	COLOR: HARRIS CREAM
S-6	LAP SIDING (SELECT CEDARMILL)	COLOR: AUTUMN TAN
S-7	LAP SIDING (SELECT CEDARMILL)	COLOR: TIMBER BARK
SH-1	SHINGLE SIDING (STAGGERED EDGE)	COLOR: EVENING BLUE
SH-2	SHINGLE SIDING (STAGGERED EDGE)	COLOR: COUNTRYLANE RED
SH-3	SHINGLE SIDING (STAGGERED EDGE)	COLOR: HEATHERED MOSS
SH-4	SHINGLE SIDING (STAGGERED EDGE)	COLOR: TUSCAN GOLD
SH-5	SHINGLE SIDING (STAGGERED EDGE)	COLOR: HARRIS CREAM
SH-6	SHINGLE SIDING (STAGGERED EDGE)	COLOR: AUTUMN TAN
SH-7	SHINGLE SIDING (STAGGERED EDGE)	COLOR: TIMBER BARK
P-6	VERTICAL SIDING (SMOOTH)	COLOR: AUTUMN TAN
P-7	VERTICAL SIDING (SMOOTH)	COLOR: TIMBER BARK
T-1	TRIM (SMOOTH) - ALL TRIM TO BE T-1	COLOR: NAVAJO BEIGE

* FIBER CEMENT BASIS OF DESIGN "JAMES HARDIE BUILDING PRODUCTS, INC."
** GENERAL CONTRACTOR TO REVIEW ALL FINAL SIDING COLORS WITH OWNER

GENERAL NOTES

A. PAINT ALL EXPOSED STEEL LINTELS TO MATCH ADJACENT COLOR

B. TRIM ALL EXTERIOR LIGHTING FIXTURES, OUTLETS, HOSE BIBBS AND ALL OTHER SIDING PENETRATIONS WITH 1X4 FIBER CEMENT TRIM (TYP.)

C. REFER TO SHEET A891 FOR WINDOW FRAME ELEVATIONS

D. SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES

E. CJ - MASONRY CONTROL JOINT - BACKER ROD & SEALANT - SEALANT TO MATCH COLOR OF MORTAR

KEYNOTE LEGEND - CONSTRUCTION TYPES - BY SHEET

TAG	CONSTRUCTION DESCRIPTION
G3	METAL GUTTER. 5" K STYLE
G16	METAL WRAPPED FASCIA: METAL FASCIA ON TREATED 2X WOOD BLOCKING
J4	PRECAST CAP/TRANSITION. SEE DETAIL E1/A500 FOR PROFILE.
J5	3 1/2" X 5/4" SMOOTH FIBER-CEMENT TRIM.
J6	5 1/2" X 5/4" SMOOTH FIBER-CEMENT TRIM.
J7	7 1/2" X 5/4" SMOOTH FIBER-CEMENT TRIM.
J8	3 1/2 " X 5/4" (TOP) AND 7 1/2" X 3/4" (BOTTOM) SMOOTH FIBER-CEMENT TRIM.
J9	3 1/2 " X 5/4" (TOP) AND 3 1/2" X 3/4" (BOTTOM) SMOOTH FIBER-CEMENT TRIM.
J11	ALUMINUM RAILING SYSTEM
J12	DECORATIVE WOOD BRACKET 1'-8"L X 1'-8" W
J21	11 1/4" X 5/4" SMOOTH FIBER-CEMENT TRIM
J22	BRONZE DEDICATION PLAQUE. REFER TO DETAIL D6/A810

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BISHOPS BAY - BACK NINE - BLDG 2
BISHOPS BAY PARKWAY

Main Entry from Parking

Detail at South Elevation

140190-03
12-08-14 BISHOPS BAY - BACK NINE - BUILDING 2

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BISHOPS BAY - BACK NINE - BLDG 2
BISHOPS BAY PARKWAY

EAST ELEVATION

NORTHWEST ELEVATION

SOUTHWEST ELEVATION

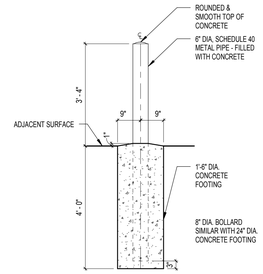
SOUTH ELEVATION

NORTH ELEVATION

NORTHEAST ELEVATION

140190-03

12-08-14



A3 / A200 CONCRETE FILLED PIPE BOLLARD
1/2" = 1'-0"

FLOOR PLAN - ACCESSIBILITY NOTES

A. VARIATIONS IN FLOOR FINISH TO BE 1/2" OR LESS. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" TO BE BEVELED AT A SLOPE OF 1:2 OR LESS.

B. OBJECTS PROTRUDING INTO THE PATH OF TRAVEL WITH THEIR LEADING EDGES GREATER THAN 27" AND ELSS THAN 80" AFF SHALL PROJECT 4" MAX INTO THE PATH OF TRAVEL.

C. BRAILLE LETTERING COMPLYING WITH ICC/ANSI A117.1 SHALL BE USED IN CONJUNCTION WITH VISUAL SIGNAGE OUTSIDE ELEVATOR DOORS AND AT DOORS TO EXIT STAIRWAYS. THE SIGN SHALL HAVE A TACTILE SIGN INCLUDING RAISED LETTERS AND BRAILLE STATING EXIT. THERE SHALL BE STAIR LEVEL IDENTIFICATION W/TACTILE CHARACTERS PROVIDED AT EACH FLOOR LANDING. EXIT DOORS DISCHARGING TO OUTSIDE OF LEVEL OF DISCHARGE SHALL HAVE A TACTILE SIGN STATING 'EXIT.

D. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE DISPLAYED AT ACCESSIBLE ENTRANCES AND ACCESSIBLE PARKING SPACES. THE SIZE, STYLE, LOCATION AND HEIGHT OF THE SYMBOLS SHALL COMPLY WITH ICC/ANSI A117.1.

E. DIRECTIONAL SIGNAGE INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY INDICATING THE ROUTE TO THE NEAREST LIKE ACCESSIBLE ELEMENT WITHIN THE BUILDING SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES AND INACCESSIBLE EXITS.

F. THE BUILDING WATER SUPPLY SHALL BE CONNECTED TO ANTI-SCALD TEMPERATURE CONTROLS.

G. AT EVERY ELEVATOR LANDING, PROVIDE TWO-WAY COMMUNICATION SYSTEM PER IBC 1007.8.1. INSTRUCTION ON THE USE OF THE AREA UNDER EMERGENCY CONDITIONS SHALL BE POSTED ADJOINING THE COMMUNICATION SYSTEM.

KEYNOTE LEGEND - EXTERIOR WALL TYPES BY SHEET

TAG	EXTERIOR WALL DESCRIPTION
W1	EXTERIOR WALL: MASONRY CAVITY WALL CONSISTING OF 4" FACE BRICK OR STONE, 1-3/4" AIR SPACE, 2" RIGID INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 8" CAST IN PLACE BACK-UP WALL WITH ADJUSTABLE (TWO-PIECE) HORIZONTAL MASONRY JOINT REINFORCING @ 16" OC. PROVIDE CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPS/VENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE THE CAVITY (SEE DETAIL D1/A600) AND PROVIDE CAVITY WEEPS/VENTS AT TOP/BOTTOM OF CAVITY. CMU TO BE 2 HOUR RATED. FACADE DESIGNED ASSUMING MODULAR BRICK, IF NON-MODULAR BRICK ARE USED, WALL OPENINGS AND SILLS MAY HAVE TO BE ADJUSTED.
WB2	EXTERIOR WALL (BELOW GRADE): REINFORCED CONCRETE FOUNDATION WALL WITH SHEET MEMBRANE WATERPROOFING. TERMINATE ALL MEMBRANE PERIMETER EDGES WITH 1/8" x 1" ALUMINUM COMPRESSION BAR WITH CONTINUOUS SEALANT. SHEET MEMBRANE MUST INTERFACE WITH VERTICAL WALL AIR & VAPOR BARRIER LINE. PROVIDE 2" RIGID FOUNDATION INSULATION, EXTEND FULL HEIGHT VERTICALLY.

GYPSUM BOARD PARTITIONS - GENERAL NOTES

ALL GYPSUM BOARD PARTITIONS SHALL BE VA4 ON THE 1ST THROUGH 3RD FLOORS UNLESS OTHERWISE NOTED ON FLOOR PLAN.

GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

PROVIDE TYPE 'X' FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF FLOOR OR ROOF ASSEMBLY ABOVE.

MASONRY PARTITIONS - GENERAL NOTES

MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:

ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.

PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.

EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL A1/A810. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.

KEYNOTE LEGEND - INTERIOR PARTITION TYPES BY SHEET

TAG	INTERIOR PARTITION DESCRIPTION
FV4A	INTERIOR PARTITION: 3-5/8" STEEL STUDS @ 16" OC WITH ONE LAYER 1/2" FIRE RESISTANT PLYWOOD (PLYWOOD FROM 0'-0" TO 8'-0" AFF, CHICKEN WIRE FROM TOP OF PLYWOOD TO UNDERSIDE OF DECK ABOVE).
M8	INTERIOR MASONRY PARTITION: 8" CONCRETE BLOCK.

FLOOR PLAN - SYMBOLS LEGEND

- NEW WALL/PARTITION
- SECTION REFERENCE (DTL / SHT)
- EXTERIOR ELEVATION (DTL / SHT)
- FLOOR PLAN KEYNOTE (1)
- ONE HOUR FIRE RESISTIVE CONSTRUCTION (1 / 2)
- TWO HOUR FIRE RESISTIVE CONSTRUCTION (1 / 2)
- NEW DOOR (100.0)
- DETAIL REFERENCE (DTL / SHT)
- INTERIOR ELEVATION (DTL / SHT)
- WALL/PARTITION TYPE (W1)
- FLOOR DRAIN - PITCH FLOOR TO DRAIN (FD)
- FIRE EXTINGUISHER SEMI-RECESSED - REFER TI DETAIL C3/810 (FESR)

FLOOR PLAN - GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

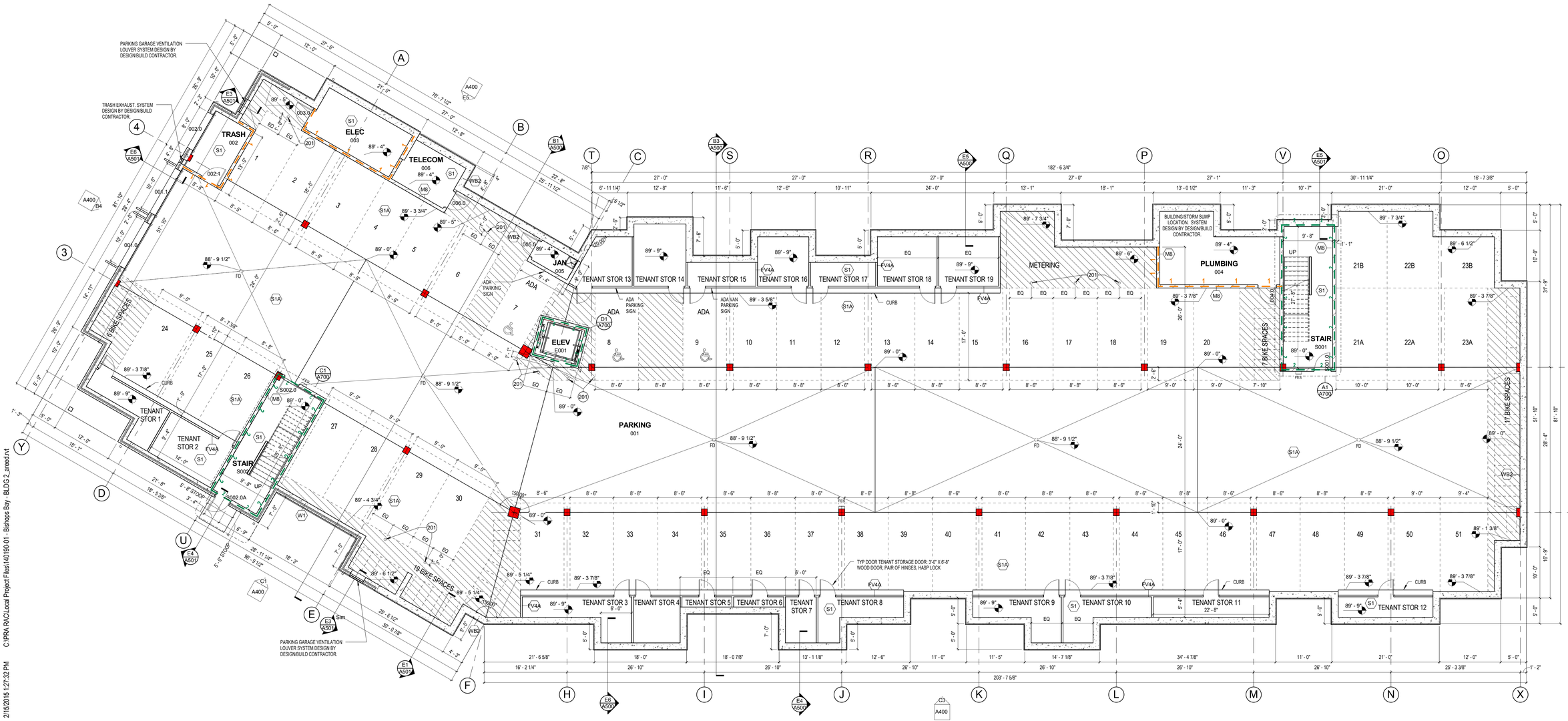
B. ALL EXPOSED STRUCTURAL STEEL AT THE LOWER LEVEL NEEDS TO BE PROTECTED TO 2 HOURS W/SPRAY APPLIED FIRE PROTECTION.

C. REFER TO SHEET A891 FOR DOOR SCHEDULE.

NOTE #	FLOOR PLAN NOTE
200	ATTIC ACCESS HATCH/LADDER. REFER TO DETAIL B6/A810.
201	CONCRETE FILLED STEEL BOLLARD. SEE DETAIL A3/A200
202	KNOX BOX
203	FIRE DEPARTMENT CONNECTION - SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
207	FLOOR RECESSED WALK-OFF MAT.
210	DWELLING UNIT: (5) OPEN, ADJUSTABLE SHELVES ON SHELF STANDARDS. SHELVES TO BE 1'-0" DEEP AND MATCH EXPOSED CASEWORK IN UNIT.
211	DWELLING UNIT: SHELF AND POLE TO MATCH EXPOSED CASEWORK IN UNIT.

KEYNOTE LEGEND - CONSTRUCTION TYPES BY SHEET

TAG	CONSTRUCTION DESCRIPTION
S1	4" REINFORCED CONCRETE SLAB ON VAPOR BARRIER ON 6" DRAINAGE FILL.
S1A	5" REINFORCED CONCRETE SLAB ON VAPOR BARRIER ON 6" DRAINAGE FILL.



E1 / A200 LOWER LEVEL
1/8" = 1'-0"

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pra
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BISHOPS BAY - BACK NINE - BUILDING 2

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Revisions

Drawn By: AML

Date: 02-13-15

Job No.: 140190-01

Sheet No.: A200

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FLOOR PLAN - ACCESSIBILITY NOTES

A. VARIATIONS IN FLOOR FINISH TO BE 1/2" OR LESS. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" TO BE BEVELED AT A SLOPE OF 1:2 OR LESS.

B. OBJECTS PROTRUDING INTO THE PATH OF TRAVEL WITH THEIR LEADING EDGES GREATER THAN 27" AND ELSS THAN 80" AFF SHALL PROJECT 4" MAX INTO THE PATH OF TRAVEL.

C. BRAILLE LETTERING COMPLYING WITH ICC/ANSI A117.1 SHALL BE USED IN CONJUNCTION WITH VISUAL SIGNAGE OUTSIDE ELEVATOR DOORS AND AT DOORS TO EXIT STAIRWAYS. THE SIGN SHALL HAVE A TACTILE SIGN INCLUDING RAISED LETTERS AND BRAILLE STATING 'EXIT'. THERE SHALL BE STAIR LEVEL IDENTIFICATION W/TACTILE CHARACTERS PROVIDED AT EACH FLOOR LANDING. EXIT DOORS DISCHARGING TO OUTSIDE OF LEVEL OF DISCHARGE SHALL HAVE A TACTILE SIGN STATING 'EXIT'.

D. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE DISPLAYED AT ACCESSIBLE ENTRANCES AND ACCESSIBLE PARKING SPACES. THE SIZE, STYLE, LOCATION AND HEIGHT OF THE SYMBOLS SHALL COMPLY WITH ICC/ANSI A117.1.

E. DIRECTIONAL SIGNAGE INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY INDICATING THE ROUTE TO THE NEAREST LIKE ACCESSIBLE ELEMENT WITHIN THE BUILDING SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES AND INACCESSIBLE EXITS.

F. THE BUILDING WATER SUPPLY SHALL BE CONNECTED TO ANTI-SCALD TEMPERATURE CONTROLS.

G. AT EVERY ELEVATOR LANDING, PROVIDE TWO-WAY COMMUNICATION SYSTEM PER IBC 1007.8.1. INSTRUCTION ON THE USE OF THE AREA UNDER EMERGENCY CONDITIONS SHALL BE POSTED ADJOINING THE COMMUNICATION SYSTEM.

KEYNOTE LEGEND - EXTERIOR WALL TYPES BY SHEET

TAG	EXTERIOR WALL DESCRIPTION
W13	EXTERIOR WALL: MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK OR STONE, 2-3/4" AIR SPACE, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY, CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPS/VENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE CAVITY (SEE DETAIL D2/A600) AND PROVIDE CAVITY WEEPS/VENTS AT TOP AND BOTTOM OF CAVITY. 1 HR RATED, UL DESIGN #U354. FACADE DESIGNED ASSUMING MODULAR BRICK, IF NON-MODULAR BRICK ARE USED, WALL OPENINGS AND SILLS MAY HAVE TO BE ADJUSTED.
W13A	EXTERIOR WALL: MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK OR STONE, 2-3/4" AIR SPACE, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC, 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, BUILDING WRAP, 1" RIGID INSULATION, FIBER CEMENT SIDING AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY, CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPS/VENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE CAVITY (SEE DETAIL D2/A600) AND PROVIDE CAVITY WEEPS/VENTS AT TOP AND BOTTOM OF CAVITY. FACADE DESIGNED ASSUMING MODULAR BRICK, IF NON-MODULAR BRICK ARE USED, WALL OPENINGS AND SILLS MAY HAVE TO BE ADJUSTED.
W13B	EXTERIOR WALL: MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK OR STONE, 2-3/8" AIR SPACE, 1" RIGID INSULATION, BUILDING WRAP ON 2 LAYERS 5/8" EXTERIOR GYP SHEATHING, 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND 2 LAYERS 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY, CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPS/VENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE CAVITY (SEE DETAIL D2/A600) AND PROVIDE CAVITY WEEPS/VENTS AT TOP AND BOTTOM OF CAVITY. 2 HR RATED, UL DESIGN #U338. FACADE DESIGNED ASSUMING MODULAR BRICK, IF NON-MODULAR BRICK ARE USED, WALL OPENINGS AND SILLS MAY HAVE TO BE ADJUSTED.
W14	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SHINGLES, PANELS OR SIDING, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. 1 HR RATED, UL DESIGN #U354.
W14A	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SHINGLES, PANELS OR SIDING, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC, 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, BUILDING WRAP, 1" RIGID INSULATION, FIBER CEMENT SIDING AT INTERIOR FACE.
W14C	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SIDING ON 1" RIGID INSULATION ON BUILDING WRAP ON 2 LAYERS 5/8" EXTERIOR GYP SHEATHING SHEATHING, 2 X 6 WOOD STUDS @ 16" OC, FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND 2 LAYERS 5/8" GYPSUM BOARD AT INTERIOR FACE. 2 HR RATED, UL DESIGN #U308.

GYPSUM BOARD PARTITIONS - GENERAL NOTES

ALL GYPSUM BOARD PARTITIONS SHALL BE (VA4) ON THE 1ST THROUGH 3RD FLOORS UNLESS OTHERWISE NOTED ON FLOOR PLAN.

GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

PROVIDE TYPE 'X' FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF FLOOR OR ROOF ASSEMBLY ABOVE.

MASONRY PARTITIONS - GENERAL NOTES

MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:

ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.

PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.

EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL A1/A810. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.

KEYNOTE LEGEND - INTERIOR PARTITION TYPES BY SHEET

TAG	INTERIOR PARTITION DESCRIPTION
2VA6	INTERIOR WOOD STUD PARTITION: 2 HR RATED UL #U301 WITH 2 X 6 WOOD STUDS @ 16" OC WITH 5-1/2" SOUND ATTENUATION INSUL. AND 2 LAYERS 5/8" GYPSUM BOARD @ EACH FACE.
F4	INTERIOR FURRING (PARTITION): 3-5/8" STEEL STUDS @ 16" OC WITH ONE LAYER 5/8" GYPSUM BOARD.
FV4	INTERIOR FURRING (PARTITION): 3-1/2" WOOD STUDS @ 16" OC WITH ONE LAYER 5/8" GYPSUM BOARD.
M8+FV4	INTERIOR MASONRY PARTITION: 8" CONCRETE BLOCK, 3-1/2" WOOD STUDS @ 16" OC WITH ONE LAYER 5/8" GYPSUM BOARD.
VA6	INTERIOR WOOD STUD PARTITION: 2 X 6 WOOD STUDS @ 16" OC WITH 5-1/2" SOUND ATTENUATION INSUL. AND ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.
VAR6	INTERIOR WOOD STUD PARTITION: 2 X 6 WOOD STUDS @ 16" OC WITH 5-1/2" SOUND ATTENUATION INSUL. AND ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC (CORRIDOR SIDE ONLY). PROVIDE 1 HR RATED UL#U305 DESIGN WHERE 1 HR CONSTRUCTION IS INDICATED ON PLANS.
VBR5	INTERIOR STAGGERED STUD PARTITION: STAGGERED 3 1/2" WOOD STUDS @ 16" OC ON SEPARATE WOOD PLATE WITH 3-1/2" SOUND ATTENUATION INSULATION (BOTH SIDES), 7/16" PLYWOOD SHEATHING, 5/16" GAP BETWEEN RUNNER AND SHEATHING AND ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC ONE SIDE ONLY. PROVIDE 1 HR RATED UL#U341 DESIGN.

FLOOR PLAN - SYMBOLS LEGEND

- NEW WALL/PARTITION
- NEW DOOR (180.0)
- SECTION REFERENCE (DTL / SHT)
- DETAIL REFERENCE (DTL / SHT)
- EXTERIOR ELEVATION (DTL / SHT)
- INTERIOR ELEVATION (DTL / SHT)
- FLOOR PLAN KEYNOTE (1)
- WALL/PARTITION TYPE (W1)
- ONE HOUR FIRE RESISTIVE CONSTRUCTION (1 / 1)
- TWO HOUR FIRE RESISTIVE CONSTRUCTION (2 / 2)
- FLOOR DRAIN - PITCH FLOOR TO DRAIN (FD)
- FIRE EXTINGUISHER SEMI-RECESSED - REFER TI DETAIL C3/810 (FESR)

FLOOR PLAN - GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

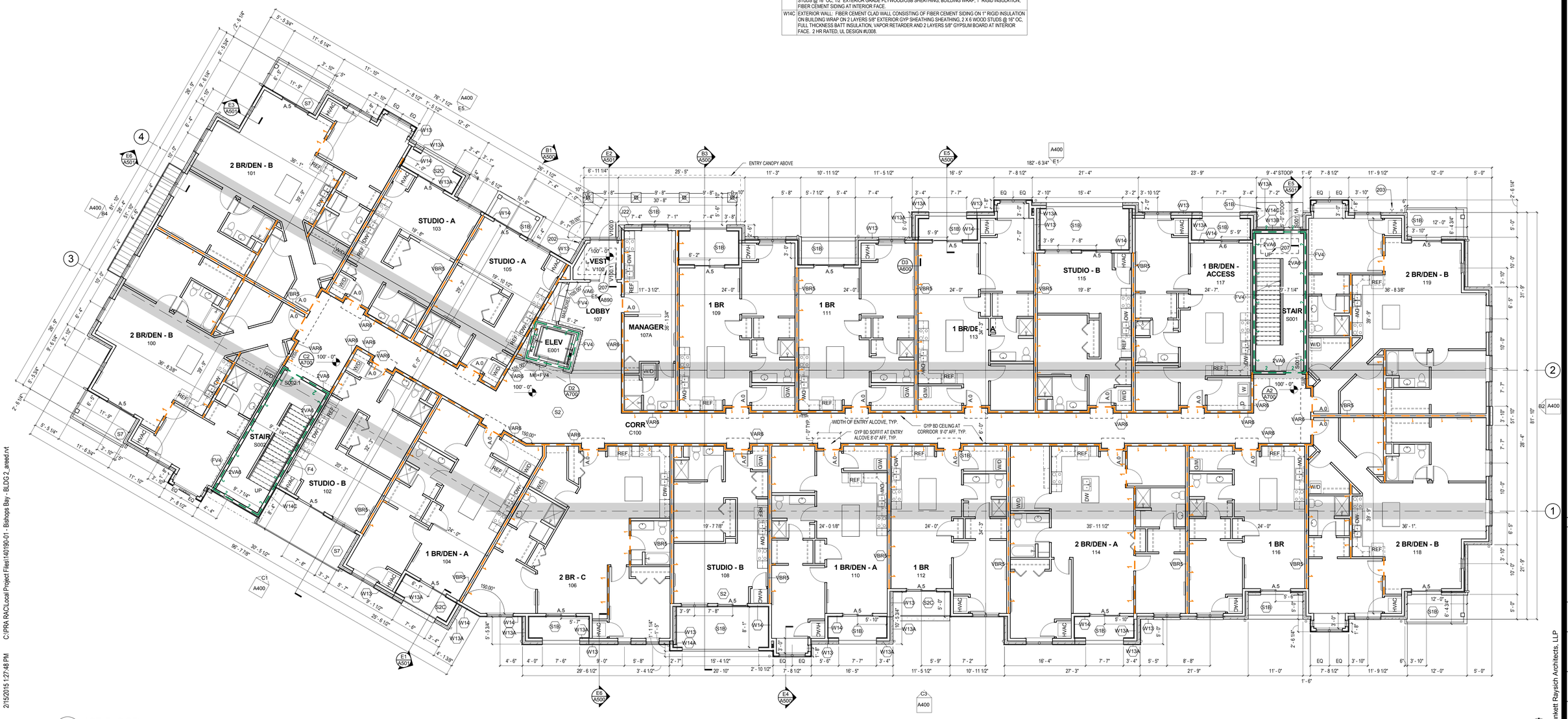
B. ALL EXPOSED STRUCTURAL STEEL AT THE LOWER LEVEL NEEDS TO BE PROTECTED TO 2 HOURS W/SPRAY APPLIED FIRE PROTECTION.

C. REFER TO SHEET A891 FOR DOOR SCHEDULE.

NOTE #	FLOOR PLAN NOTE
200	ATTIC ACCESS HATCH/LADDER. REFER TO DETAIL B6/A810.
201	CONCRETE FILLED STEEL BOLLARD, SEE DETAIL A3/A200
202	KNOX BOX
203	FIRE DEPARTMENT CONNECTION - SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
207	FLOOR RECESSED WALK-OFF MAT.
210	DWELLING UNIT: (5) OPEN, ADJUSTABLE SHELVES ON SHELF STANDARDS. SHELVES TO BE 1'-0" DEEP AND MATCH EXPOSED CASEWORK IN UNIT.
211	DWELLING UNIT: SHELF AND POLE TO MATCH EXPOSED CASEWORK IN UNIT.

KEYNOTE LEGEND - CONSTRUCTION TYPES BY SHEET

TAG	CONSTRUCTION DESCRIPTION
J22	BRONZE DEDICATION PLAQUE. REFER TO DETAIL D6/A810
S1B	4" REINFORCED CONCRETE SLAB.
S2	LEVELING GYPSUM (3/4" MIN) ON STRUCTURAL CONCRETE DECK. 2 HR RATED.
S2C	MIN 4" REINFORCED CONCRETE TOPPING ON 2" HIGH DENSITY RIGID INSULATION ON DRAINAGE MAT ON WATERPROOFING MEMBRANE ON SLOPED TOPPING ON PRECAST CONCRETE DECK. 2 HR RATED.
S7	2X COMPOSITE DECKING ON 2X PT WOOD FRAMING DECK, STAIN WOOD ELEMENTS TO MATCH DECKING, PAINT METAL SUPPORT ELEMENTS TO MATCH DECKING



E1 / A201 1ST FLOOR
1/8" = 1'-0"

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BISHOPS BAY - BACK NINE - BUILDING 2

HWY Q & BISHOPS BAY PARKWAY
MIDDLETON, WI 53562

Revisions

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Date: 02-13-15
Job No.: 140190-01
Sheet No.: A201

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FLOOR PLAN - ACCESSIBILITY NOTES

A. VARIATIONS IN FLOOR FINISH TO BE 1/2" OR LESS. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" TO BE BEVELED AT A SLOPE OF 1:2 OR LESS.

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C. BRAILLE LETTERING COMPLYING WITH ICC/ANSI A117.1 SHALL BE USED IN CONJUNCTION WITH VISUAL SIGNAGE OUTSIDE ELEVATOR DOORS AND AT DOORS TO EXIT STAIRWAYS. THE SIGN SHALL HAVE A TACTILE SIGN INCLUDING RAISED LETTERS AND BRAILLE STATING "EXIT". THERE SHALL BE STAIR LEVEL IDENTIFICATION W/TACTILE CHARACTERS PROVIDED AT EACH FLOOR LANDING. EXIT DOORS DISCHARGING TO OUTSIDE OF LEVEL OF DISCHARGE SHALL HAVE A TACTILE SIGN STATING 'EXIT'.

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G. AT EVERY ELEVATOR LANDING, PROVIDE TWO-WAY COMMUNICATION SYSTEM PER IBC 1007.8.1. INSTRUCTION ON THE USE OF THE AREA UNDER EMERGENCY CONDITIONS SHALL BE POSTED ADJOINING THE COMMUNICATION SYSTEM.

GYPSUM BOARD PARTITIONS - GENERAL NOTES

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GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

PROVIDE TYPE 'X' FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

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SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.

EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL A1/A810. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.

FLOOR PLAN - SYMBOLS LEGEND

NEW WALL/PARTITION
NEW DOOR
SECTION REFERENCE
DETAIL REFERENCE
EXTERIOR ELEVATION
INTERIOR ELEVATION
FLOOR PLAN KEYNOTE
WALL/PARTITION TYPE
ONE HOUR FIRE RESISTIVE CONSTRUCTION
FLOOR DRAIN - PITCH FLOOR TO DRAIN
TWO HOUR FIRE RESISTIVE CONSTRUCTION
FIRE EXTINGUISHER SEMI-RECESSED - REFER TI DETAIL C3/810

FLOOR PLAN - GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

B. ALL EXPOSED STRUCTURAL STEEL AT THE LOWER LEVEL NEEDS TO BE PROTECTED TO 2 HOURS W/SPRAY APPLIED FIRE PROTECTION.

C. REFER TO SHEET A891 FOR DOOR SCHEDULE.

KEYNOTE LEGEND - EXTERIOR WALL TYPES BY SHEET

TAG	EXTERIOR WALL DESCRIPTION
W2	EXTERIOR WALL: FIBER CEMENT SIDING OR PANELS ON BUILDING WRAP ON 1 1/2" RIGID INSULATION W/GALV METAL Z'S, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 8" CONCRETE MASONRY UNIT BACK-UP WALL. PROVIDE HORIZONTAL MASONRY JOINT REINFORCING @ 16" OC (REFER TO STRUCTURAL DRAWINGS FOR REQUIRED VERTICAL REINFORCING), WEEPS @ 16" OC, FLASHING, EXPANSION AND CONTROL JOINTS. CMU TO BE 2 HOUR RATED.
W13	EXTERIOR WALL: MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK OR STONE, 2-3/4" AIR SPACE, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY, CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPS/VENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE CAVITY (SEE DETAIL D2/A600) AND PROVIDE CAVITY WEEPS/VENTS AT TOP AND BOTTOM OF CAVITY. 1 HR RATED, UL DESIGN #U354. FACADE DESIGNED ASSUMING MODULAR BRICK, IF NON-MODULAR BRICK ARE USED, WALL OPENINGS AND SILLS MAY HAVE TO BE ADJUSTED.
W13A	EXTERIOR WALL: MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK OR STONE, 2-3/4" AIR SPACE, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC, 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, BUILDING WRAP, 1" RIGID INSULATION, FIBER CEMENT SIDING AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY, CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPS/VENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE CAVITY (SEE DETAIL D2/A600) AND PROVIDE CAVITY WEEPS/VENTS AT TOP AND BOTTOM OF CAVITY. FACADE DESIGNED ASSUMING MODULAR BRICK, IF NON-MODULAR BRICK ARE USED, WALL OPENINGS AND SILLS MAY HAVE TO BE ADJUSTED.
W14	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SHINGLES, PANELS OR SIDING, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. 1 HR RATED, UL DESIGN #U354.
W14A	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SHINGLES, PANELS OR SIDING, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC, 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, BUILDING WRAP, 1" RIGID INSULATION, FIBER CEMENT SIDING AT INTERIOR FACE.
W14B	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SHINGLES, PANELS OR SIDING, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC , BUILDING WRAP. FIBER CEMENT SHINGLES, PANELS OR SIDING.
W14C	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SIDING ON 1" RIGID INSULATION ON BUILDING WRAP ON 2 LAYERS 5/8" EXTERIOR GYP SHEATHING SHEATHING, 2 X 6 WOOD STUDS @ 16" OC, FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND 2 LAYERS 5/8" GYPSUM BOARD AT INTERIOR FACE. 2 HR RATED, UL DESIGN #U308.

KEYNOTE LEGEND - INTERIOR PARTITION TYPES BY SHEET

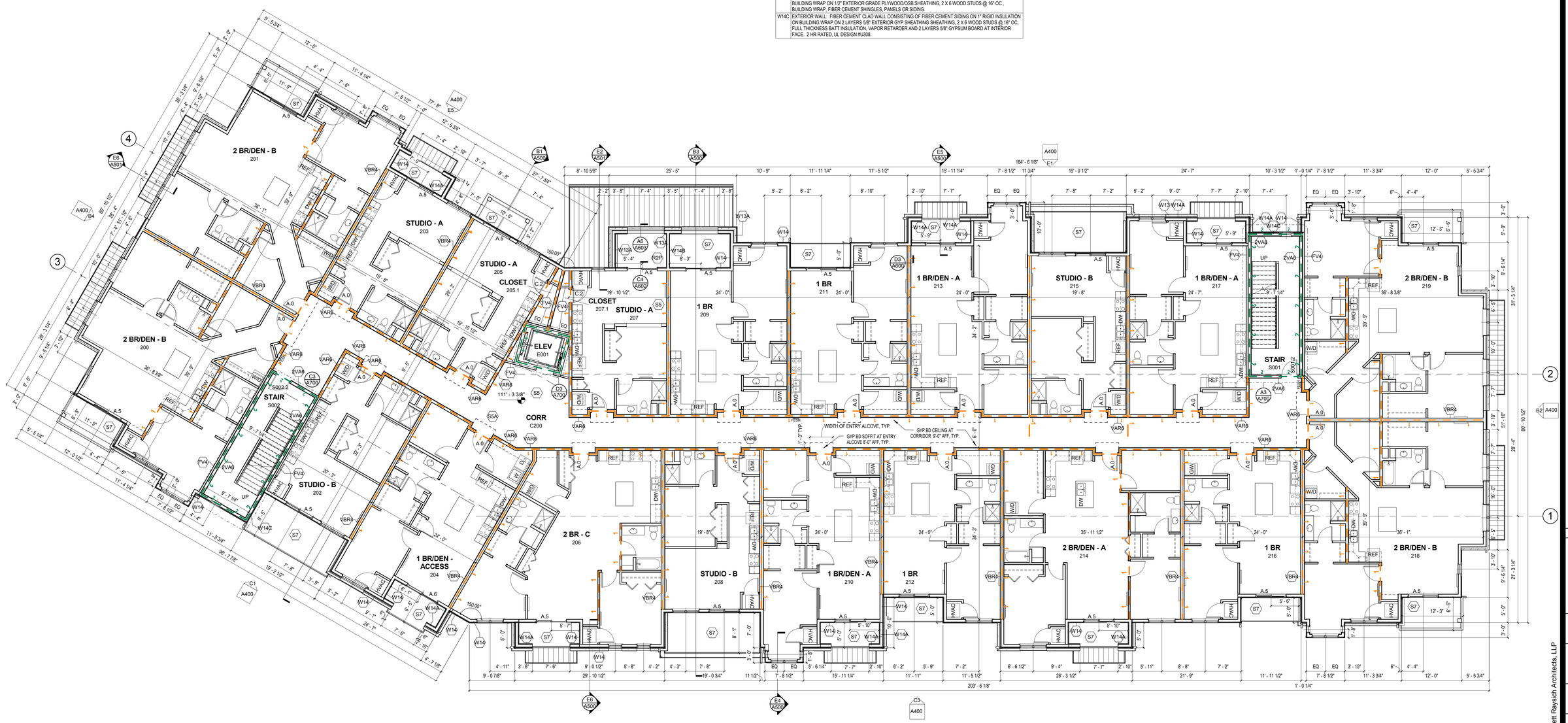
TAG	INTERIOR PARTITION DESCRIPTION
2VA6	INTERIOR WOOD STUD PARTITION: 2 HR RATED UL #U301 WITH 2 X 6 WOOD STUDS @ 16" OC WITH 5-1/2" SOUND ATTENUATION INSUL. AND 2 LAYERS 5/8" GYPSUM BOARD @ EACH FACE.
FV4	INTERIOR FURRING (PARTITION): 3-1/2" WOOD STUDS @ 16" OC WITH ONE LAYER 5/8" GYPSUM BOARD.
VAR6	INTERIOR WOOD STUD PARTITION: 2 X 6 WOOD STUDS @ 16" OC WITH 5-1/2" SOUND ATTENUATION INSUL. AND ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC (CORRIDOR SIDE ONLY). PROVIDE 1 HR RATED ULIU305 DESIGN WHERE 1 HR CONSTRUCTION IS INDICATED ON PLANS.
VBR4	INTERIOR STAGGERED STUD PARTITION: STAGGERED 3 1/2" WOOD STUDS @ 16" OC. ON SEPARATE WOOD PLATE WITH 3-1/2" SOUND ATTENUATION INSULATION (BOTH SIDES), 1/2" GAP BETWEEN RUNNERS AND ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC ONE SIDE ONLY. PROVIDE 1 HR RATED ULIU341 DESIGN.

FLOOR PLAN NOTE

NOTE #	FLOOR PLAN NOTE
200	ATTIC ACCESS HATCH/LADDER. REFER TO DETAIL B6/A810.
201	CONCRETE FILLED STEEL BOLLARD, SEE DETAIL A3/A200
202	KNOX BOX
203	FIRE DEPARTMENT CONNECTION - SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
207	FLOOR RECESSED WALK-OFF MAT.
210	DWELLING UNIT: (5) OPEN, ADJUSTABLE SHELVES ON SHELF STANDARDS. SHELVES TO BE 1'-0" DEEP AND MATCH EXPOSED CASEWORK IN UNIT.
211	DWELLING UNIT: SHELF AND POLE TO MATCH EXPOSED CASEWORK IN UNIT.

KEYNOTE LEGEND - CONSTRUCTION TYPES BY SHEET

TAG	CONSTRUCTION DESCRIPTION
R2P	SINGLE PLY ROOFING SYSTEM: SYNTHETIC WOOD PLANKING ON 2X PRESSURE TREATED WOOD SLEEPERS AND SHIMS ON SLIP SHEET ON FULLY ADHERED THERMOPLASTIC MEMBRANE ON 2" MIN OF TAPERED RIGID INSULATION (ON VAPOR RETARDER) ON 3/4" EXTERIOR PLYWOOD SHEATHING ON WOOD ROOF TRUSS FRAMING. 1 HR RATED. CB CEILING CEILING SYSTEM IS PART OF THIS ASSEMBLY.
S5	WOOD TRUSS FRAMED, FLOOR-CEILING ASSEMBLY: 1 1/2" LEVELING GYPSUM, 3/4" TONGUE AND GROOVE PLYWOOD SUBFLOOR ON WOOD FLOOR TRUSS SYSTEM, FULL CAVITY BLOWN-IN INSULATION, 5/8" TYPE 'X' GYPSUM BOARD ON 1/2" RESILIENT CHANNELS AT 12" OC DIRECTLY SECURED TO TRUSS STRUCTURE ABOVE, PROVIDE SOUND ISOLATION MAT AT HARD FLOORING LOCATIONS. 1 HR RATED, UL DESIGN #L563.
S5A	WOOD JOIST FRAMED, FLOOR-CEILING ASSEMBLY: 1 1/2" LEVELING GYPSUM, 3/4" TONGUE AND GROOVE PLYWOOD SUBFLOOR ON WOOD FLOOR JOISTS, FULL CAVITY BLOWN-IN INSULATION, 5/8" TYPE 'X' GYPSUM BOARD ON 1/2" RESILIENT CHANNELS AT 12" OC DIRECTLY SECURED TO TRUSS STRUCTURE ABOVE, PROVIDE SOUND ISOLATION MAT AT HARD FLOORING LOCATIONS. 1 HR RATED, UL DESIGN #L502.
S7	2X COMPOSITE DECKING ON 2X PT WOOD FRAMING DECK, STAIN WOOD ELEMENTS TO MATCH DECKING, PAINT METAL SUPPORT ELEMENTS TO MATCH DECKING



E1 A202 2ND FLOOR
1/8" = 1'-0"

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BISHOPS BAY - BACK NINE - BUILDING 2

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Drawn By: AML
Date: 02-13-15
Job No.: 140190-01
Sheet No.: A202

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FLOOR PLAN - ACCESSIBILITY NOTES

A. VARIATIONS IN FLOOR FINISH TO BE 1/2" OR LESS. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" TO BE BEVELED AT A SLOPE OF 1:2 OR LESS.

B. OBJECTS PROTRUDING INTO THE PATH OF TRAVEL WITH THEIR LEADING EDGES GREATER THAN 27" AND ELSS THAN 80" AFF SHALL PROJECT 4" MAX INTO THE PATH OF TRAVEL.

C. BRAILLE LETTERING COMPLYING WITH ICC/ANSI A117.1 SHALL BE USED IN CONJUNCTION WITH VISUAL SIGNAGE OUTSIDE ELEVATOR DOORS AND AT DOORS TO EXIT STAIRWAYS. THE SIGN SHALL HAVE A TACTILE SIGN INCLUDING RAISED LETTERS AND BRAILLE STATING "EXIT". THERE SHALL BE STAIR LEVEL IDENTIFICATION W/TACTILE CHARACTERS PROVIDED AT EACH FLOOR LANDING. EXIT DOORS DISCHARGING TO OUTSIDE OF LEVEL OF DISCHARGE SHALL HAVE A TACTILE SIGN STATING 'EXIT'.

D. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE DISPLAYED AT ACCESSIBLE ENTRANCES AND ACCESSIBLE PARKING SPACES. THE SIZE, STYLE, LOCATION AND HEIGHT OF THE SYMBOLS SHALL COMPLY WITH ICC/ANSI A117.1.

E. DIRECTIONAL SIGNAGE INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY INDICATING THE ROUTE TO THE NEAREST LIKE ACCESSIBLE ELEMENT WITHIN THE BUILDING SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES AND INACCESSIBLE EXITS.

F. THE BUILDING WATER SUPPLY SHALL BE CONNECTED TO ANTI-SCALD TEMPERATURE CONTROLS.

G. AT EVERY ELEVATOR LANDING, PROVIDE TWO-WAY COMMUNICATION SYSTEM PER IBC 1007.8.1. INSTRUCTION ON THE USE OF THE AREA UNDER EMERGENCY CONDITIONS SHALL BE POSTED ADJOINING THE COMMUNICATION SYSTEM.

GYPSUM BOARD PARTITIONS - GENERAL NOTES

ALL GYPSUM BOARD PARTITIONS SHALL BE VA4 ON THE 1ST THROUGH 3RD FLOORS UNLESS OTHERWISE NOTED ON FLOOR PLAN.

GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

PROVIDE TYPE 'X' FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF FLOOR OR ROOF ASSEMBLY ABOVE.

MASONRY PARTITIONS - GENERAL NOTES

MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:

ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.

PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.

EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL A1/A810. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.

FLOOR PLAN - SYMBOLS LEGEND

- NEW WALL/PARTITION
- 100.0 — NEW DOOR
- DTL / SHT — SECTION REFERENCE
- DTL / SHT — DETAIL REFERENCE
- DTL / SHT — EXTERIOR ELEVATION
- DTL / SHT — INTERIOR ELEVATION
- 1 — FLOOR PLAN KEYNOTE
- W1 — WALL/PARTITION TYPE
- 1 1 — ONE HOUR FIRE RESISTIVE CONSTRUCTION
- 2 2 — TWO HOUR FIRE RESISTIVE CONSTRUCTION
- FD — FLOOR DRAIN - PITCH FLOOR TO DRAIN
- FESR — FIRE EXTINGUISHER SEMI-RECESSED - REFER TI DETAIL C3/810

FLOOR PLAN - GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

B. ALL EXPOSED STRUCTURAL STEEL AT THE LOWER LEVEL NEEDS TO BE PROTECTED TO 2 HOURS W/SPRAY APPLIED FIRE PROTECTION.

C. REFER TO SHEET A891 FOR DOOR SCHEDULE.

KEYNOTE LEGEND - EXTERIOR WALL TYPES BY SHEET

TAG	EXTERIOR WALL DESCRIPTION
W14	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SHINGLES, PANELS OR SIDING, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. 1 HR RATED, UL DESIGN #U354.
W14A	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SHINGLES, PANELS OR SIDING, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC, 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, BUILDING WRAP, 1" RIGID INSULATION, FIBER CEMENT SIDING AT INTERIOR FACE.
W14B	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SHINGLES, PANELS OR SIDING, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC , BUILDING WRAP, FIBER CEMENT SHINGLES, PANELS OR SIDING.
W14C	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT SIDING ON 1" RIGID INSULATION ON BUILDING WRAP ON 2 LAYERS 5/8" EXTERIOR GYP SHEATHING SHEATHING, 2 X 6 WOOD STUDS @ 16" OC, FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND 2 LAYERS 5/8" GYPSUM BOARD AT INTERIOR FACE. 2 HR RATED, UL DESIGN #U308.

KEYNOTE LEGEND - INTERIOR PARTITION TYPES BY SHEET

TAG	INTERIOR PARTITION DESCRIPTION
2VA6	INTERIOR WOOD STUD PARTITION: 2 HR RATED UL #U301 WITH 2 X 6 WOOD STUDS @ 16" OC WITH 5-1/2" SOUND ATTENUATION INSUL. AND 2 LAYERS 5/8" GYPSUM BOARD @ EACH FACE.
FV4	INTERIOR FURRING (PARTITION): 3-1/2" WOOD STUDS @ 16" OC WITH ONE LAYER 5/8" GYPSUM BOARD.
VAR6	INTERIOR WOOD STUD PARTITION: 2 X 6 WOOD STUDS @ 16" OC WITH 5-1/2" SOUND ATTENUATION INSUL. AND ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC (CORRIDOR SIDE ONLY). PROVIDE 1 HR RATED UL#U305 DESIGN WHERE 1 HR CONSTRUCTION IS INDICATED ON PLANS.
VBR4	INTERIOR STAGGERED STUD PARTITION: STAGGERED 3 1/2" WOOD STUDS @ 16" OC ON SEPARATE WOOD PLATE WITH 3-1/2" SOUND ATTENUATION INSULATION (BOTH SIDES), 1/2" GAP BETWEEN RUNNERS AND ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. PROVIDE 1/2" RESILIENT CHANNELS @ 16" OC ONE SIDE ONLY. PROVIDE 1 HR RATED UL#U341 DESIGN.

FLOOR PLAN NOTE

NOTE #	FLOOR PLAN NOTE
200	ATTIC ACCESS HATCH/LADDER. REFER TO DETAIL B6/A810.
201	CONCRETE FILLED STEEL BOLLARD, SEE DETAIL A3/A200
202	KNOX BOX.
203	FIRE DEPARTMENT CONNECTION - SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
207	FLOOR RECESSED WALK-OFF MAT.
210	DWELLING UNIT: (5) OPEN, ADJUSTABLE SHELVES ON SHELF STANDARDS. SHELVES TO BE 1'-0" DEEP AND MATCH EXPOSED CASEWORK IN UNIT.
211	DWELLING UNIT: SHELF AND POLE TO MATCH EXPOSED CASEWORK IN UNIT.

KEYNOTE LEGEND - CONSTRUCTION TYPES BY SHEET

TAG	CONSTRUCTION DESCRIPTION
S5	WOOD TRUSS FRAMED, FLOOR-CEILING ASSEMBLY: 1 1/2" LEVELING GYPSUM, 3/4" TONGUE AND GROOVE PLYWOOD SUBFLOOR ON WOOD FLOOR TRUSS SYSTEM, FULL CAVITY BLOWN-IN INSULATION, 5/8" TYPE 'X' GYPSUM BOARD ON 1/2" RESILIENT CHANNELS AT 12" OC DIRECTLY SECURED TO TRUSS STRUCTURE ABOVE. PROVIDE SOUND ISOLATION MAT AT HARD FLOORING LOCATIONS. 1 HR RATED, UL DESIGN #L563.
S5A	WOOD JOIST FRAMED, FLOOR-CEILING ASSEMBLY: 1 1/2" LEVELING GYPSUM, 3/4" TONGUE AND GROOVE PLYWOOD SUBFLOOR ON WOOD FLOOR JOISTS, FULL CAVITY BLOWIN-IN INSULATION, 5/8" TYPE 'X' GYPSUM BOARD ON 1/2" RESILIENT CHANNELS AT 12" OC DIRECTLY SECURED TO TRUSS STRUCTURE ABOVE, PROVIDE SOUND ISOLATION MAT AT HARD FLOORING LOCATIONS. 1 HR RATED, UL DESIGN #L502.
S7	2X COMPOSITE DECKING ON 2X PT WOOD FRAMING DECK, STAIN WOOD ELEMENTS TO MATCH DECKING, PAINT METAL SUPPORT ELEMENTS TO MATCH DECKING

E1 / A203 3RD FLOOR
1/8" = 1'-0"

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ROOF PLAN - SYMBOLS LEGEND

- DIRECTION OF STRUCTURAL SLOPE TO DRAIN
- (1) ROOF PLAN NOTE
- LOCATION OF SELF-ADHERING UNDERLAYMENT (ICE AND WATER BARRIER)

ROOF PLAN - GENERAL NOTES

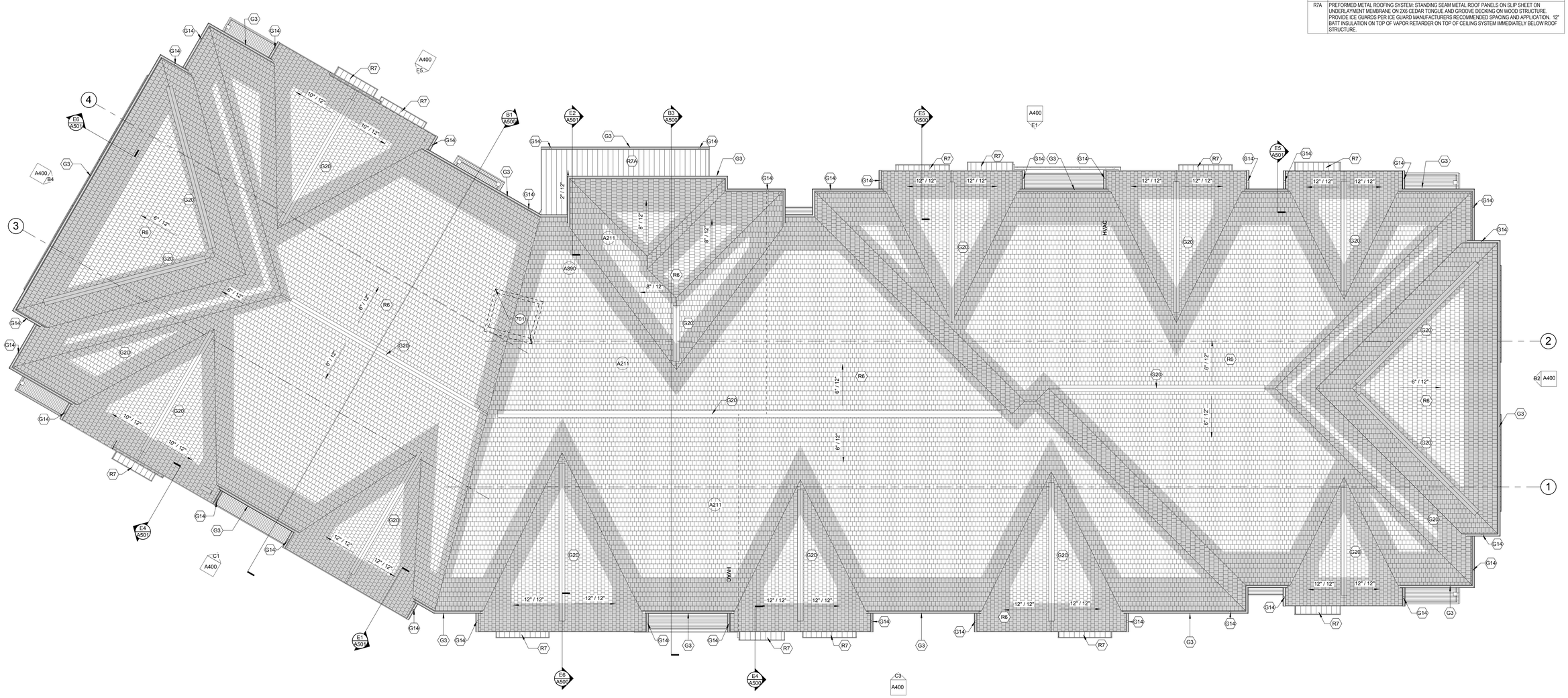
A. COORDINATE AND VERIFY ALL ROOF OPENINGS AND PENETRATIONS WITH STRUCTURAL, PLUMBING, HVAC, AND ELECTRICAL REQUIREMENTS. MECHANICAL DESIGN / BUILD CONTRACTOR, PLUMBING DESIGN / BUILD CONTRACTOR, ELECTRICAL DESIGN / BUILD CONTRACTOR, TO REVIEW WITH OWNER AND ARCHITECT LOCATION OF ALL ROOF OPENINGS AND PENETRATIONS FOR DESIGN INTENT.

B. PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.

C. PROVIDE SADDLES AND CRICKETS AT ALL ROOF TOP EQUIPMENT AND PENETRATIONS TO ENSURE POSITIVE DRAINAGE.

NOTE #	ROOF PLAN NOTE
701	FIELD VERIFY ELEVATOR SHAFT VENTING LOCATION.

KEYNOTE LEGEND - CONSTRUCTION TYPES BY SHEET	
TAG	CONSTRUCTION DESCRIPTION
G3	METAL GUTTER. 5" K STYLE
G14	METAL DOWNSPOUT. 4" X 4"
G20	CONTINUOUS RIDGE VENT
R6	ASPHALT SHINGLE ROOFING SYSTEM: ASPHALT SHINGLES ON UNDERLAYMENT ON 5/8" EXTERIOR GRADE WOOD SHEATHING ON WOOD STRUCTURE. SEE ROOF PLAN FOR LOCATION(S) OF ICE AND WATER BARRIER. 12" BATT INSULATION ON TOP OF VAPOR RETARDER ON TOP OF CEILING SYSTEM IMMEDIATELY BELOW ROOF STRUCTURE.
R7	PREFORMED METAL ROOFING SYSTEM: STANDING SEAM METAL ROOF PANELS ON SLIP SHEET ON UNDERLAYMENT MEMBRANE ON 5/8" EXTERIOR GRADE WOOD SHEATHING ON WOOD STRUCTURE. PROVIDE ICE GUARDS PER ICE GUARD MANUFACTURERS RECOMMENDED SPACING AND APPLICATION. 12" BATT INSULATION ON TOP OF VAPOR RETARDER ON TOP OF CEILING SYSTEM IMMEDIATELY BELOW ROOF STRUCTURE.
R7A	PREFORMED METAL ROOFING SYSTEM: STANDING SEAM METAL ROOF PANELS ON SLIP SHEET ON UNDERLAYMENT MEMBRANE ON 2X6 CEDAR TONGUE AND GROOVE DECKING ON WOOD STRUCTURE. PROVIDE ICE GUARDS PER ICE GUARD MANUFACTURERS RECOMMENDED SPACING AND APPLICATION. 12" BATT INSULATION ON TOP OF VAPOR RETARDER ON TOP OF CEILING SYSTEM IMMEDIATELY BELOW ROOF STRUCTURE.



E1 A220 ROOF PLAN
1/8" = 1'-0"

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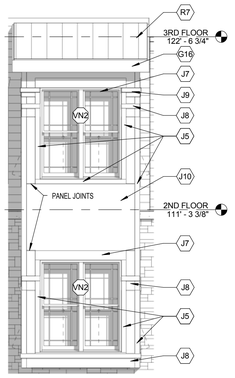
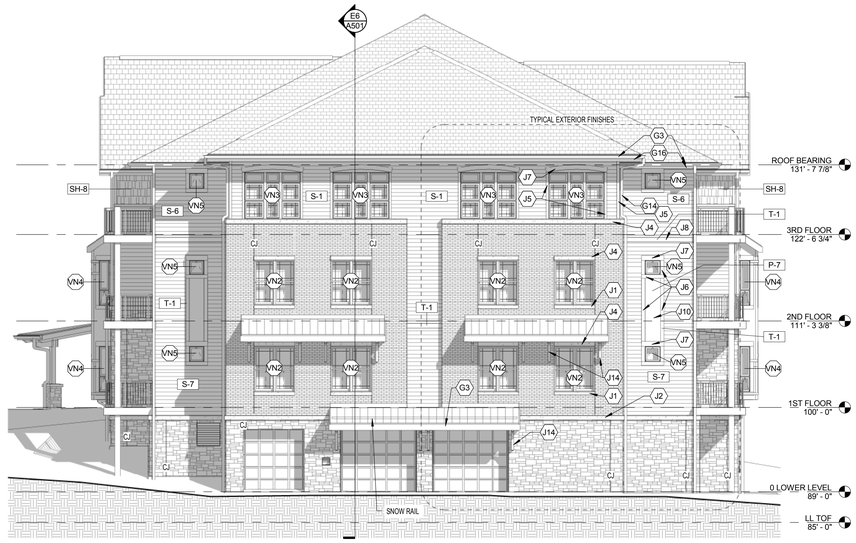


B1 A400 BOX BAY ELEVATION
1/4" = 1'-0"

B2 A400 EAST ELEVATION.
1/8" = 1'-0"



B4 A400 NORTHWEST ELEVATION.
1/8" = 1'-0"

EXTERIOR FINISH PATTERNS

SHINGLES
BRICK
STONE
LAP SIDING
SHINGLE SIDING
XX-X SIDING STYLE & COLOR

SIDING STYLE & COLOR

S-1	LAP SIDING (SELECT CEDARMILL)	COLOR: EVENING BLUE
S-6	LAP SIDING (SELECT CEDARMILL)	COLOR: AUTUMN TAN
S-7	LAP SIDING (SELECT CEDARMILL)	COLOR: TIMBER BARK
S-8	LAP SIDING (SELECT CEDARMILL)	COLOR: KHAKI BROWN
SH-1	SHINGLE SIDING (STAGGERED EDGE)	COLOR: EVENING BLUE
SH-7	SHINGLE SIDING (STAGGERED EDGE)	COLOR: TIMBER BARK
SH-8	SHINGLE SIDING (STAGGERED EDGE)	COLOR: KHAKI BROWN
P-6	VERTICAL SIDING (SMOOTH)	COLOR: AUTUMN TAN
P-7	VERTICAL SIDING (SMOOTH)	COLOR: TIMBER BARK
T-1	TRIM (SMOOTH) - ALL TRIM TO BE T-1	COLOR: NAVAJO BEIGE

* FIBER CEMENT BASIS OF DESIGN "JAMES HARDIE BUILDING PRODUCTS INC"
** GENERAL CONTRACTOR TO REVIEW ALL FINAL SIDING COLORS WITH OWNER

EXTERIOR ELEVATIONS - GENERAL NOTES

A. PAINT ALL EXPOSED STEEL LINTELS TO MATCH ADJACENT MASONRY COLOR

B. TRIM ALL EXTERIOR LIGHTING FIXTURES, OUTLETS, HOSE BIBBS AND ALL OTHER SIDING PENETRATIONS W/1X4 FIBER CEMENT TRIM

C. REFER TO SHEET A891 FOR WINDOW FRAME ELEVATIONS

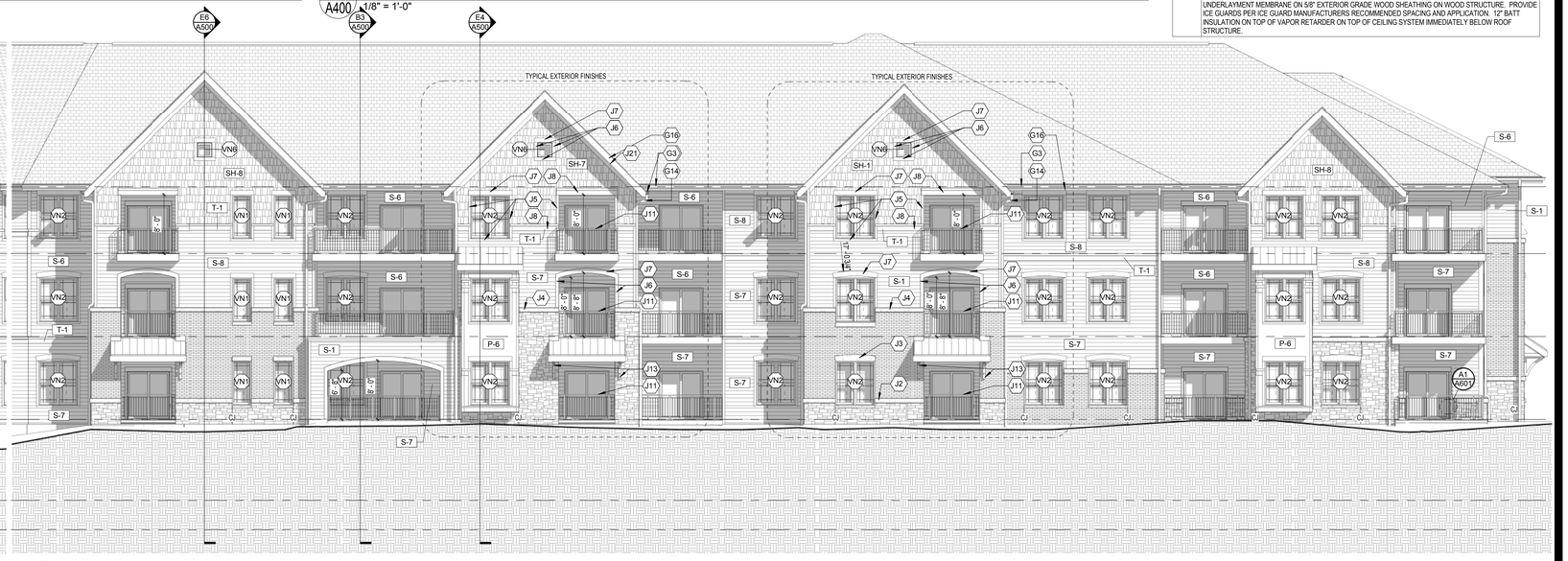
D. SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES.

E. CJ - MASONRY EXPANSION JOINT - BACKER ROD & SEALANT - SEALANT TO MATCH COLOR OF MORTAR

KEYNOTE LEGEND - CONSTRUCTION TYPES BY SHEET

TAG	CONSTRUCTION DESCRIPTION
G3	METAL GUTTER. 5" K STYLE
G14	METAL DOWNSPOUT. 4" X 4"
G16	METAL WRAPPED FASCIA: METAL FASCIA ON TREATED 2X WOOD BLOCKING
J1	PRECAST CONCRETE SILL. SEE DETAIL E1/A600 FOR PROFILE.
J2	PRECAST WATERTABLE. SEE DETAIL E1/A600 FOR PROFILE.
J3	PRECAST LINTEL. SEE DETAIL E1/A600 FOR PROFILE.
J4	PRECAST CAP/TRANSITION. SEE DETAIL E1/A600 FOR PROFILE.
J5	3 1/2" X 5/4" SMOOTH FIBER-CEMENT TRIM.
J6	5 1/2" X 5/4" SMOOTH FIBER-CEMENT TRIM.
J7	7 1/2" X 5/4" SMOOTH FIBER-CEMENT TRIM.
J8	3 1/2 " X 5/4" (TOP) AND 7 1/2" X 3/4" (BOTTOM) SMOOTH FIBER-CEMENT TRIM.
J9	3 1/2 " X 5/4" (TOP) AND 3 1/2" X 3/4" (BOTTOM) SMOOTH FIBER-CEMENT TRIM.
J10	SMOOTH FIBER-CEMENT PANEL.
J11	ALUMINUM RAILING SYSTEM
J12	DECORATIVE WOOD BRACKET 1'-8"L X 1'-8" W
J13	DECORATIVE WOOD BRACKET 2'-4"L X 2'-4"W
J14	DECORATIVE WOOD BRACKET 2'-8"L X 2'-8"W
J21	11 1/4" X 5/4" SMOOTH FIBER-CEMENT TRIM
J22	BRONZE DEDICATION PLAQUE. REFER TO DETAIL D6/A810
R7	PREFORMED METAL ROOFING SYSTEM. STANDING SEAM METAL ROOF PANELS ON SLIP SHEET ON UNDERLAYMENT MEMBRANE ON 5/8" EXTERIOR GRADE WOOD SHEATHING ON WOOD STRUCTURE. PROVIDE ICE GUARDS PER ICE GUARD MANUFACTURERS RECOMMENDED SPACING AND APPLICATION. 12" BATT INSULATION ON TOP OF VAPOR RETARDER ON TOP OF CEILING SYSTEM IMMEDIATELY BELOW ROOF STRUCTURE.

C1 A400 SOUTHWEST ELEVATION.
1/8" = 1'-0"



C3 A400 SOUTH ELEVATION
1/8" = 1'-0"

E1 A400 NORTH ELEVATION
1/8" = 1'-0"

E5 A400 NORTHEAST ELEVATION.
1/8" = 1'-0"

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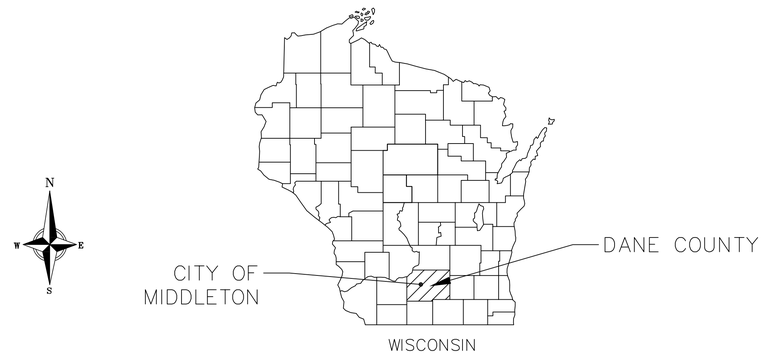
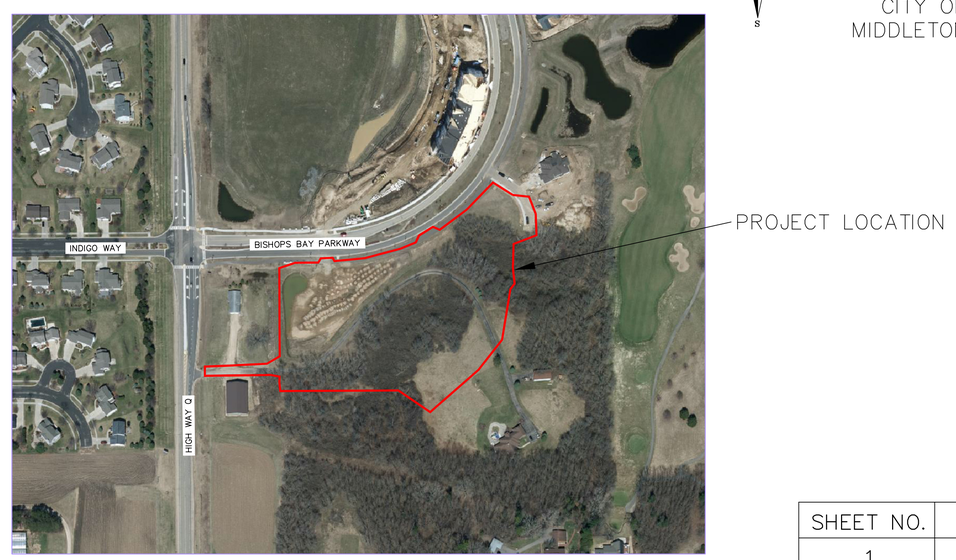
THE BACK NINE - BISHOPS BAY - PHASE 1

CITY OF MIDDLETON

DANE COUNTY WISCONSIN





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WIS. STATUTE 182.0175 (1979)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE.

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS PLAN
3	SITE PLAN
4	GRADING PLAN
5	EROSION CONTROL PLAN
6	UTILITY PLAN
7	GRADING AND EROSION CONTROL DETAILS
8	STORMWATER BASIN DETAILS
9	CONSTRUCTION DETAILS
10	CONSTRUCTION DETAILS

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Title Sheet - Phase 1
The Back Nine - Bishops Bay
City of Middleton
Dane County, Wisconsin

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NO. DATE REMARKS

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NO. DATE REMARKS

SCALE N.T.S.
DATE 4/21/2015
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CHECKED JFEL
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SHEET 1 OF 10
DWG. NO. C – 0.0

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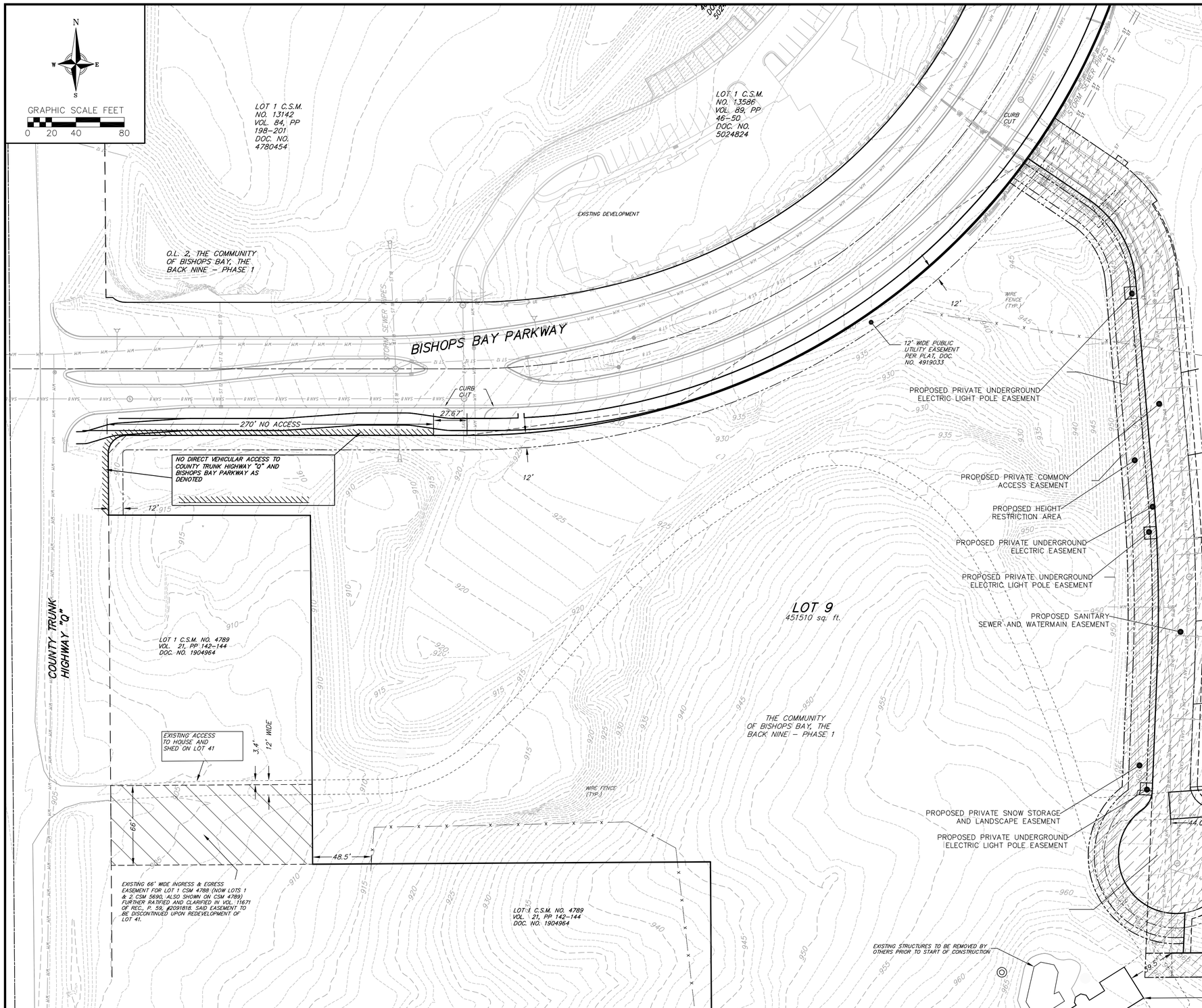

SURVEY LEGEND

- FOUND 1 1/4" ø IRON ROD
- FOUND 3/4" ø IRON ROD

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING FIELD INLET
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WELL
- EXISTING WATER MANHOLE
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE

TOPOGRAPHIC LINEWORK LEGEND

- UTV — EXISTING UNDERGROUND CABLE TV
- UT — EXISTING UNDERGROUND TELEPHONE
- X — EXISTING WIRE FENCE
- G — EXISTING GAS LINE
- UE — EXISTING UNDERGROUND ELECTRIC LINE
- OHE — EXISTING OVERHEAD ELECTRIC LINE
- SAN — EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST — EXISTING STORM SEWER LINE (SIZE NOTED)
- WM — EXISTING WATER MAIN (SIZE NOTED)
- 820 — EXISTING MAJOR CONTOUR
- 818 — EXISTING MINOR CONTOUR

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- SIDEWALK

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Existing Conditions Plan - Phase 1

The Back Nine - Bishops Bay
City of Middleton
Dane County, Wisconsin

REVISIONS		
NO.	DATE	REMARKS

REVISIONS		
NO.	DATE	REMARKS
1	2/13/15	Phase 1 Bid

SCALE: AS SHOWN
DATE: 10/20/14
DRAFTER: JFEL
CHECKED:
PROJECT NO. 140224
SHEET 2 OF 10
DWG. NO. C – 1.0

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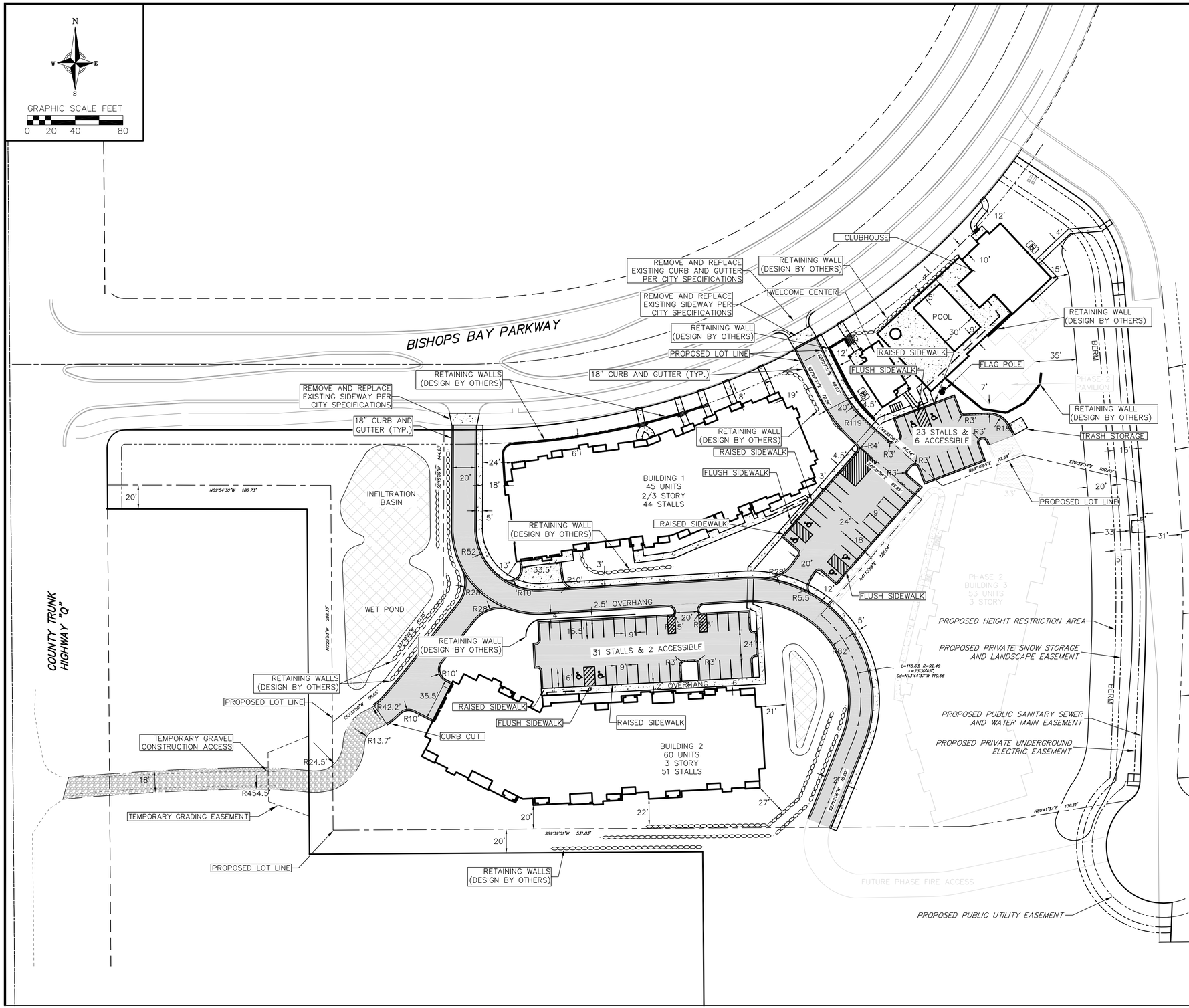

PHASE 1 SITE PLAN LEGEND

- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY
- PROPOSED BUILDING OUTLINE
- PROPOSED BOULDER RETAINING WALL
- PROPOSED BLOCK OR CONCRETE RETAINING WALL
- PROPOSED ACCESSIBLE ROUTE
- PROPOSED HANDICAP PARKING
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT
- PROPOSED STORMWATER FACILITY

FUTURE PHASE SITE PLAN LEGEND

- PROPOSED BUILDING OUTLINE
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CONCRETE
- PROPOSED ASPHALT

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Site Plan - Phase 1

The Back Nine - Bishops Bay
City of Middleton
Dane County, Wisconsin

REVISIONS			
NO.	DATE	REMARKS	

REVISIONS			
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3 OF 10

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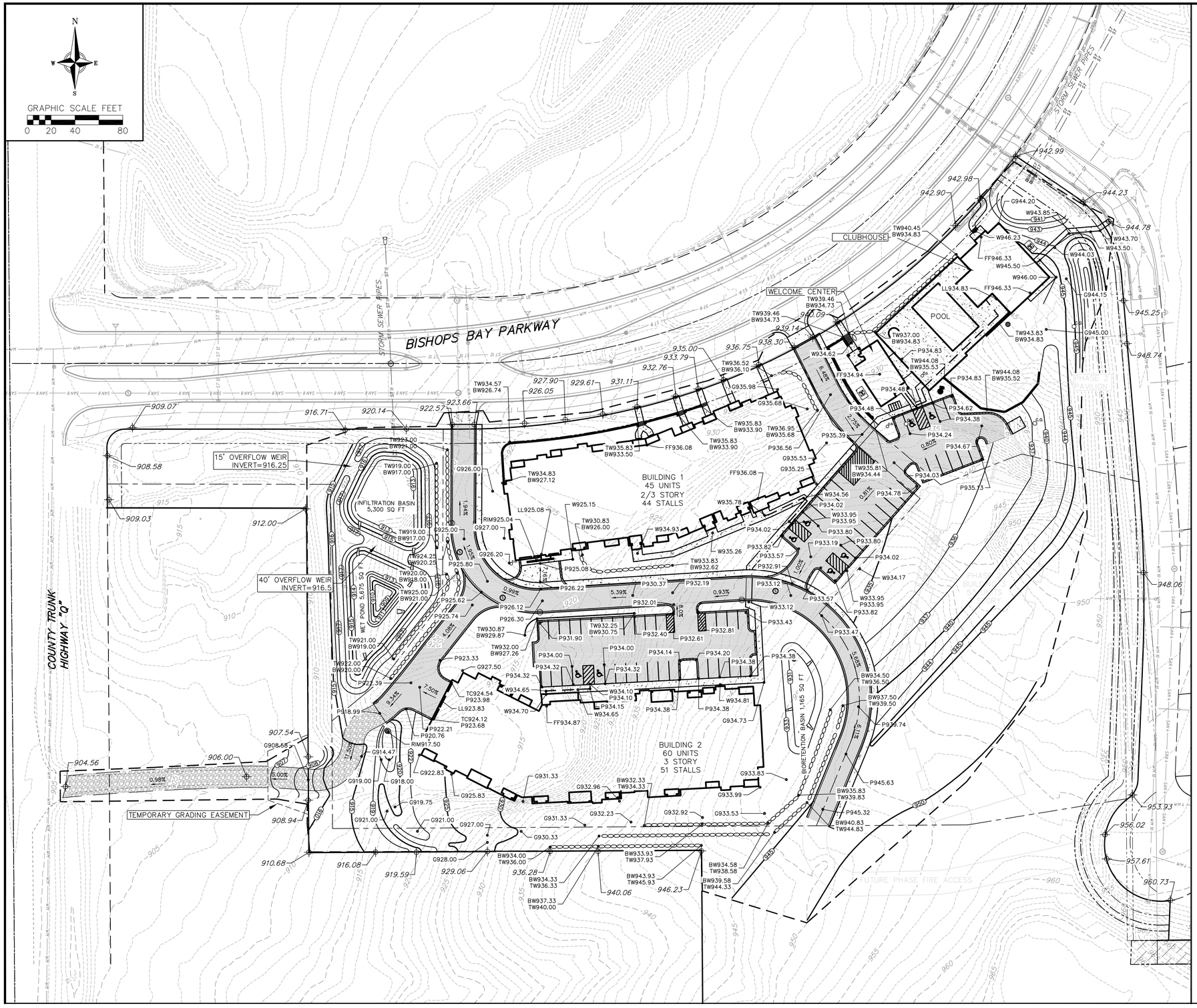

PHASE 1 GRADING LEGEND

- 900 — EXISTING MAJOR CONTOURS
- 900 — EXISTING MINOR CONTOURS
- 900 — PROPOSED MAJOR CONTOURS
- 900 — PROPOSED MINOR CONTOURS
- 2.92% — PROPOSED SLOPE ARROWS
- 900.61 — EXISTING SPOT ELEVATIONS
- 900.61 — PROPOSED SPOT ELEVATIONS
- PROPOSED BOULDER RETAINING WALL
- PROPOSED BLOCK OR CONCRETE RETAINING WALL
- DISTURBED LIMITS
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT

ABBREVIATIONS

FF – FINISHED FLOOR
LL – LOWER LEVEL
TW – TOP OF WALL
BW – BOTTOM OF WALL
G – GRADE

FUTURE PHASE SITE PLAN LEGEND

- PROPOSED BUILDING OUTLINE
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CONCRETE
- PROPOSED ASHALT

SEE SHEET C-6.0 FOR EROSION CONTROL NOTES

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Grading Plan - Phase 1

The Back Nine - Bishops Bay
City of Middleton
Dane County, Wisconsin

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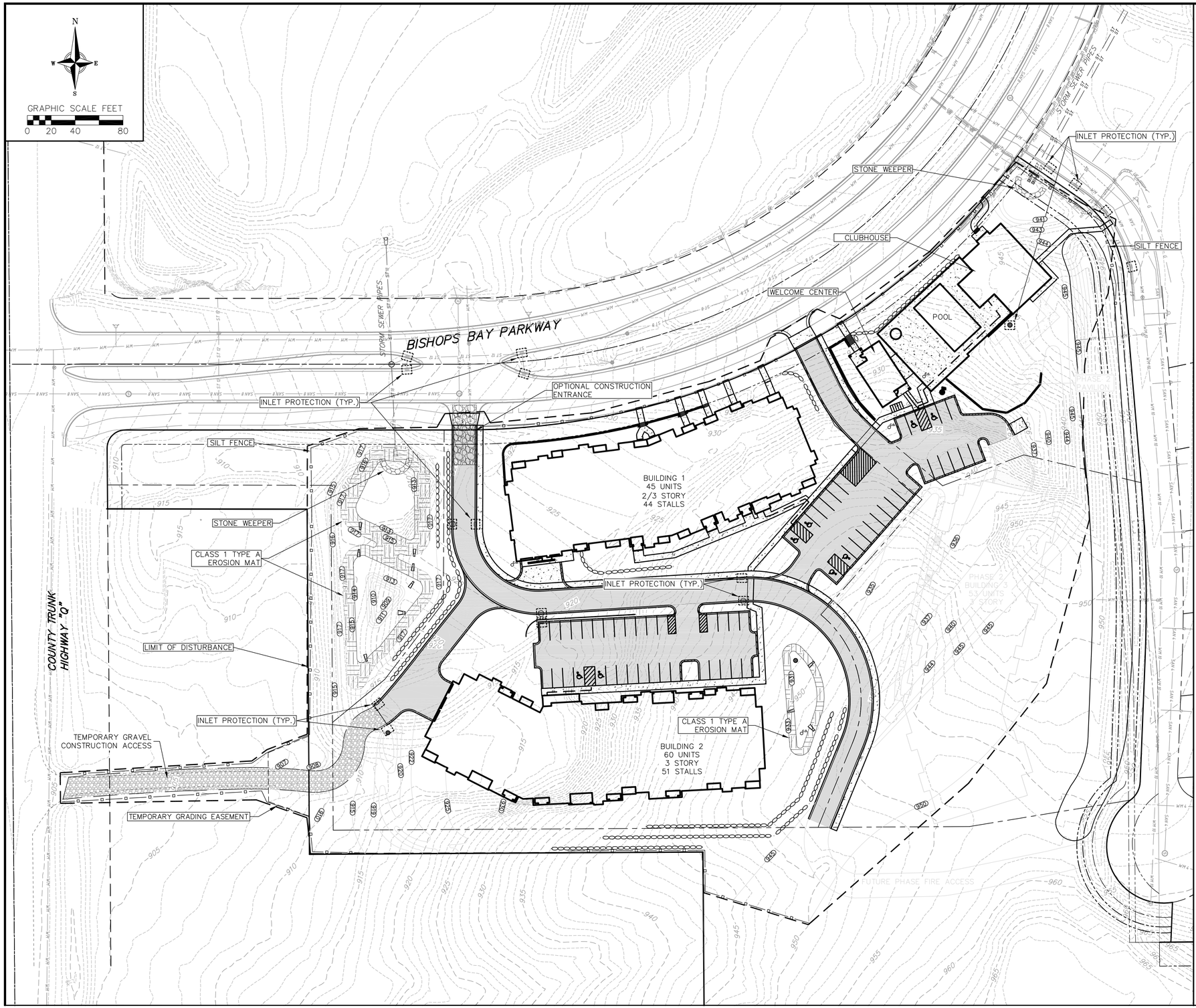

PHASE 1 GRADING LEGEND

- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- SILT FENCE
- DISTURBED LIMITS
- INLET PROTECTION
- STONE WEEPER
- TRACKING PAD
- PROPOSED BOULDER RETAINING WALL
- PROPOSED BLOCK OR CONCRETE RETAINING WALL
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT
- CLASS I, TYPE A EROSION CONTROL MAT

FUTURE PHASE SITE PLAN LEGEND

- PROPOSED BUILDING OUTLINE
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CONCRETE
- PROPOSED ASHALT

SEE SHEET C-6.0 FOR EROSION CONTROL NOTES

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Erosion Control Plan - Phase 1

The Back Nine - Bishops Bay
City of Middleton
Dane County, Wisconsin

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5 OF 10

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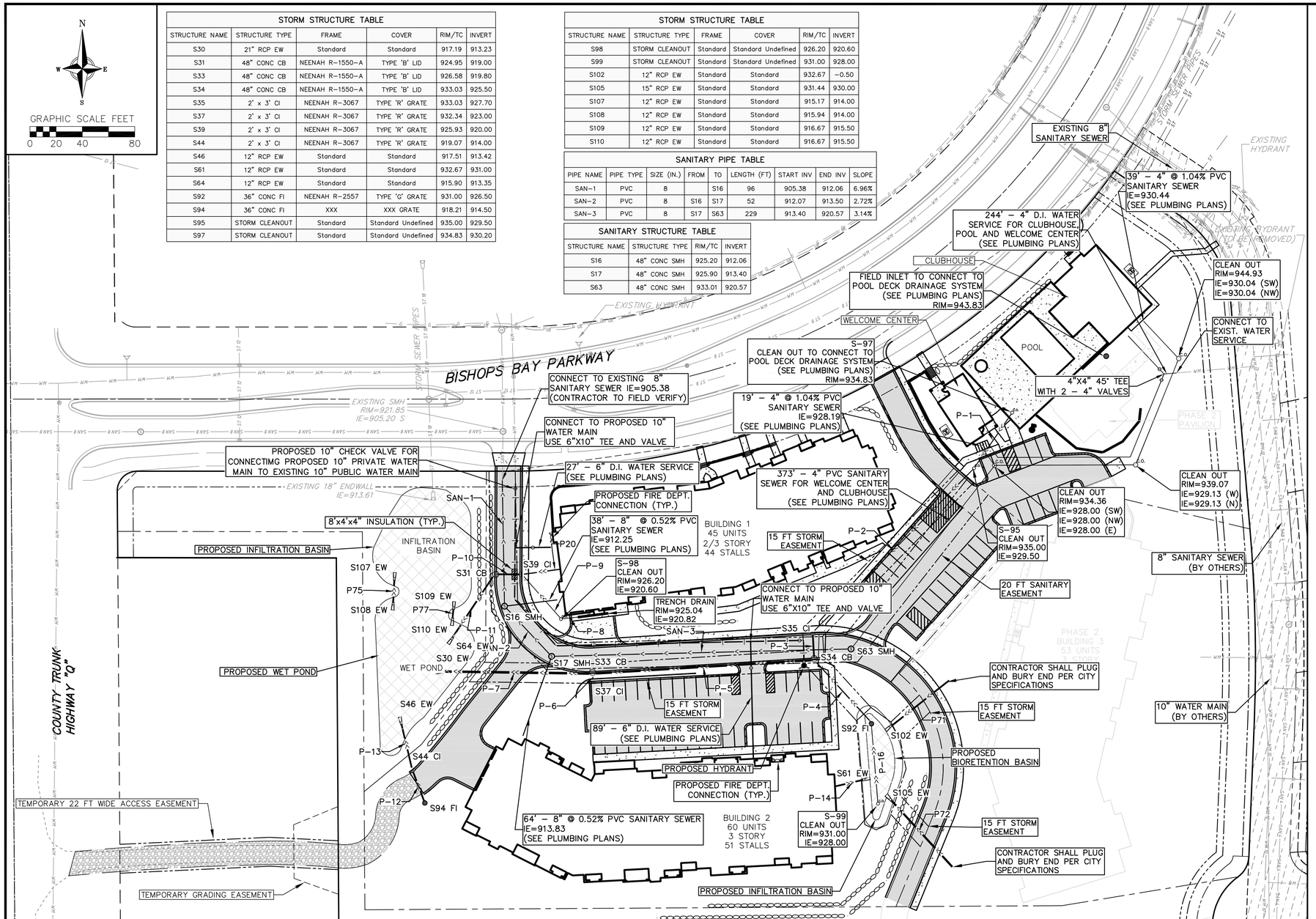
STORM STRUCTURE TABLE					
STRUCTURE NAME	STRUCTURE TYPE	FRAME	COVER	RIM/TC	INVERT
S30	21" RCP EW	Standard	Standard	917.19	913.23
S31	48" CONC CB	NEENAH R-1550-A	TYPE 'B' LID	924.95	919.00
S33	48" CONC CB	NEENAH R-1550-A	TYPE 'B' LID	926.58	919.80
S34	48" CONC CB	NEENAH R-1550-A	TYPE 'B' LID	933.03	925.50
S35	2' x 3' CI	NEENAH R-3067	TYPE 'R' GRATE	933.03	927.70
S37	2' x 3' CI	NEENAH R-3067	TYPE 'R' GRATE	932.34	923.00
S39	2' x 3' CI	NEENAH R-3067	TYPE 'R' GRATE	925.93	920.00
S44	2' x 3' CI	NEENAH R-3067	TYPE 'R' GRATE	919.07	914.00
S46	12" RCP EW	Standard	Standard	917.51	913.42
S61	12" RCP EW	Standard	Standard	932.67	931.00
S64	12" RCP EW	Standard	Standard	915.90	913.35
S92	36" CONC FI	NEENAH R-2557	TYPE 'G' GRATE	931.00	926.50
S94	36" CONC FI	XXX	XXX GRATE	918.21	914.50
S95	STORM CLEANOUT	Standard	Standard Undefined	935.00	929.50
S97	STORM CLEANOUT	Standard	Standard Undefined	934.83	930.20

STORM STRUCTURE TABLE					
STRUCTURE NAME	STRUCTURE TYPE	FRAME	COVER	RIM/TC	INVERT
S98	STORM CLEANOUT	Standard	Standard Undefined	926.20	920.60
S99	STORM CLEANOUT	Standard	Standard Undefined	931.00	928.00
S102	12" RCP EW	Standard	Standard	932.67	-0.50
S105	15" RCP EW	Standard	Standard	931.44	930.00
S107	12" RCP EW	Standard	Standard	915.17	914.00
S108	12" RCP EW	Standard	Standard	915.94	914.00
S109	12" RCP EW	Standard	Standard	916.67	915.50
S110	12" RCP EW	Standard	Standard	916.67	915.50

SANITARY PIPE TABLE								
PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
SAN-1	PVC	8		S16	96	905.38	912.06	6.96%
SAN-2	PVC	8	S16	S17	52	912.07	913.50	2.72%
SAN-3	PVC	8	S17	S63	229	913.40	920.57	3.14%

SANITARY STRUCTURE TABLE			
STRUCTURE NAME	STRUCTURE TYPE	RIM/TC	INVERT
S16	48" CONC SMH	925.20	912.06
S17	48" CONC SMH	925.90	913.40
S63	48" CONC SMH	933.01	920.57



STORM PIPE TABLE								
PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
P-1	PVC	8	S95	S97	51	929.50	930.20	1.36%
P-2	PVC	8	S35	S95	176	927.70	929.50	1.02%
P-3	RCP	12	S34	S35	21	926.25	927.70	6.90%
P-4	PVC	10	S34	S92	64	925.50	928.00	3.89%
P-5	RCP	18	S33	S34	169	919.80	925.50	3.36%
P-6	PVC	8	S33	S37	6	921.72	923.00	22.63%
P-7	RCP	18	S30	S33	120	913.23	919.80	5.50%
P-8	PVC	6	S98		14	920.60	920.82	1.62%

STORM PIPE TABLE								
PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
P-9	PVC	6	S39	S98	45	920.00	920.60	1.33%
P-10	RCP	12	S31	S39	21	919.00	920.00	4.76%
P-11	RCP	12	S64	S31	64	913.35	919.00	8.88%
P-12	RCP	12	S44	S94	27	914.00	914.50	1.83%
P-13	RCP	12	S46	S44	41	913.42	914.00	1.41%
P-14	RCP	12	S61		28	931.00	933.00	7.23%
P-16	HDPE	6	S92	S99	62	928.00	928.00	0.00%
P20	PVC	10	S39		30	922.29	922.91	2.10%

STORM PIPE TABLE								
PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
P71	RCP	12	S102		61	931.00	932.00	1.63%
P72	RCP	15	S105		74	931.00	932.00	1.34%
P75	RCP	12	S107	S108	29	914.00	914.00	0.00%
P77	RCP	12	S109	S110	18	915.50	915.50	0.00%

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING FIELD INLET
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MANHOLE
- EXISTING UTILITY POLE

TOPOGRAPHIC LINEWORK LEGEND

- UTV — EXISTING UNDERGROUND CABLE TV
- UT — EXISTING UNDERGROUND TELEPHONE
- X — EXISTING WIRE FENCE
- G — EXISTING GAS LINE
- UE — EXISTING UNDERGROUND ELECTRIC LINE
- OHE — EXISTING OVERHEAD ELECTRIC LINE
- SAN — EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST — EXISTING STORM SEWER LINE (SIZE NOTED)
- WM — EXISTING WATER MAIN (SIZE NOTED)

PHASE 1 SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- SIDEWALK

PHASE 1 PROPOSED UTILITY LEGEND

- EXISTING TRANSFORMER
- STORM SEWER PIPE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER CURB INLET W/MANHOLE
- STORM SEWER FIELD INLET
- STORM SEWER CLEANOUT
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER MAIN
- WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- WATER VALVE
- PROPOSED PIPE INSULATION
- PROPOSED STORMWATER FACILITY

FUTURE PHASE SITE PLAN LEGEND

- PROPOSED BUILDING OUTLINE
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CONCRETE
- PROPOSED ASHALT

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Utility Plan - Phase 1

The Back Nine - Bishops Bay
City of Middleton
Dane County, Wisconsin

REVISIONS		
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1	2/13/15	Phase 1 Bid
2	4/21/15	SIP

SCALE: AS SHOWN
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PROJECT NO. 140224
SHEET 6 OF 10
DWG. NO. C – 5.0

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1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MIDDLETON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.

2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (http://dnr.wi.gov/runoff/stormwater/techstds.htm) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.

3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, SEDIMENT TRAPS, TEMPORARY DIVERSION BERMS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.

4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.

7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.

8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.

9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).

10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER. THE CONTRACTOR WILL SUBMIT A CONSTRUCTION PHASING PLAN TO THE DESIGN ENGINEER AND THEY WILL DETERMINE THE LOCATION FOR TEMPORARY DIVERSION BERMS.

11. SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".

12. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.

13. USE DETENTION BASINS AS SEDIMENT BASINS DURING CONSTRUCTION (DO NOT USE INFILTRATION AREAS). AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.

14. SILT SOCKS SHALL BE INSTALLED AS GRADE BREAKS EVERY 200 LF ON SLOPES GREATER THAN 4%.

15. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.

16. TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.

17. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.

18. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.

19. EROSION MAT (CLASS I, TYPE A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1. UNLESS OTHERWISE NOTED ON THE EROSION CONTROL PLAN.

20. EROSION MAT (CLASS I, TYPE B PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH, UNLESS OTHERWISE NOTED ON THE EROSION CONTROL PLAN.

21. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER/THIS SHEET. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.

22. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.

23. INSTALL MINIMUM 6'-7' WIDE EROSION MAT ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL. (NOTE: CHECK WITH MUNICIPALITY AND PROJECT MANAGER IF THIS IS REQUIRED.)

24. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.

25. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.

26. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM THE UPSTREAM SIDE OF ALL STONE WEEPERS WHEN THE DEPTH REACHES ½ THE HEIGHT OF THE STONE WEEPER.

27. GULLY OR RILL EROSION SHALL BE REPAIRED IMMEDIATELY BY SEEDING, MULCHING, AND EROSION MATT. A STONE WEEPER WILL BE INSTALLED UPSTREAM OF THE EROSION UNTIL VEGETATION HAS BEEN ESTABLISHED.

28. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.

29. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.

30. THE CITY, COUNTY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION AS NEEDED.

CONSTRUCTION SEQUENCE

1. INSTALL SILT FENCE AND/OR SILT SOCK, TRACKING PAD, AND INLET PROTECTION IN EXISTING INLETS.

2. STRIP TOPSOIL - STREETS, TERRACES, AND LOT AREAS

3. ROUGH GRADE STREETS & TERRACE AREA

4. FINISH GRADE LOT AREAS

5. DEEP TILL ALL DISTURBED AREAS

6. SEED LOT AREAS

7. CONSTRUCT UNDERGROUND UTILITIES

8. INSTALL INLET PROTECTION IN NEW INLETS.

9. FINISH GRADE ROADS AND TERRACE AREAS

10. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK).

11. CONSTRUCT BIO-RETENTION PONDS AND INFILTRATION PONDS ONCE SITE HAS BEEN STABILIZED.

SEEDING RATES:

TEMPORARY:
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

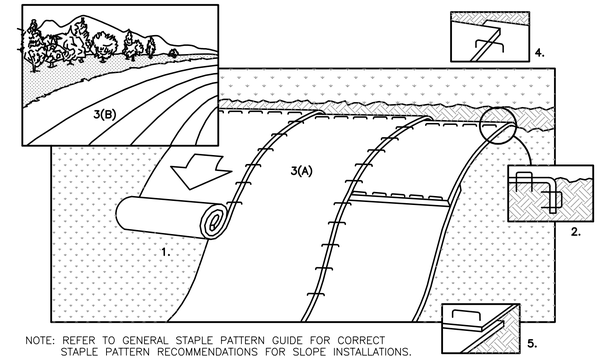
TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:
USE ½" TO 1-½" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

NOTE: CONSTRUCTION SHALL CONFORM TO CITY OF MIDDLETON STANDARD DETAIL DRAWINGS THAT ARE CURRENT AT TIME OF CONSTRUCTION

DETAIL 02270-H

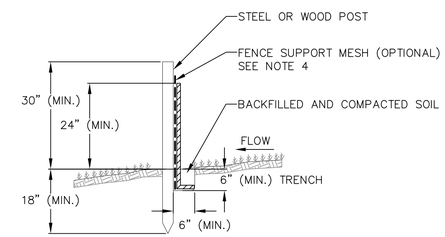


NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

EROSION MAT DETAIL

(NOT TO SCALE)



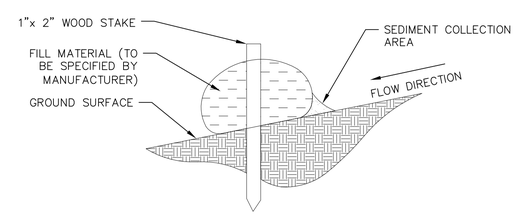
NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)

   POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

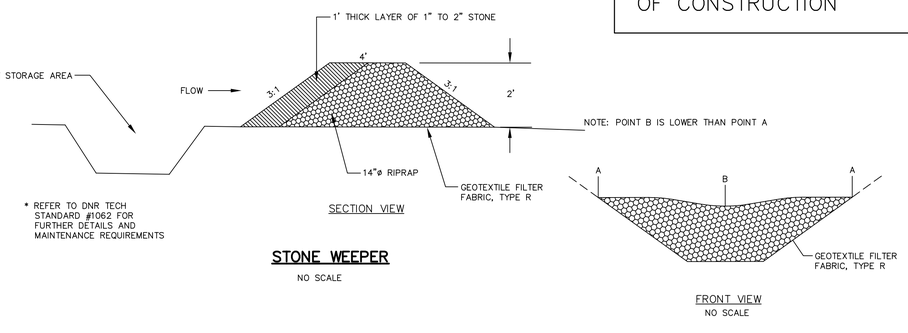
SILT FENCE

NOT TO SCALE



SILT SOCK

(NOT TO SCALE)



* REFER TO DNR TECH STANDARD #1062 FOR FURTHER DETAILS AND MAINTENANCE REQUIREMENTS

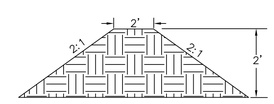
SECTION VIEW

STONE WEEPER

NO SCALE

FRONT VIEW

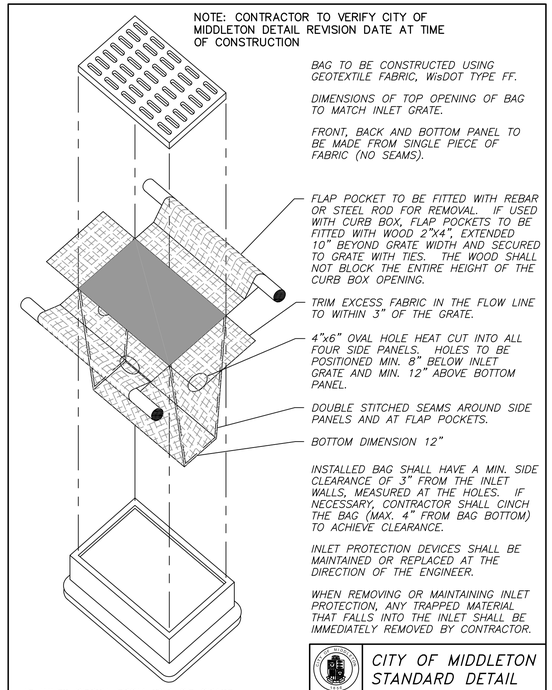
NO SCALE



TEMPORARY DIVERSION BERM DETAIL

NO SCALE

NOTE: CONTRACTOR TO VERIFY CITY OF MIDDLETON DETAIL REVISION DATE AT TIME OF CONSTRUCTION



IF INLET DEPTH FROM TOP OF GRATE TO BOTTOM OF INLET IS LESS THAN 30", CONTRACTOR SHALL SUBSTITUTE WisDOT TYPE C INLET PROTECTION.

CITY OF MIDDLETON STANDARD DETAIL

INLET PROTECTION TYPE D

REVISED 01-10-06
DRAWN BY: SKS

100-4

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Grading and Erosion Control Details - Phase 1

The Community of Bishops Bay - Back Nine Residences
City of Middleton
Dane County, Wisconsin

REVISIONS		
NO.	DATE	REMARKS

REVISIONS		
NO.	DATE	REMARKS
1	2/13/15	Phase 1 Bid
2	4/21/15	SIP

SCALE: AS SHOWN
DATE: 12/31/2014
DRAFTER: SCHU
CHECKED:
PROJECT NO. 140224
SHEET 7 OF 10
DWG. NO. C – 6.0

21 Apr 2015 - 2:33p M:\T Wall Enterprises LLC\140224_Bishops Bay Lot 41\CADD\140224 - Stormwater.dwg by: cgwy

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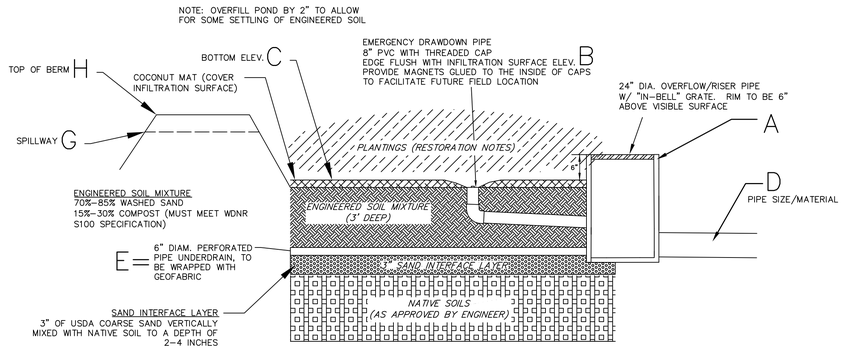


BIO-RETENTION AREA RESTORATION SPECIFICATIONS:
NOTE: BIO-RETENTION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.

BIO-RETENTION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1004 (BIORETENTION FOR INFILTRATION)

USE RAINWATER GARDEN LIVE NATIVE PLANT PLUGS FROM AGRECOL (SUNNY, SHORT OR MEDIUM STATURE) – OR ENGINEER APPROVED EQUAL.

PLANT PLUGS AT 12" SPACING.

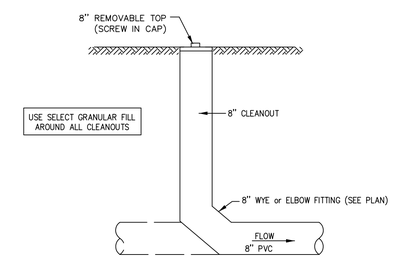
PLANTING, MULCH, AND MAINTENANCE NOTES:
PLANTING SHOULD TAKE PLACE BETWEEN AVAILABILITY OF PLANTS IN SPRING AND JUNE 30 OR BETWEEN SEPTEMBER 1 AND OCTOBER 15. IF PLANTED JULY 1 THROUGH AUGUST 31, HEAVILY WATER THE PLANTS AT THE TIME THEY ARE PLANTED AND EVERY OTHER DAY FOR A TOTAL OF 4 WATERINGS. A RAIN EVENT GREATER THAN 0.5 INCHES CONSTITUTES A WATERING. IF PLANTED SEPTEMBER 1 THROUGH OCTOBER 15, PLACE CERTIFIED WEED-FREE STRAW MULCH AT 3" MIN. THICKNESS BETWEEN PLANTS TO HELP PREVENT FROST HEAVE. IF PLANTING IS TO OCCUR AFTER OCTOBER 15 IT MUST BE POSTPONED UNTIL THE FOLLOWING SPRING (MAY). FOR THE FIRST 3 YEARS AFTER PLANTING, SPOT TREAT THE AREA WITH HERBICIDE TO REMOVE WEEDS.

RESTORATION OF THE INFILTRATION AREA (NOT INCLUDING SIDE SLOPES):
1. OVER-EXCAVATE THE AREA TO INFILTRATIVE LAYER TO BE DETERMINED IN THE FIELD, DURING EXCAVATION, BY DESIGN ENGINEER
2. CHISEL PLOW, OR ROTO-TILL THE BASE OF THE AREA TO BREAK UP ANY HARDPAN IN THE NATIVE SOIL LAYER
3. PLACE WASHED SAND (FREE OF P200 PARTICLES) TO 39 INCHES BELOW GROUND SURFACE (IF REQUIRED)
4. PLACE 36 INCHES OF ENGINEERED SOIL, COMPRISED OF:
   A. 70-85% WASHED SAND
   B. 15-30% COMPOST (MUST MEET WDNR S100 SPECIFICATION)
5. PLANT PLUGS, MULCH, WATER AND MAINTAIN AS DIRECTED ABOVE

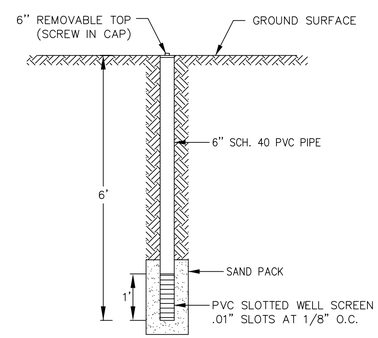
BIO-RETENTION DETAIL (TYP.)
(NOT TO SCALE)

	Bio-Retention Ponds	A	B	C	D	E	F	G	H
FUTURE PHASE	Bioretention #50	N/A	937.0	937.0	6" PVC	933.5	N/A	938.9	939.0
PHASE 1	Bioretention #53	N/A	931.0	931.0	10" PVC	928.0	N/A	932.9	933.0

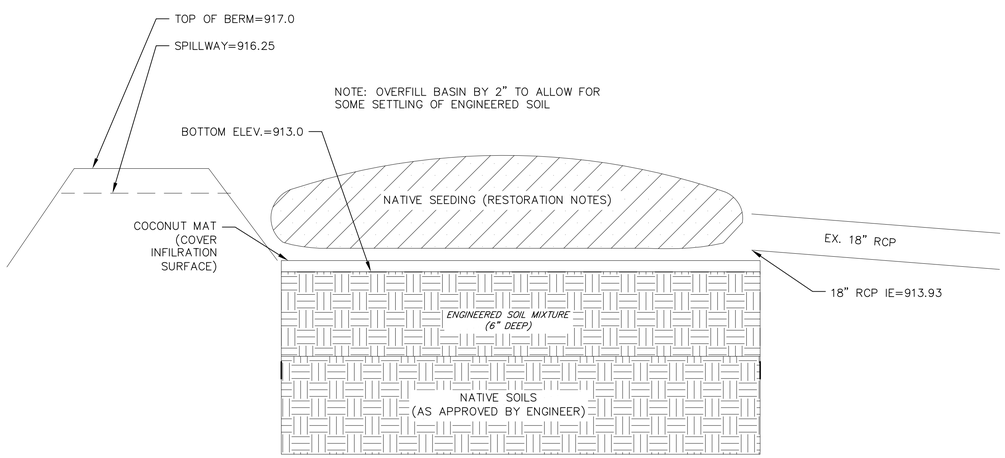
BIO-RETENTION KEY



UNDERDRAIN CLEANOUT DETAIL
(NOT TO SCALE)



1/7 MONITORING WELL DETAIL
NOT TO SCALE



2/7 INFILTRATION BASIN (TYP.)
NOT TO SCALE

INFILTRATION AREA RESTORATION SPECIFICATIONS:
NOTE: INFILTRATION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.

DEEP TILL INFILTRATION SURFACE

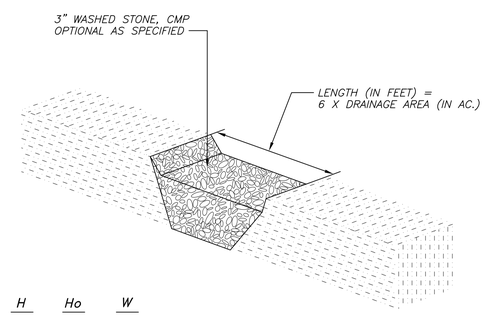
INFILTRATION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1003 (INFILTRATION BASIN)

PLANTING, MULCH, AND MAINTENANCE NOTES:
NATIVE (PRAIRIE) SEEDING SHALL BE COMPLETED IN THE FALL (AS DORMANT SEEDING PRIOR TO FIRST SNOWFALL) OR IN THE SPRING (BETWEEN MAY 1 AND JUNE 20), OR PLUGS SHALL BE USED.

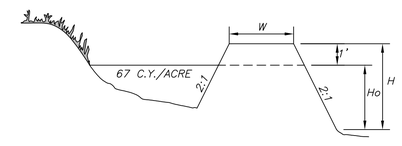
MULCH SHALL CONFORM TO THE CRITERIA LOCATED IN WDNR CONSERVATION PRACTICE STANDARD MULCHING FOR CONSTRUCTION SITES (1058).

HEAVILY WATER AREA AT THE TIME OF SEEDING, AND EVERY OTHER DAY FOR A TOTAL OF 4 WATERINGS. A RAIN EVENT GREATER THAN 0.5 INCHES CONSTITUTES A WATERING.

MAINTENANCE OF NATIVE VEGETATION (MOWING, CUTTING OR BURNING SHALL BE USED TO MAINTAIN VEGETATION:
1. ESTABLISHMENT- THE FIRST MORING OF NEWLY PLANTED SEED SHALL OCCUR ONCE IT REACHES A HEIGHT OF 10 TO 12 INCHES.
2. MOWING-MOWING SHALL REDUCE THE HEIGHT OF PLANTS TO 5 TO 6 INCHES. IF AFTER ESTABLISHMENT, IF BURNING CANNOT BE ACCOMMODATED, MOWING SHALL OCCUR ONCE IN THE FALL AFTER NOVEMBER 1). THE AREA SHALL BE MOWED TO A HEIGHT OF 5 TO 6 INCHES.
3. BURNING
   A. ROUTINE MAINTENANCE – BEGINNING THE SECOND YEAR, BURNING SHALL OCCUR IN THE EARLY SPRING (PRIOR TO MAY 1ST) OR IN THE LATE FALL (AFTER NOVEMBER 1ST)
   B. BURNING SHALL BE DONE TWO CONSECUTIVE YEARS AND THEN UP TO THREE YEARS CAN PASS BEFORE THE NEXT BURNING.
   C. UNDER NO CIRCUMSTANCES SHALL BURNING OCCUR EVERY OTHER YEAR



H	Ho	W
1.5	0.5	2.0
2.0	1.0	2.0
2.5	1.5	2.5
3.0	2.0	2.5
3.5	2.5	3.0
4.0	3.0	3.0
4.5	3.5	4.0
5.0	4.0	4.5



CITY OF MIDDLETON STANDARD DETAIL

TEMPORARY SEDIMENT TRAP

REVISED 03-11-04
DRAWN BY: AMK

100-12

vierbicher
planners | engineers | advisors
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Madison, Wisconsin 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

Stormwater Basin Details - Phase 1

The Community of Bishops Bay - Back Nine Residences
City of Middleton
Dane County, Wisconsin

REVISIONS		
NO.	DATE	REMARKS

REVISIONS		
NO.	DATE	REMARKS
1	2/13/15	Phase 1 Bid
2	4/21/15	SIP

SCALE: AS SHOWN
DATE: 12/31/2014
DRAFTER: SCHU
CHECKED:
PROJECT NO. 140224
SHEET 8 OF 10
DWG. NO. C – 7.0

21 Apr 2015 - 2:35p M:\T Wall Enterprises LLC\140224_Bishops Bay Lot 41\CADD\140224 - Stormwater.dwg by: cguy

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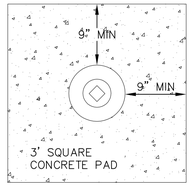
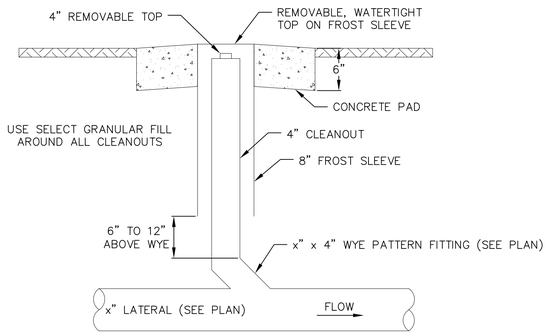


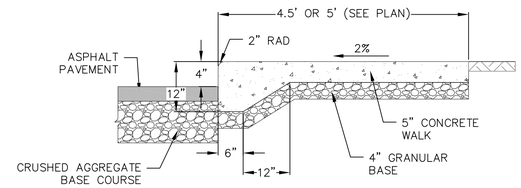
PLAN



SECTION

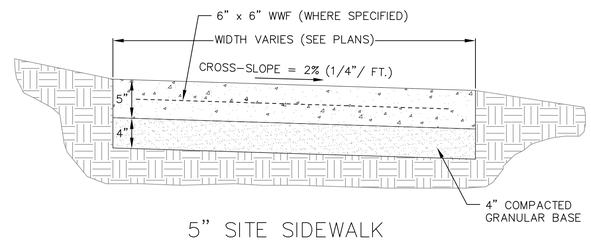
1/8 SANITARY CLEANOUT

NOT TO SCALE

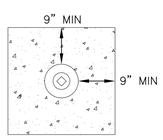


3/8 CURBED SIDEWALK SITE DETAIL

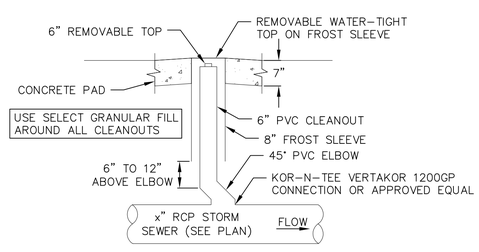
NOT TO SCALE



5" SITE SIDEWALK



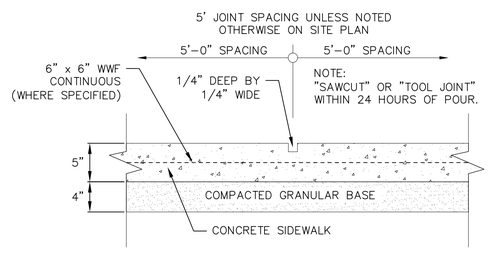
PLAN



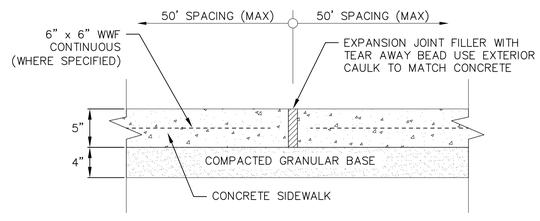
SECTION

2/8 STORM SEWER CLEANOUT

NOT TO SCALE



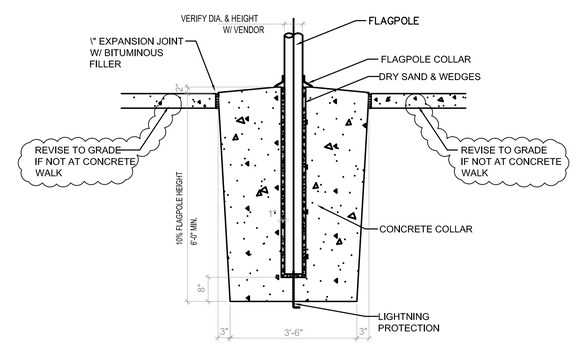
SIDEWALK CONTROL JOINT



SIDEWALK EXPANSION JOINT

4/8 5" SIDEWALK

NOT TO SCALE



5/8 FLAG POLE

NOT TO SCALE

21 Apr 2015 - 3:28p M:\T Wall Enterprises LLC\140224_Bishops Bay Lot 41\CADD\140224_Site Concept.dwg by: jfel

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Construction Details - Phase 1

The Back Nine - Bishops Bay
City of Middleton
Dane County, Wisconsin

REVISIONS		
NO.	DATE	REMARKS

REVISIONS		
NO.	DATE	REMARKS
1	2/13/15	Phase 1 Bid
2	4/21/15	SIP

SCALE
AS SHOWN

DATE
10/20/14

DRAFTER
JFEL

CHECKED

PROJECT NO.
140224

SHEET
9 OF 10

DWG. NO.
C – 8.0

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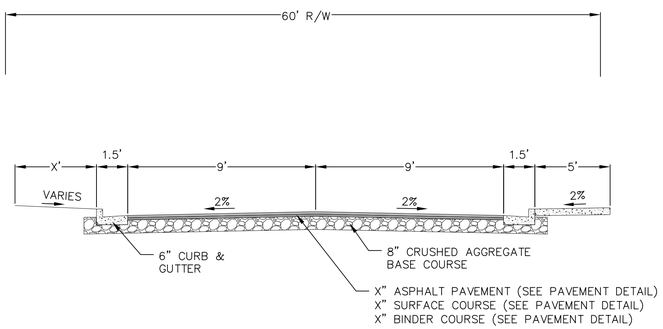
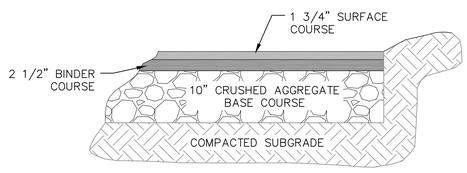
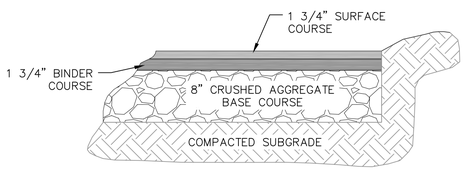


1 / 9 ROAD TYPICAL

NOT TO SCALE



HEAVY DUTY BITUMINOUS PAVEMENT



LIGHT DUTY BITUMINOUS PAVEMENT

2 / 9 SITE PAVEMENT

NOT TO SCALE

UTILITY NOTES

1. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
2. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
4. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT–OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
5. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DEPARTMENT PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON–SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
8. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30–6 OF SPS 384.30(3)(c).
9. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30–7 OF SPS 384.30(4)(d).
10. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 – SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30–3 OF SPS 384.30(2)(c).
11. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
12. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
13. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
14. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
15. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON–SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
16. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
18. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
19. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
20. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.

SITE CONSTRUCTION NOTES:

1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT–OF–WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
4. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
5. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
6. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
7. ALL WORK IN THE PUBLIC RIGHT–OF–WAY SHALL BE PERFORMED BY A CITY–LICENSED CONTRACTOR.

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Construction Details 2- Phase 1

The Back Nine - Bishops Bay
City of Middleton
Dane County, Wisconsin

REVISIONS

NO.	DATE	REMARKS

REVISIONS

NO.	DATE	REMARKS
1	2/13/15	Phase 1 Bid
2	4/21/15	SIP

SCALE: AS SHOWN

DATE: 10/20/14

DRAFTER: JFEL

CHECKED:

PROJECT NO. 140224

SHEET 10 OF 10

DWG. NO. C – 9.0

21 Apr 2015 - 3:26p M:\T Wall Enterprises LLC\140224_Bishops Bay Lot 41\CADD\140224_Site Concept.dwg by: jfel

PLUNKETT RAYSICH ARCHITECTS, LLP

T. Wall Enterprises

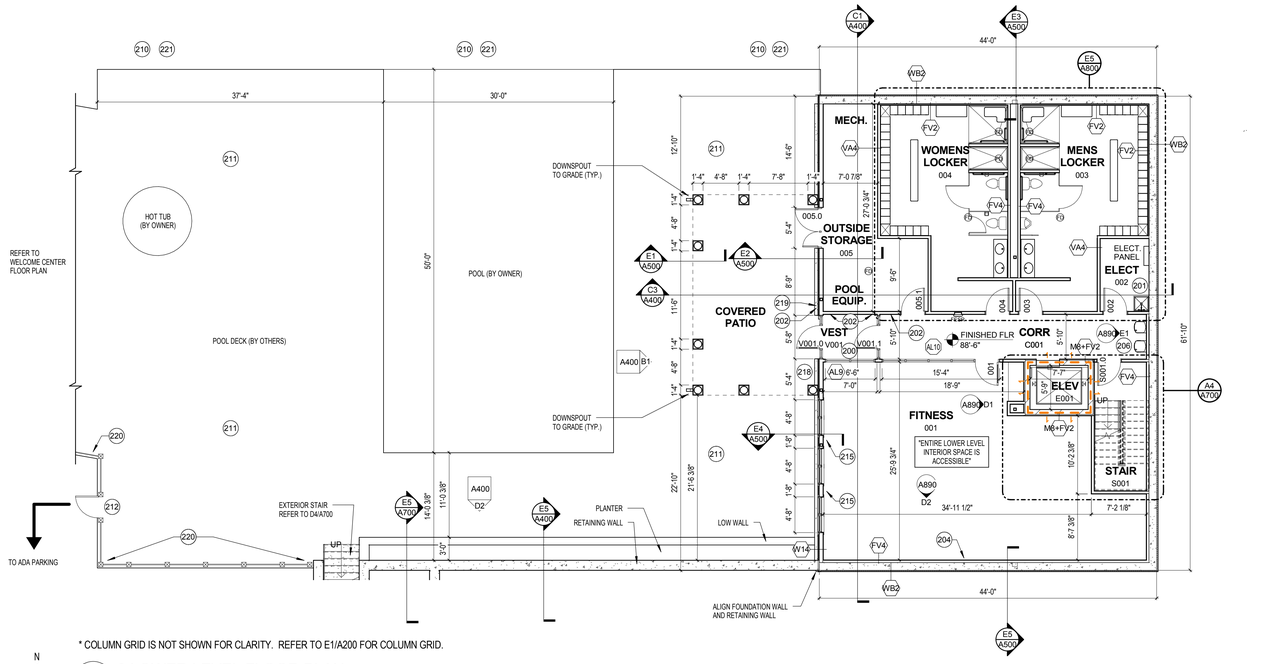
BISHOPS BAY - BACK NINE - CLUBHOUSE COMPLEX
BISHOPS BAY PARKWAY

North View Along Bishop's Bay Parkway

West View Along Bishop's Bay Parkway

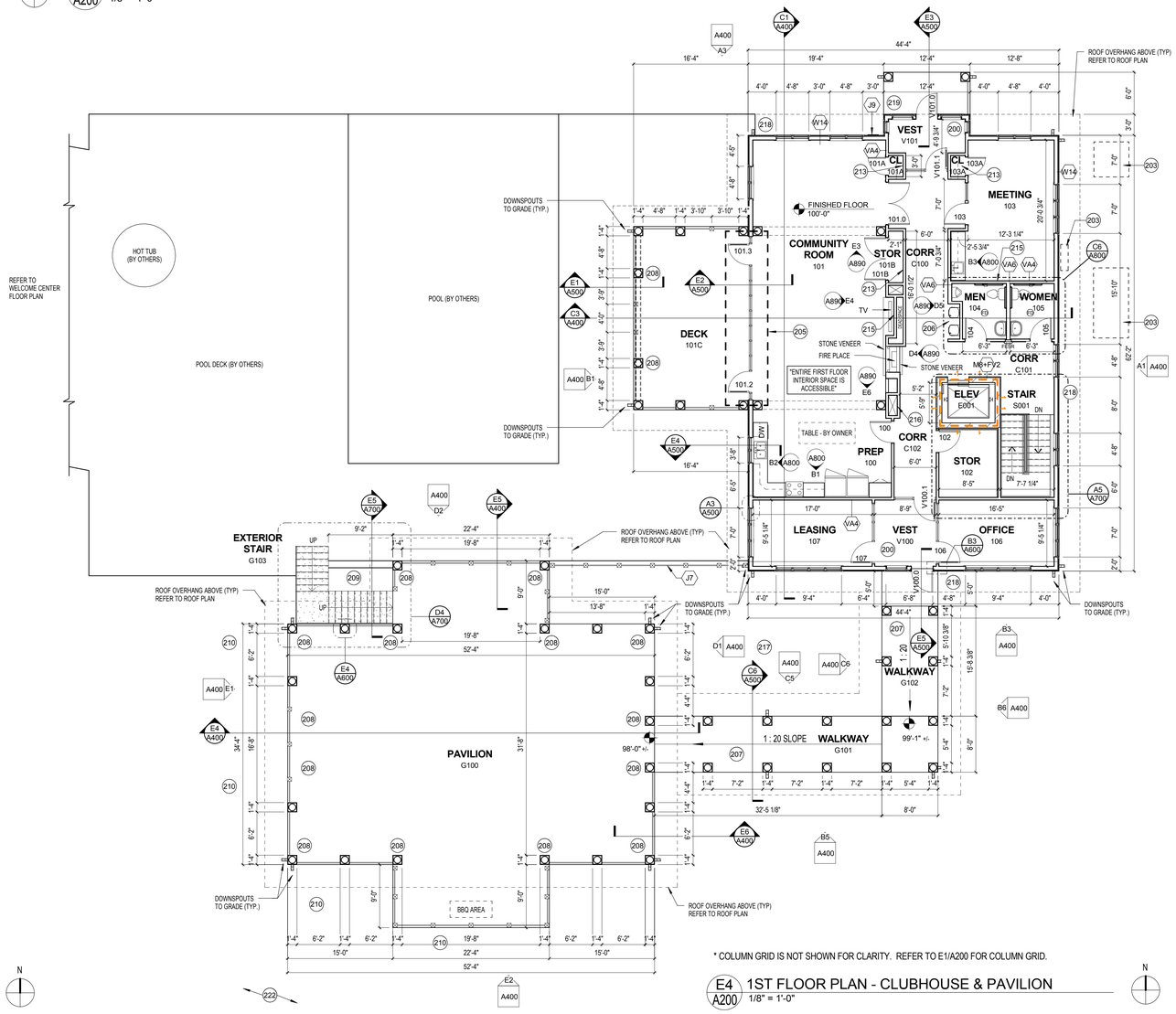
140190-03

12-08-14 BISHOPS BAY - BACK NINE - CLUBHOUSE COMPLEX



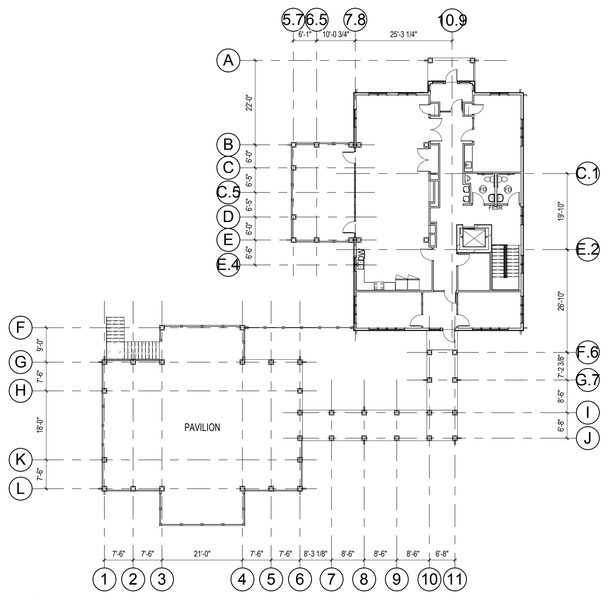
* COLUMN GRID IS NOT SHOWN FOR CLARITY. REFER TO E1/A200 FOR COLUMN GRID.

B3/A200 0 LOWER LEVEL FLOOR PLAN
1/8" = 1'-0"



* COLUMN GRID IS NOT SHOWN FOR CLARITY. REFER TO E1/A200 FOR COLUMN GRID.

E4/A200 1ST FLOOR PLAN - CLUBHOUSE & PAVILION
1/8" = 1'-0"



E1/A200 STRUCTURAL GRID PLAN
1/16" = 1'-0"

FLOOR PLAN - SYMBOLS LEGEND

NEW WALL/PARTITION
EXISTING WALL TO REMAIN
NEW DOOR
EXISTING DOOR TO REMAIN
SECTION REFERENCE
DETAIL REFERENCE
EXTERIOR ELEVATION
WINDOW TYPE
INTERIOR ELEVATION
WALL / PARTITION TYPE
FLOOR PLAN KEYNOTE
FLOOR DRAIN - PITCH FLOOR TO DRAIN
ONE HOUR FIRE RESISTIVE CONSTRUCTION

FLOOR PLAN - GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

B. REFER TO SHEET A890 FOR ROOM FINISH SCHEDULE AND MATERIAL SCHEDULE.

C. REFER TO SHEET A891 FOR DOOR SCHEDULE.

NOTE #	FLOOR PLAN NOTE
200	RECESSED FLOOR MAT. REFER TO DETAIL C4/A810
201	MOP SINK. REFER TO INTERIOR ELEVATION E2 / A890
202	PUSH PLATES (PP) AT BARRIER FREE AUTOMATIC DOORS
203	SUGGESTED LOCATION OF EXTERIOR MECHANICAL / ELECTRICAL EQUIPMENT AND CONCRETE PAD. VERIFY EXACT SIZE & LOCATION WITH DESIGN / BUILD CONTRACTORS.
204	WALL-MOUNTED MIRRORS. REFER TO INTERIOR ELEVATION D2 / A890
205	ALTERNATE BID #1. PROVIDE "NANAWALL SYSTEMS, INC." IN LIEU OF ALUMINUM FRAMED ENTRANCE SYSTEM
206	ELECTRIC WATER COOLERS. COORDINATE WITH DESIGN-BUILD CONTRACTORS
207	EXTERIOR WALKWAY, SLOPE TO BE NO GREATER THAN 1:20
208	PROVIDE EXTERIOR OUTLETS ON LOWER BASE OF EXTERIOR COLUMNS. COORDINATE WITH EXTERIOR DESIGN / BUILD CONTRACTOR
209	PLANTER BELOW
210	REFER TO CIVIL AND/OR LANDSCAPE DRAWINGS FOR RETAINING WALL DESIGN
211	EXTERIOR POOL DECK - BY OWNER
212	EXTERIOR ALUMINUM GATE (ADA COMPLIANT). REFER TO DOOR SCHEDULE FOR MORE INFORMATION
213	SHELF AND POLE. REFER TO DETAIL A1 / A810
215	PROVIDE ELECTRICAL, DATA, AND BRACING AS REQUIRED FOR WALL-MOUNTED TV. COORDINATE FINAL LOCATION WITH OWNER
216	MECHANICAL CHASE. COORDINATE SIZE WITH MECHANICAL DESIGN / BUILD CONTRACTORS
217	FIELD INLET FOR STORMWATER DRAINAGE. REFER TO CIVIL DRAWINGS
218	SUGGESTED LOCATION OF EXTERIOR HOSE BIBB. PLUMBING DESIGN / BUILD CONTRACTOR TO COORDINATE WITH OWNER
219	PROVIDE KEY LOCK BOX FOR FIRE DEPARTMENT ACCESS
220	REFER TO CIVIL AND/OR LANDSCAPE DRAWINGS FOR LOCATION OF EXTERIOR FENCING
221	REFER TO CIVIL AND/OR LANDSCAPE DRAWINGS FOR RELATIONSHIP BETWEEN RETAINING WALL AND EXTERIOR FENCING
222	GENERAL AREA OF TRASH ENCLOSURE. REFER TO CIVIL DRAWINGS

KEYNOTE LEGEND - CONSTRUCTION TYPES

TAG	CONSTRUCTION DESCRIPTION
C1	LAY-IN CEILING PANELS IN EXPOSED GRID SYSTEM SUSPENDED FROM STRUCTURE ABOVE.
C2	5/8" GYPSUM BOARD CEILING ON METAL SUSPENSION SYSTEM SUSPENDED FROM STRUCTURE ABOVE.
C3	1 HR RATED SHAFT WALL CEILING: WHI DESIGN 495 PSH 0154/0167, ONE LAYER 5/8" TYPE 'X' GYPSUM BOARD ON 2-1/2" STEEL SHAFTWALL STUDS AT 24" OC WITH 1" TYPE 'X' GYPSUM BOARD LINER PANEL AT CONCEALED FACE.
C7	WOOD TRUSS FRAMED, FLOOR-CEILING ASSEMBLY: 5/8" TYPE 'X' GYPSUM BOARD ON METAL FURRING CHANNELS 24" OC SUSPENDED FROM STRUCTURE ABOVE.
C14	EXTERIOR SOFFIT: ALUMINUM SOFFIT PANEL SYSTEM (25% PERFORATED)
E1	ALUMINUM WINDOW SYSTEM WITH INSULATING GLASS.
E2	ALUMINUM STOREFRONT SYSTEM WITH INSULATING GLASS.
E5	VINYL DOUBLE-HUNG WINDOW SYSTEM WITH INSULATING GLASS. BASIS OF DESIGN: JELD WEN, BUILDERS SERIES - BUILDERS VINYL (V2500)
E8	INSULATED FRP DOOR
G1	METAL FASCIA SYSTEM: METAL FASCIA ON TREATED 2x WOOD BLOCKING
G3	METAL GUTTER: 5" K STYLE WITH DOWNSPOUTS.
G15	3/4" X 5 1/2" FIBER CEMENT FASCIA
G16	3/4" X 11 1/4" FIBER CEMENT FASCIA
G20	CONTINUOUS RIDGE VENT
J3	PRECAST LINTEL
J4	3 1/2" X 5/4" SMOOTH FIBER-CEMENT TRIM.
J5	5 1/2" X 5/4" SMOOTH FIBER-CEMENT TRIM.
J6	7 1/4" X 5/4" SMOOTH FIBER-CEMENT TRIM.
J7	ALUMINUM RAILING SYSTEM
J9	BRONZE DEDICATION PLAQUE. REFER TO DETAIL A5/A600
J11	DECORATIVE FIBERGLASS COLUMN COVER. REFER TO DETAILS E3/A600 AND E4/A600.
R6	ASPHALT SHINGLE ROOFING SYSTEM: ASPHALT SHINGLES ON UNDERLAYMENT ON 5/8" EXTERIOR GRADE WOOD SHEATHING ON WOOD STRUCTURE. SEE ROOF PLAN FOR LOCATION(S) OF ICE AND WATER BARRIER. 12" BATT INSULATION ON TOP OF VAPOR RETARDER ON TOP OF CEILING SYSTEM IMMEDIATELY BELOW ROOF STRUCTURE.
S1	5" REINFORCED CONCRETE SLAB ON VAPOR BARRIER ON 3" CHOKER COURSE OVER 5" STONE BASE.
S2	3" REINFORCED CONCRETE TOPPING SLAB ON 8" PRECAST CONCRETE HOLLOW CORE PLANK.
S7	BALCONY DECK: COMPOSITE DECKING ON 2x TREATED WOOD FRAMING.

KEYNOTE LEGEND - INTERIOR PARTITION TYPES

TAG	INTERIOR PARTITION DESCRIPTION
909	PLASTIC LAMINATE TOILET PARTITION
FV2	INTERIOR FURRING (PARTITION): 1-1/2" WOOD STUDS AT 16" OC WITH ONE LAYER 5/8" GYPSUM BOARD. REFER TO DETAIL E5/A810.
FV4	INTERIOR FURRING (PARTITION): 3-1/2" WOOD STUDS AT 16" OC WITH ONE LAYER 5/8" GYPSUM BOARD. REFER TO DETAIL E6/A810.
VA4	INTERIOR WOOD STUD PARTITION: 2 X 4 WOOD STUDS AT 16" OC WITH 3-1/2" SOUND ATTENUATION INSUL. AND ONE LAYER 5/8" GYPSUM BOARD AT EACH FACE. REFER TO DETAIL D5/A810.
VA6	INTERIOR WOOD STUD PARTITION: 2 X 6 WOOD STUDS AT 16" OC WITH 5-1/2" SOUND ATTENUATION INSUL. AND ONE LAYER 5/8" GYPSUM BOARD AT EACH FACE. REFER TO DETAIL D6/A810.

GYPSUM BOARD PARTITIONS - GENERAL NOTES

ALL GYPSUM BOARD PARTITIONS SHALL BE VA4 UNLESS OTHERWISE NOTED ON FLOOR PLAN.

GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

PROVIDE TYPE 'X' FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF STRUCTURE ABOVE.

MASONRY PARTITIONS - GENERAL NOTES

MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:

ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.

PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.

KEYNOTE LEGEND - EXTERIOR WALL TYPES

TAG	EXTERIOR WALL DESCRIPTION
W14	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT VERTICAL SIDING (SEE ELEVATIONS), 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS AT 16" OC WITH R-21 BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
W16	EXTERIOR WALL: STONE VENEER WALL CONSISTING OF STONE VENEER, AIR SPACE, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS AT 16" OC WITH R-21 BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
WB2	EXTERIOR WALL (BELOW GRADE): REINFORCED CAST IN PLACE CONCRETE FOUNDATION WALL WITH SHEET MEMBRANE WATERPROOFING. TERMINATE ALL MEMBRANE PERIMETER EDGES WITH 1/8" x 1" ALUMINUM COMPRESSION BAR WITH CONTINUOUS SEALANT. PROVIDE 2" RIGID FOUNDATION INSULATION, EXTEND FULL HEIGHT VERTICALLY.
WB3	EXTERIOR WALL (BELOW GRADE): REINFORCED CAST-IN-PLACE CONCRETE FOUNDATION WALL. PROVIDE 2" RIGID FOUNDATION INSULATION, EXTEND 48" VERTICALLY ON WALL AND 24" HORIZONTALLY BELOW FLOOR SLAB.
WB4	EXTERIOR WALL (BELOW GRADE): 12" REINFORCED CAST-IN-PLACE CONCRETE FOUNDATION WALL WITH SHEET MEMBRANE WATERPROOFING. TERMINATE ALL MEMBRANE PERIMETER EDGES WITH 1/8" x 1" ALUMINUM COMPRESSION BAR WITH CONTINUOUS SEALANT. PROVIDE 2" RIGID FOUNDATION INSULATION, EXTEND FULL HEIGHT VERTICALLY.

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Bishops Bay- Clubhouse, Pavilion & Welcome Center
HIGHWAY Q & BISHOPS BAY PARKWAY

Revisions

Drawn By: AJR

Date: 02-13-15

Job No.: 140228-01

Sheet No.: A200

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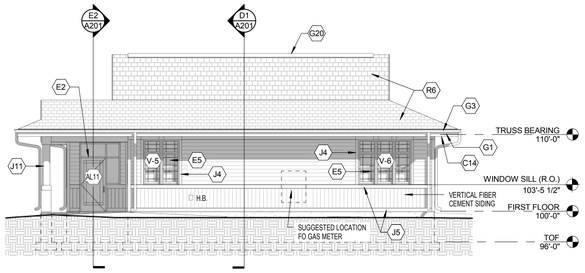
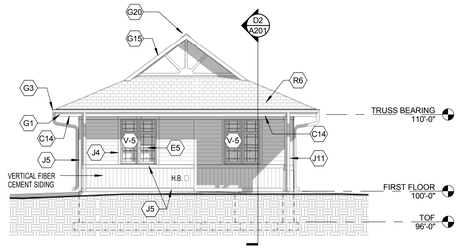
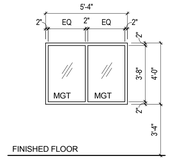


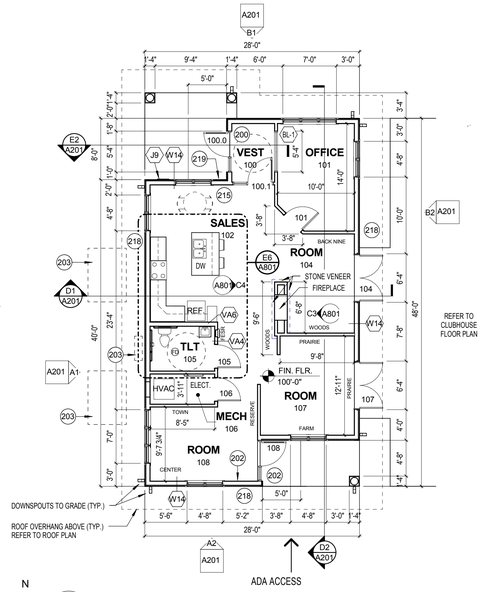
A1 / A201 EAST ELEVATION - WELCOME CENTER
1/8" = 1'-0"



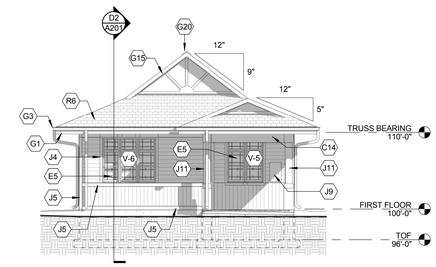
A2 / A201 SOUTH ELEVATION - WELCOME CENTER
1/8" = 1'-0"



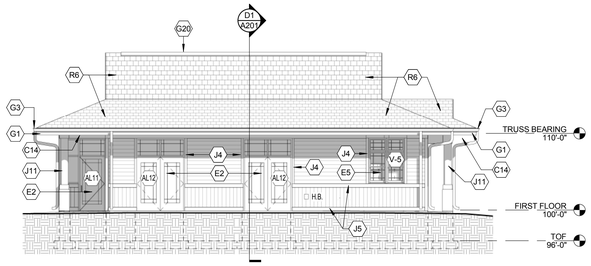
A4 / A201 BORROWED LITE ELEVATION
1/4" = 1'-0"



B5 / A201 FIRST FLOOR PLAN - WELCOME CENTER
1/8" = 1'-0"



B1 / A201 NORTH ELEVATION - WELCOME CENTER
1/8" = 1'-0"



B2 / A201 WEST ELEVATION - WELCOME CENTER
1/8" = 1'-0"

NOTE #	EXTERIOR ELEVATION NOTE

EXTERIOR FINISH PATTERNS

- SHINGLES
- HORIZONTAL FIBER CEMENT LAP SIDING
- VERTICAL FIBER CEMENT SIDING

EXTERIOR ELEVATIONS - GENERAL NOTES

A. PAINT ALL EXPOSED STEEL LINTELS TO MATCH ADJACENT MASONRY COLOR

B. TRIM ALL EXTERIOR LIGHTING FIXTURES, OUTLETS, HOSE BIBBS AND ALL OTHER SIDING PENETRATIONS WITH 1X4 FIBER CEMENT TRIM (TYP.)

C. REFER TO SHEET A891 FOR WINDOW FRAME ELEVATIONS

D. SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES

E. FIBER CEMENT HORIZONTAL LAP SIDING, COLOR: HEATHERED MOSS (HARDIEPLANK COLOR).

F. FIBER CEMENT VERTICAL SIDING TO BE SMOOTH, COLOR: AUTUMN TAN (HARDIEPLANK COLOR).

G. FIBER CEMENT TRIM TO BE SMOOTH, COLOR: ARTIC WHITE (HARDIEPLANK COLOR).

KEYNOTE LEGEND - CONSTRUCTION TYPES

TAG	CONSTRUCTION DESCRIPTION
C7	WOOD TRUSS FRAMED, FLOOR-CEILING ASSEMBLY: 5/8" TYPE 'X' GYPSUM BOARD ON METAL FURRING CHANNELS 24" OC SUSPENDED FROM STRUCTURE ABOVE.
C14	EXTERIOR SOFFIT: ALUMINUM SOFFIT PANEL SYSTEM (25% PERFORATED)
E2	ALUMINUM STOREFRONT SYSTEM WITH INSULATING GLASS.
E5	VINYL DOUBLE-HUNG WINDOW SYSTEM WITH INSULATING GLASS. BASIS OF DESIGN: JELD WEN, BUILDERS SERIES - BUILDERS VINYL (V2500)
G1	METAL FASCIA SYSTEM: METAL FASCIA ON TREATED 2x WOOD BLOCKING
G3	METAL GUTTER: 5" K STYLE WITH DOWNSPOUTS.
G15	3/4" X 5 1/2" FIBER CEMENT FASCIA
G20	CONTINUOUS RIDGE VENT
J4	3 1/2" X 5/4" SMOOTH FIBER-CEMENT TRIM.
J5	5 1/2" X 5/4" SMOOTH FIBER-CEMENT TRIM.
J9	BRONZE DEDICATION PLAQUE. REFER TO DETAIL A5/A600
J11	DECORATIVE FIBERGLASS COLUMN COVER. REFER TO DETAILS E3/A600 AND E4/A600.
R6	ASPHALT SHINGLE ROOFING SYSTEM: ASPHALT SHINGLES ON UNDERLAYMENT ON 5/8" EXTERIOR GRADE WOOD SHEATHING ON WOOD STRUCTURE. SEE ROOF PLAN FOR LOCATION(S) OF ICE AND WATER BARRIER. 12" BATT INSULATION ON TOP OF VAPOR RETARDER ON TOP OF CEILING SYSTEM IMMEDIATELY BELOW ROOF STRUCTURE.
S1	5" REINFORCED CONCRETE SLAB ON VAPOR BARRIER ON 3" CHOKER COURSE OVER 5" STONE BASE.

FLOOR PLAN - SYMBOLS LEGEND

- NEW WALL/PARTITION
- NEW DOOR
- SECTION REFERENCE
- DETAIL REFERENCE
- EXTERIOR ELEVATION
- WINDOW TYPE
- INTERIOR ELEVATION
- WALL/PARTITION TYPE
- FLOOR PLAN KEYNOTE
- FLOOR DRAIN - PITCH FLOOR TO DRAIN

FLOOR PLAN - GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

B. REFER TO SHEET A890 FOR ROOM FINISH SCHEDULE AND MATERIAL SCHEDULE.

C. REFER TO SHEET A891 FOR DOOR SCHEDULES, DOOR TYPES, AND NOTES.

D. REFER TO CIVIL FOR FLOOR ELEVATION DIFFERENCE BETWEEN WELCOME CENTER AND CLUBHOUSE .

NOTE #	FLOOR PLAN NOTE
200	RECESSED FLOOR MAT. REFER TO DETAIL C4/A810
202	PUSH PLATES (PP) AT BARRIER FREE AUTOMATIC DOORS
203	SUGGESTED LOCATION OF EXTERIOR MECHANICAL / ELECTRICAL EQUIPMENT AND CONCRETE PAD. VERIFY EXACT SIZE & LOCATION WITH DESIGN / BUILD CONTRACTORS.
215	PROVIDE ELECTRICAL, DATA, AND BRACING AS REQUIRED FOR WALL-MOUNTED TV. COORDINATE FINAL LOCATION WITH OWNER
218	SUGGESTED LOCATION OF EXTERIOR HOSE BIBB. PLUMBING DESIGN / BUILD CONTRACTOR TO COORDINATE WITH OWNER
219	PROVIDE KEY LOCK BOX FOR FIRE DEPARTMENT ACCESS

KEYNOTE LEGEND - INTERIOR PARTITION TYPES

TAG	INTERIOR PARTITION DESCRIPTION
VA4	INTERIOR WOOD STUD PARTITION: 2 X 4 WOOD STUDS @ 16" OC WITH 3-1/2" SOUND ATTENUATION INSUL. AND ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. REFER TO DETAIL D5/A810.
VA6	INTERIOR WOOD STUD PARTITION: 2 X 6 WOOD STUDS @ 16" OC WITH 5-1/2" SOUND ATTENUATION INSUL. AND ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE. REFER TO DETAIL D6/A810.

GYPSUM BOARD PARTITIONS - GENERAL NOTES

ALL GYPSUM BOARD PARTITIONS SHALL BE VA4 UNLESS OTHERWISE NOTED ON FLOOR PLAN.

GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

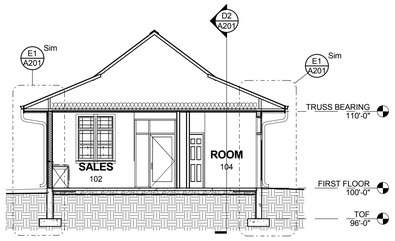
PROVIDE TYPE 'X' FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

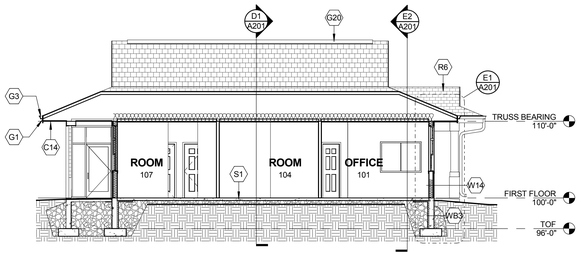
EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF STRUCTURE ABOVE.

KEYNOTE LEGEND - EXTERIOR WALL TYPES

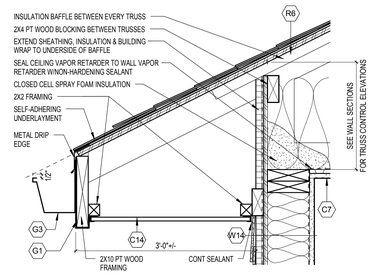
TAG	EXTERIOR WALL DESCRIPTION
W14	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT VERTICAL SIDING (SEE ELEVATIONS), 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS @ 16" OC WITH R-21 BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
WB2	EXTERIOR WALL (BELOW GRADE): REINFORCED CAST IN PLACE CONCRETE FOUNDATION WALL WITH SHEET MEMBRANE WATERPROOFING. TERMINATE ALL MEMBRANE PERIMETER EDGES WITH 1/8" x 1" ALUMINUM COMPRESSION BAR WITH CONTINUOUS SEALANT. PROVIDE 2" RIGID FOUNDATION INSULATION, EXTEND FULL HEIGHT VERTICALLY.
WB3	EXTERIOR WALL (BELOW GRADE): REINFORCED CAST-IN-PLACE CONCRETE FOUNDATION WALL. PROVIDE 2" RIGID FOUNDATION INSULATION, EXTEND 48" VERTICALLY ON WALL AND 24" HORIZONTALLY BELOW FLOOR SLAB.



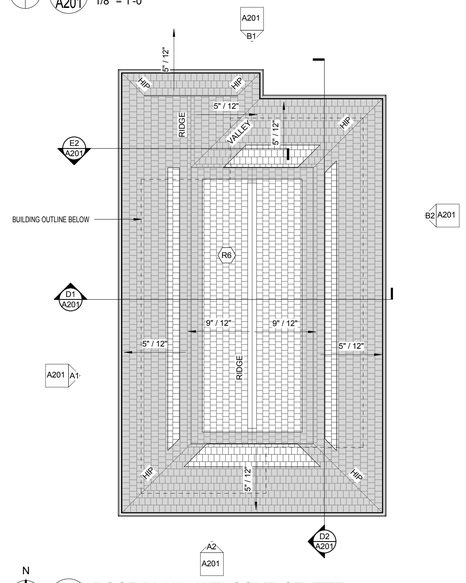
D1 / A201 BUILDING SECTION - WEST/EAST
1/8" = 1'-0"



D2 / A201 BUILDING SECTION - NORTH/SOUTH
1/8" = 1'-0"



D4 / A201 EAVE AT SIDING WALL
1 1/2" = 1'-0"



D5 / A201 ROOF PLAN - WELCOME CENTER
1/8" = 1'-0"

ROOF PLAN - SYMBOLS LEGEND

- X" / 12" ROOF SLOPE
- SELF-ADHERING UNDERLAYMENT

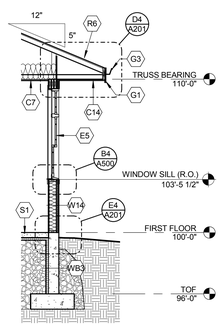
ROOF PLAN - GENERAL NOTES

A. COORDINATE AND VERIFY ALL ROOF OPENINGS AND PENETRATIONS WITH STRUCTURAL, PLUMBING, HVAC, AND ELECTRICAL REQUIREMENTS. MECHANICAL DESIGN / BUILD CONTRACTOR, PLUMBING DESIGN / BUILD CONTRACTOR, ELECTRICAL DESIGN / BUILD CONTRACTOR TO REVIEW WITH OWNER AND ARCHITECT LOCATION OF ALL
B. ROOF OPENINGS AND PENETRATIONS FOR DESIGN INTENT.

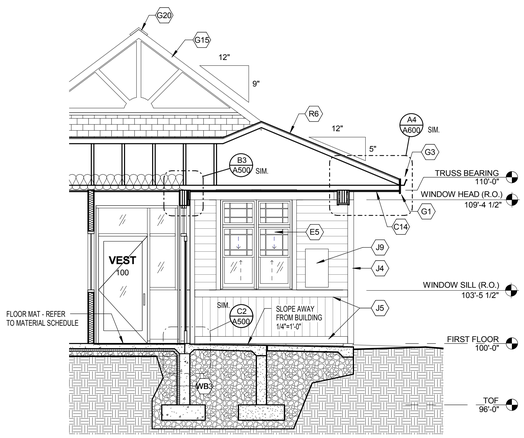
C. PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.

D. REFER TO EXTERIOR ELEVATIONS AND FLOOR PLAN FOR LOCATION OF DOWNSPOUTS.

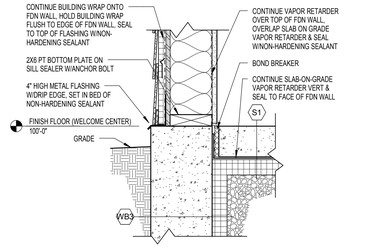
E. ASPHALT SHINGLE ROOFED AREA INCLUDE PROVISIONS FOR VENTING TO MEET SHINGLE WARRANTY AND CODE REQUIREMENTS.



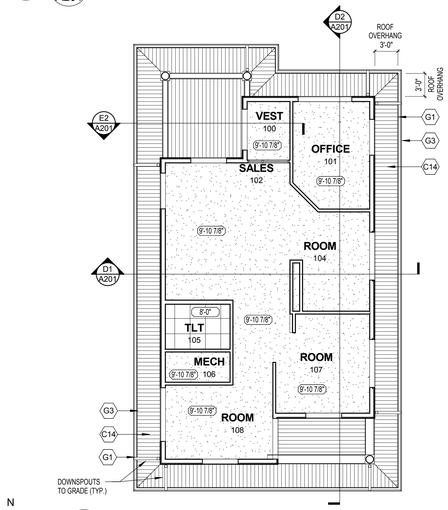
E1 / A201 WALL SECTION @ WINDOW
1/4" = 1'-0"



E2 / A201 WALL SECTION AT STREET ENTRY DOOR
1/4" = 1'-0"



E4 / A201 SIDING WALL AT GRADE
1 1/2" = 1'-0"



E5 / A201 FIRST FLOOR RCP - WELCOME CENTER
1/8" = 1'-0"

REFLECTED CEILING PLAN - SYMBOLS LEGEND

- 2'-0" x 2'-0" SUSPENDED EXPOSED GRID ACOUSTIC CEILING TILE
- EXIT LIGHT
- WALL-MOUNTED EXIT LIGHT
- GYPSUM BOARD CEILING OR BULKHEAD
- 0' - 0" CEILING HEIGHT

REFLECTED CEILING PLAN - GENERAL NOTES

A. PERIMETER CEILING TILES SHALL NOT BE LESS THAN 4".

B. LOCATE ALL SPRINKLER HEADS, SMOKE DETECTORS, AUDIO SPEAKERS, HEAT SENSORS IN THE CENTER OF CEILING TILE (OR IN THE CENTER OF THE RAISED/RECESSED FIELD OF A PATTERNED TILE).

C. LOCATION OF ALL MECHANICAL DIFFUSERS, RETURNS, LOUVERS, ETC. TO BE DESIGNED BY MECHANICAL DESIGN / BUILD CONTRACTOR.

LIGHTING SHOWN ON THIS DRAWING IS FOR "REFERENCE ONLY". ELECTRICAL DESIGN / BUILD CONTRACTOR RESPONSIBLE FOR WORKING WITH OWNER ON SELECTION OF LIGHTING.

ELECTRICAL DESIGN / BUILD CONTRACTOR TO VERIFY ALL LIGHTING CALCULATIONS, ADJUST AS NEEDED TO MEET CODE REQUIREMENTS.

FINAL EXIT SIGN LOCATIONS BY ELECTRICAL DESIGN / BUILD ENGINEER OF RECORD.

THE MECHANICAL, PLUMBING, ELECTRICAL CONTRACTORS ARE RESPONSIBLE FOR PROVIDING FINAL DESIGN THAT COMPLIES WITH APPROPRIATE CODES AND OBTAIN ALL NECESSARY APPROVALS AND CONSTRUCTION REQUIREMENTS.

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Bishops Bay - Clubhouse, Pavilion & Welcome Center
BISHOPS BAY PARKWAY

Revisions

Drawn By: AJR
Date: 02-13-15
Job No.: 140228-01
Sheet No.: A201

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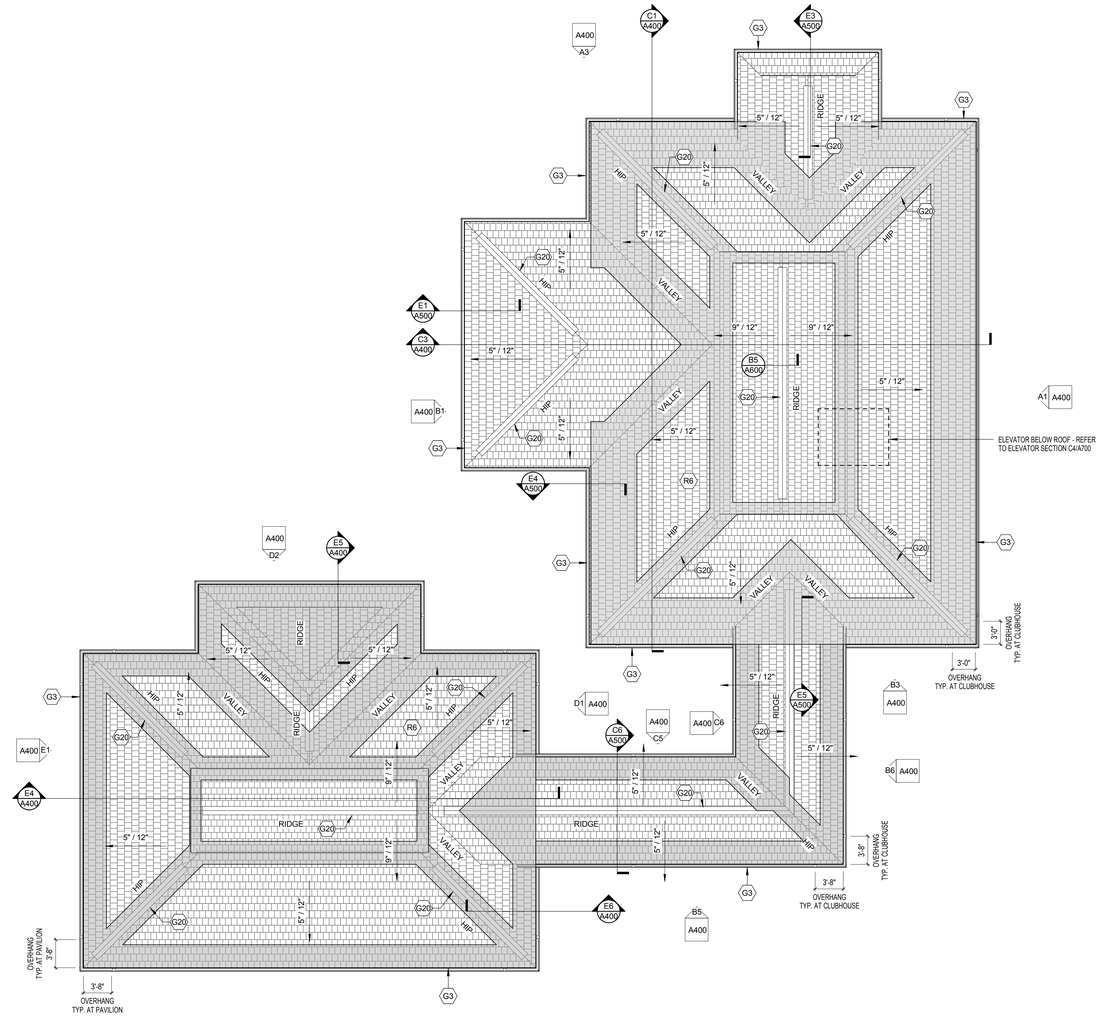

* COLUMN GRID IS NOT SHOWN FOR CLARITY. REFER TO E1/A200 FOR COLUMN GRID.

C3 A220 ROOF PLAN
1/8" = 1'-0"

N

ROOF PLAN - SYMBOLS LEGEND

X" / 12"	ROOF SLOPE
1	ROOF PLAN NOTE
	SELF-ADHERING UNDERLAYMENT

ROOF PLAN - GENERAL NOTES

A. COORDINATE AND VERIFY ALL ROOF OPENINGS AND PENETRATIONS WITH STRUCTURAL, PLUMBING, HVAC, AND ELECTRICAL REQUIREMENTS. MECHANICAL DESIGN / BUILD CONTRACTOR, PLUMBING DESIGN / BUILD CONTRACTOR, ELECTRICAL DESIGN / BUILD CONTRACTOR TO REVIEW WITH OWNER AND ARCHITECT LOCATION OF ALL ROOF OPENINGS AND PENETRATIONS FOR DESIGN INTENT.

B. PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.

C. REFER TO EXTERIOR ELEVATIONS AND FLOOR PLAN FOR LOCATION OF DOWNSPOUTS.

D. ASPHALT SHINGLE ROOFED AREA INCLUDE PROVISIONS FOR VENTING TO MEET SHINGLE WARRANTY AND CODE REQUIREMENTS.

KEYNOTE LEGEND - CONSTRUCTION TYPES

TAG	CONSTRUCTION DESCRIPTION
C1	LAY-IN CEILING PANELS IN EXPOSED GRID SYSTEM SUSPENDED FROM STRUCTURE ABOVE.
C2	5/8" GYPSUM BOARD CEILING ON METAL SUSPENSION SYSTEM SUSPENDED FROM STRUCTURE ABOVE.
C3	1 HR RATED SHAFT WALL CEILING: WHI DESIGN 495 PSH 01540167. ONE LAYER 5/8" TYPE 'X' GYPSUM BOARD ON 2-1/2" STEEL SHAFTWALL STUDS AT 24" OC WITH 1" TYPE 'X' GYPSUM BOARD LINER PANEL AT CONCEALED FACE.
C7	WOOD TRUSS FRAMED, FLOOR-CEILING ASSEMBLY: 5/8" TYPE 'X' GYPSUM BOARD ON METAL FURRING CHANNELS 24" OC SUSPENDED FROM STRUCTURE ABOVE.
C14	EXTERIOR SOFFIT: ALUMINUM SOFFIT PANEL SYSTEM (25% PERFORATED)
E1	ALUMINUM WINDOW SYSTEM WITH INSULATING GLASS.
E2	ALUMINUM STOREFRONT SYSTEM WITH INSULATING GLASS.
E5	VINYL DOUBLE-HUNG WINDOW SYSTEM WITH INSULATING GLASS. BASIS OF DESIGN: JELD WEN, BUILDERS SERIES - BUILDERS VINYL (V2500)
E8	INSULATED FRP DOOR
G1	METAL FASCIA SYSTEM: METAL FASCIA ON TREATED 2x WOOD BLOCKING
G3	METAL GUTTER: 5" K STYLE WITH DOWNSPOUTS.
G15	3/4" X 5 1/2" FIBER CEMENT FASCIA
G16	3/4" X 11 1/4" FIBER CEMENT FASCIA
G20	CONTINUOUS RIDGE VENT
J3	PRECAST LINTEL
J4	3 1/2" X 5/4" SMOOTH FIBER-CEMENT TRIM.
J5	5 1/2" X 5/4" SMOOTH FIBER-CEMENT TRIM.
J6	7 1/4" X 5/4" SMOOTH FIBER-CEMENT TRIM.
J7	ALUMINUM RAILING SYSTEM
J9	BRONZE DEDICATION PLAQUE. REFER TO DETAIL A5/A600
J11	DECORATIVE FIBERGLASS COLUMN COVER. REFER TO DETAILS E3/A600 AND E4/A600.
R6	ASPHALT SHINGLE ROOFING SYSTEM: ASPHALT SHINGLES ON UNDERLAYMENT ON 5/8" EXTERIOR GRADE WOOD SHEATHING ON WOOD STRUCTURE. SEE ROOF PLAN FOR LOCATION(S) OF ICE AND WATER BARRIER. 12" BATT INSULATION ON TOP OF VAPOR RETARDER ON TOP OF CEILING SYSTEM IMMEDIATELY BELOW ROOF STRUCTURE.
S1	5" REINFORCED CONCRETE SLAB ON VAPOR BARRIER ON 3" CHOKER COURSE OVER 5" STONE BASE.
S2	3" REINFORCED CONCRETE TOPPING SLAB ON 8" PRECAST CONCRETE HOLLOW CORE PLANK.
S7	BALCONY DECK: COMPOSITE DECKING ON 2x TREATED WOOD FRAMING.

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Bishops Bay- Clubhouse, Pavilion & Welcome Center

HIGHWAY Q & BISHOPS BAY PARKWAY

Revisions

Drawn By: AJR

Date: 02-13-15

Job No.: 140228-01

Sheet No.: A220

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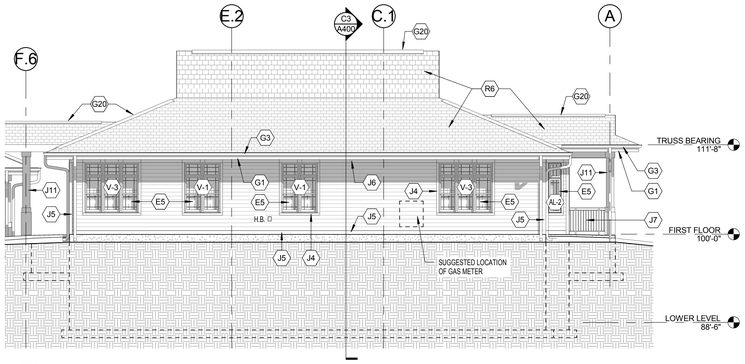
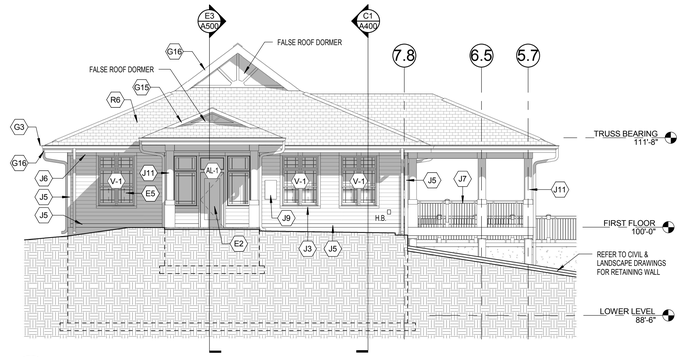
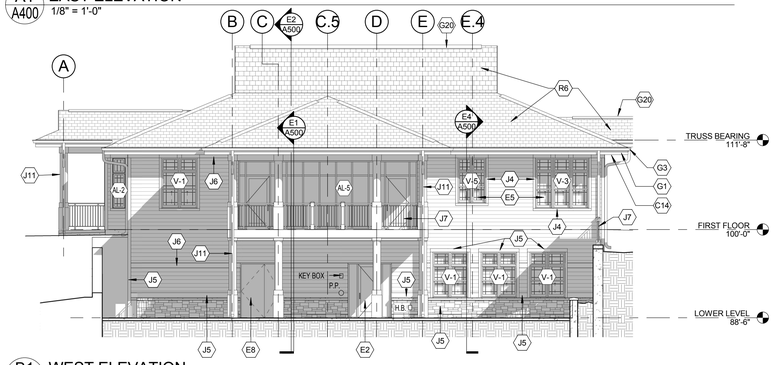


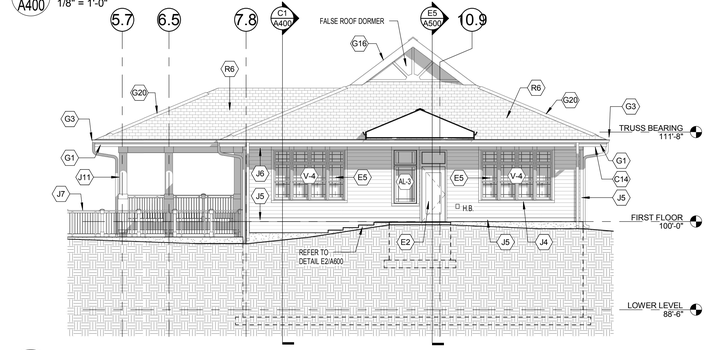
A1 EAST ELEVATION
A400 1/8" = 1'-0"



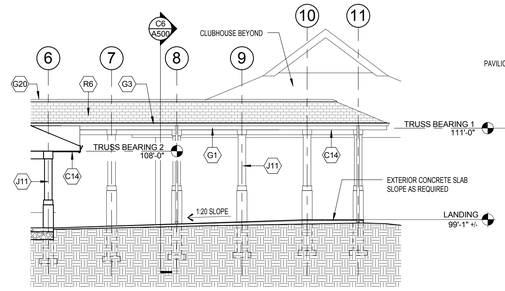
A3 NORTH ELEVATION
A400 1/8" = 1'-0"



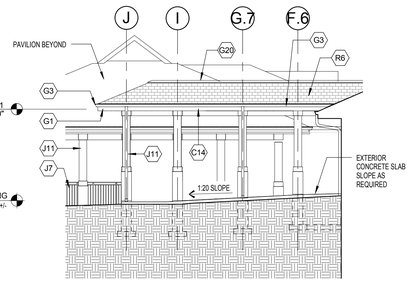
B1 WEST ELEVATION
A400 1/8" = 1'-0"



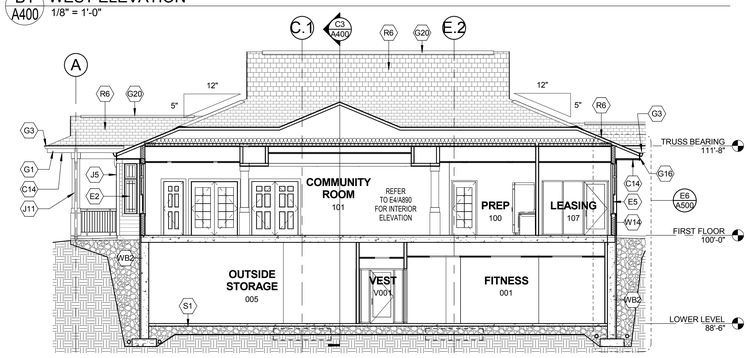
B3 SOUTH ELEVATION
A400 1/8" = 1'-0"



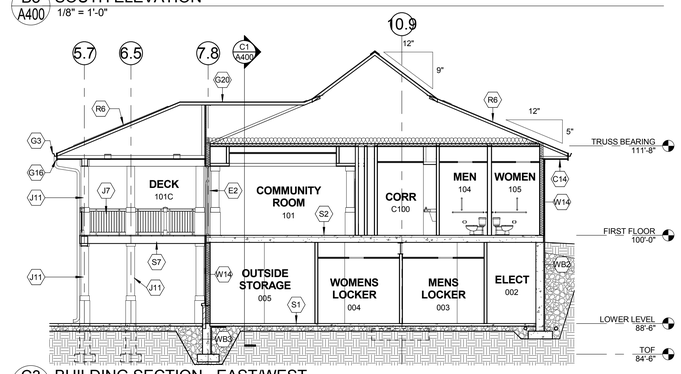
B5 SOUTH ELEVATION - WALKWAY
A400 1/8" = 1'-0"



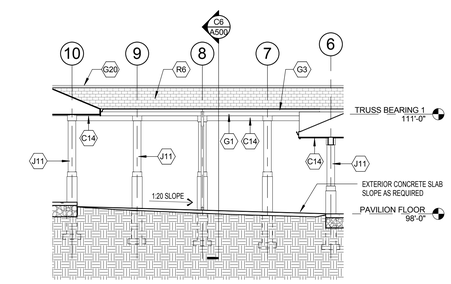
B6 EAST ELEVATION - WALKWAY
A400 1/8" = 1'-0"



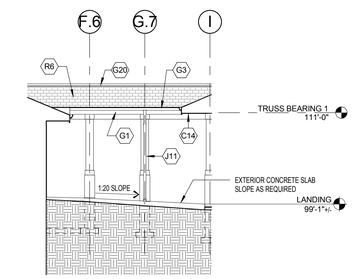
C1 BUILDING SECTION - NORTH/SOUTH
A400 1/8" = 1'-0"



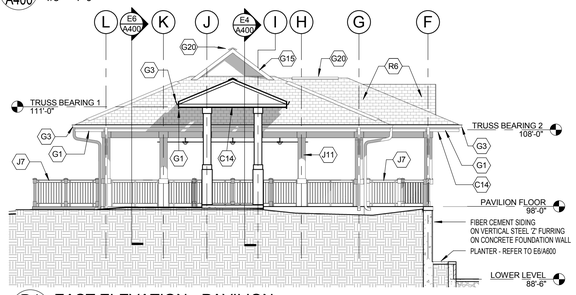
C3 BUILDING SECTION - EAST/WEST
A400 1/8" = 1'-0"



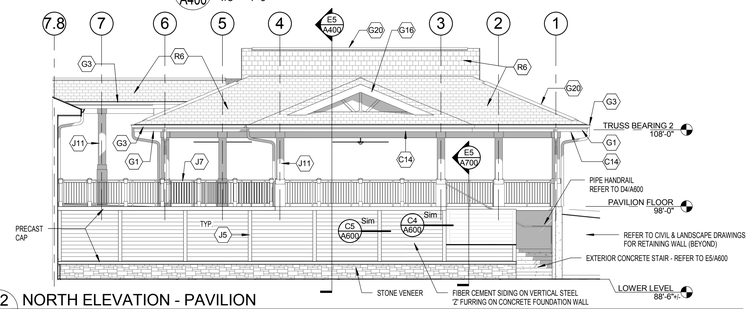
C5 NORTH ELEVATION - WALKWAY
A400 1/8" = 1'-0"



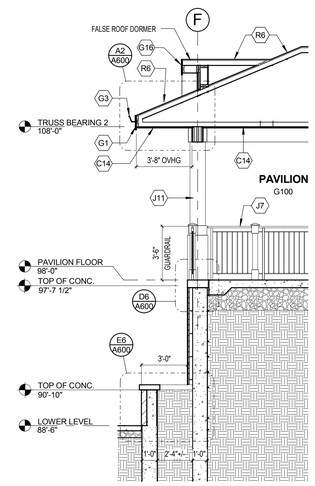
C6 WEST ELEVATION - WALKWAY
A400 1/8" = 1'-0"



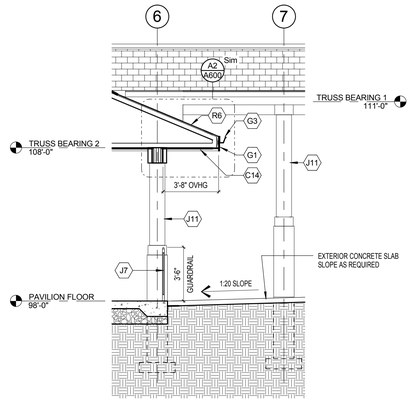
D1 EAST ELEVATION - PAVILION
A400 1/8" = 1'-0"



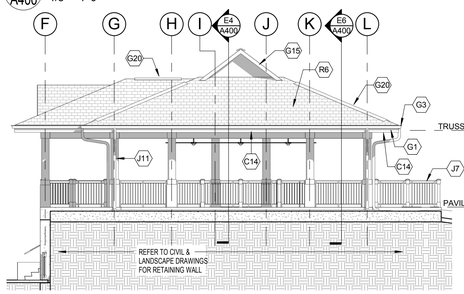
D2 NORTH ELEVATION - PAVILION
A400 1/8" = 1'-0"



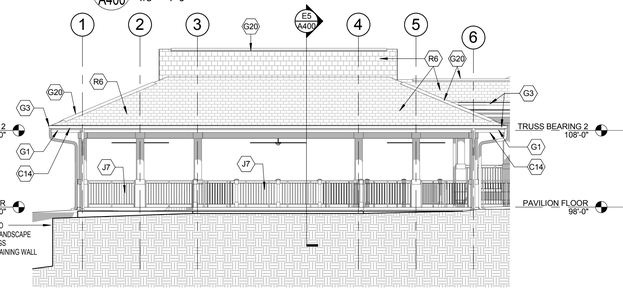
E5 PAVILION - RETAINING WALL SECTION
A400 1/4" = 1'-0"



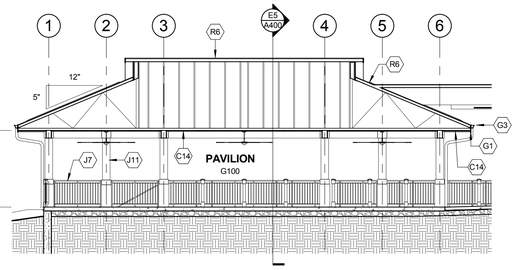
E6 WALL SECTION - PAVILION
A400 1/4" = 1'-0"



E1 WEST ELEVATION - PAVILION
A400 1/8" = 1'-0"



E2 SOUTH ELEVATION - PAVILION
A400 1/8" = 1'-0"



E4 BUILDING SECTION - PAVILION - EAST/WEST
A400 1/8" = 1'-0"

KEYNOTE LEGEND - CONSTRUCTION TYPES

TAG	CONSTRUCTION DESCRIPTION
C1	LAY-IN CEILING PANELS IN EXPOSED GRID SYSTEM SUSPENDED FROM STRUCTURE ABOVE.
C2	5/8" GYPSUM BOARD CEILING ON METAL SUSPENSION SYSTEM SUSPENDED FROM STRUCTURE ABOVE.
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C7	WOOD TRUSS FRAMED, FLOOR CEILING ASSEMBLY: 5/8" TYPE 'X' GYPSUM BOARD ON METAL FURRING CHANNELS 24" OC SUSPENDED FROM STRUCTURE ABOVE.
C14	EXTERIOR SOFFIT: ALUMINUM SOFFIT PANEL SYSTEM (25% PERFORATED).
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E5	VINYL DOUBLE-HUNG WINDOW SYSTEM WITH INSULATING GLASS. BASIS OF DESIGN: JELD WEN, BUILDERS SERIES - BUILDERS VINYL (V2500)
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G16	3/4" X 11 1/4" FIBER CEMENT FASCIA
G20	CONTINUOUS RIDGE VENT
J3	PRECAST LINTEL
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J5	5 1/2" X 5/4" SMOOTH FIBER-CEMENT TRIM.
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J7	ALUMINUM RAILING SYSTEM
J9	BRONZE DEDICATION PLAQUE. REFER TO DETAIL A5/A600
J11	DECORATIVE FIBERGLASS COLUMN COVER. REFER TO DETAILS E3/A600 AND E4/A600.
R6	ASPHALT SHINGLE ROOFING SYSTEM: ASPHALT SHINGLES ON UNDERLAYMENT ON 5/8" EXTERIOR GRADE WOOD SHEATHING ON WOOD STRUCTURE. SEE ROOF PLAN FOR LOCATION(S) OF ICE AND WATER BARRIER. 12" BATT INSULATION ON TOP OF VAPOR RETARDER ON TOP OF CEILING SYSTEM IMMEDIATELY BELOW ROOF STRUCTURE.
S1	5" REINFORCED CONCRETE SLAB ON VAPOR BARRIER ON 3" CHOKER COURSE OVER 5" STONE BASE.
S2	3" REINFORCED CONCRETE TOPPING SLAB ON 8" PRECAST CONCRETE HOLLOW CORE PLANK.
S7	BALCONY DECK: COMPOSITE DECKING ON 2x TREATED WOOD FRAMING.

EXTERIOR FINISH PATTERNS

- ROOF SHINGLES
- STONE VENEER
- HORIZONTAL FIBER CEMENT LAP SIDING

EXTERIOR ELEVATIONS - GENERAL NOTES

A. PAINT ALL EXPOSED STEEL LINTELS TO MATCH ADJACENT MASONRY COLOR

B. TRIM ALL EXTERIOR LIGHTING FIXTURES, OUTLETS, HOSE BIBBS AND ALL OTHER SIDING PENETRATIONS WITH 1X4 FIBER CEMENT TRIM (TYP.).

C. REFER TO SHEET A891 FOR WINDOW FRAME ELEVATIONS

D. SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES.

E. FIBER CEMENT TO BE LAP SIDING, COLOR: EVENING BLUE (HARDIEPLANK COLOR).

F. FIBER CEMENT TRIM TO BE SMOOTH, COLOR: ARTIC WHITE (HARDIEPLANK COLOR).

KEYNOTE LEGEND - EXTERIOR WALL TYPES

TAG	EXTERIOR WALL DESCRIPTION
W14	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT VERTICAL SIDING (SEE ELEVATIONS), 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS AT 16" OC WITH R-21 BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
W16	EXTERIOR WALL: STONE VENEER WALL CONSISTING OF STONE VENEER, AIR SPACE, 1" RIGID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING, 2 X 6 WOOD STUDS AT 16" OC WITH R-21 BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
WB2	EXTERIOR WALL (BELOW GRADE): REINFORCED CAST IN PLACE CONCRETE FOUNDATION WALL WITH SHEET MEMBRANE WATERPROOFING. TERMINATE ALL MEMBRANE PERIMETER EDGES WITH 1/8" x 1" ALUMINUM COMPRESSION BAR WITH CONTINUOUS SEALANT. PROVIDE 2" RIGID FOUNDATION INSULATION, EXTEND FULL HEIGHT VERTICALLY.
WB3	EXTERIOR WALL (BELOW GRADE): REINFORCED CAST-IN-PLACE CONCRETE FOUNDATION WALL. PROVIDE 2" RIGID FOUNDATION INSULATION, EXTEND 48" VERTICALLY ON WALL AND 24" HORIZONTALLY BELOW FLOOR SLAB
WB4	EXTERIOR WALL (BELOW GRADE): 12" REINFORCED CAST-IN-PLACE CONCRETE FOUNDATION WALL WITH SHEET MEMBRANE WATERPROOFING. TERMINATE ALL MEMBRANE PERIMETER EDGES WITH 1/8" x 1" ALUMINUM COMPRESSION BAR WITH CONTINUOUS SEALANT. PROVIDE 2" RIGID FOUNDATION INSULATION, EXTEND FULL HEIGHT VERTICALLY.

pra
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Bishops Bay- Clubhouse, Pavilion & Welcome Center
HIGHWAY Q & BISHOPS BAY PARKWAY

Revisions

Drawn By: AJR
Date: 02-13-15
Job No.: 140228-01
Sheet No.: A400

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2/13/2015 1:37:57 PM C:\pra rac\Local Project Files\140228-central_areed.rvt

GENERAL NOTES

A) Areas labeled "Red B Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown, spread to a 3" depth over pre-emergent herbicide.

B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown, spread to a minimum 3" depth (3' wide beds for shrub groupings).

C) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.

D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.

E) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.

F) Seed shall consist of the following mixture:
- 10% Palmer IV Perennial Ryegrass
- 20% Dragon Kentucky Bluegrass
- 20% Diva Kentucky Bluegrass
- 20% Foxy II Creeping Red Fescue
- 15% Vail II Perennial Ryegrass
- 15% Ginney Kentucky Bluegrass

G) Areas labeled "Seed/Mat" shall be seeded with the above-noted premium lawn seed mixture and overlaid with DS75 straw erosion control netting that is then pegged into the soil with metal staples.

H) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.

I) Plant beds adjacent to building foundation to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric weed barrier.

CITY OF MIDDLETON

LANDSCAPE POINTS REQUIREMENTS

NUMBER OF PARKING STALLS	46
NUMBER OF 2" MIN. CAL. TREES REQUIRED	4
NUMBER OF LANDSCAPE POINTS REQUIRED	690

SOLUTION

6	CANOPY TREES (2"-2 1/2" OR 1 1/2"-2" FOR MULTI-STEM TREES) @ 50 PTS.	300
-	CANOPY TREES (1 1/2"-2" OR 8'-10') @ 30 PTS.	-
3	EVERGREEN TREES (4' HT.) @ 30 PTS.	90
4	LOW ORNAMENTAL TREES (5' AND BB STOCK) @ 20 PTS.	80
15	TALL SHRUBS (2 1/2'-4') @ 9 PTS.	135
16	MEDIUM SHRUBS (18"-36") @ 6 PTS.	96
-	LOW SHRUBS (15"-24") @ 3 PTS.	-
	TOTAL POINTS	701

Plant Material List

Broadleaf Deciduous

Quantity	Code Name	Common Name	Scientific Name	Planting Size
16	ABS	Autumn Brill Serviceberry	Amelanchier X Grand 'autumn Brill'	6' B&B
4	PO	Pin Oak	Quercus Palustris	2" B&B
6	CCP	Chanticleer Callery Pear	Pyrus Calleryana 'chanticleer'	2 1/2" B&B
3	GMM	Green Mountain Sugar Maple	Acer Saccharum 'green Mountain'	2" B&B
14	SWO	Swamp White Oak	Quercus Bicolor	2" B&B
2	FFM	Fall Fiesta Sugar Maple	Acer Saccharum 'bailsta'	2" B&B
7	MAM	Marmo Maple	Acer X Freemanii 'marmo'	2" B&B
18	ISL	Ivory Silk Japanese Tree Lilac	Syringa Reticulata 'ivory Silk'	2" B&B

Conifer Evergreen

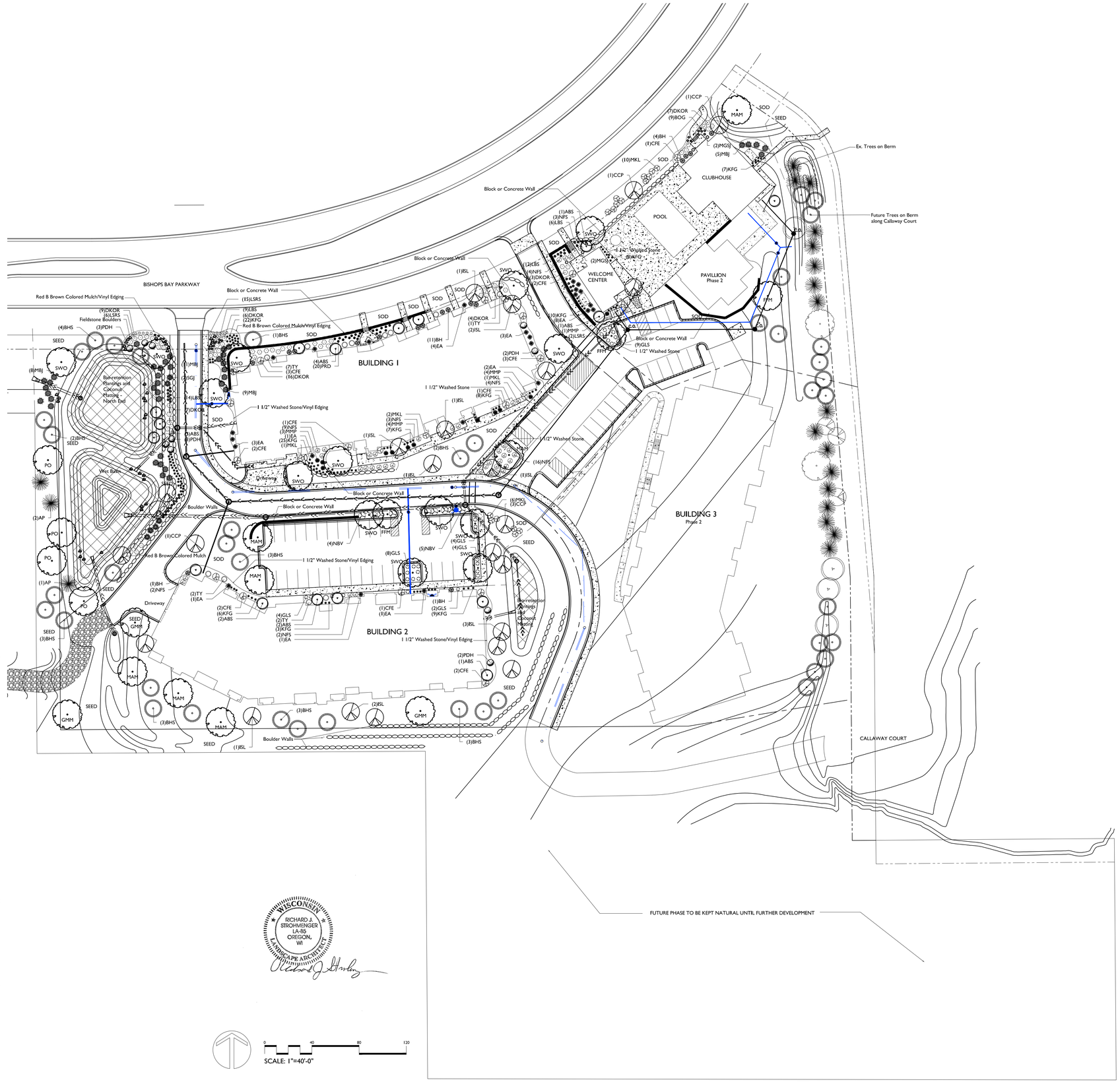
Quantity	Code Name	Common Name	Scientific Name	Planting Size
6	SGJ	Sea Green Juniper	Juniperus Chinen 'sea Green'	#5 CONT.
12	TY	Taunton Yew	Taxus X Media 'tauntonii'	18" B&B
25	BHS	Black Hills Spruce	Picea Glauca Var Densata	5' B&B
24	EA	Emerald Arborvitae	Thuja Occidentalis 'smaragd'	4' B&B
3	AP	Austrian Pine	Pinus Nigra	5' B&B
39	MBJ	Mountbatten Juniper	Juniperus Chinen 'mountbatten'	5' B&B
12	MMP	Mops Mugo Pine	Pinus Mugo 'mops'	#3 CONT.
4	MGSJ	Moonglow Spiral Juniper	Juniperus scopulorum 'Moonglow'	4' BB

Perennial

Quantity	Code Name	Common Name	Scientific Name	Planting Size
28	LSRS	Little Spire Russian Sage	Perovskia Atriplicifolia 'little Spire'	#1 CONT.
135	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
55	LBS	Little Bluestem	Schizachyrium Scoparium	#1 CONT.
9	SBOG	Sapphire Blue Oat Grass	Helictotrichon Sempervirens 'saphirsprudel'	#1 CONT.
20	PRD	Prairie Dropseed	Sporobolus Heterolepis	#1 CONT.

Shrub

Quantity	Code Name	Common Name	Scientific Name	Planting Size
17	BH	Bloomstruck Hydrangea	Hydrangea Macro 'piihm-li'	#2 CONT.
31	GLS	Gro-Low Fragrant Sumac	Rhus Aromatica 'gro-Low'	#2 CONT.
43	NFS	Neon Flash Spirea	Spiraea Japonica 'neon Flash'	#2 CONT.
57	DKOR	Double Knock Out Rose	Rosa 'radtko'	#3 CONT.
19	CFE	Chicago Fire Winged Euonymus	Euonymus Alatus 'timber Creek'	3' B&B
10	PDH	Pink Diamond Hydrangea	Hydrangea Paniculata 'pink Diamond'	#5 CONT.
9	NBV	Northern Burgundy Arwd Viburnu	Viburnum Dentatum 'morton'	4' B&B
20	MKL	Miss Kim Lilac	Syringa Pubescens Subsp. Patula 'miss Kim'	3' B&B



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THE BACK NINE APARTMENTS - BISHOPS BAY

MIDDLETON WISCONSIN 53565

Checked By: SS
Drawn By: 12/08/14 RS

Revised: 1/22/15 RS
Revised: 4/21/15 RS
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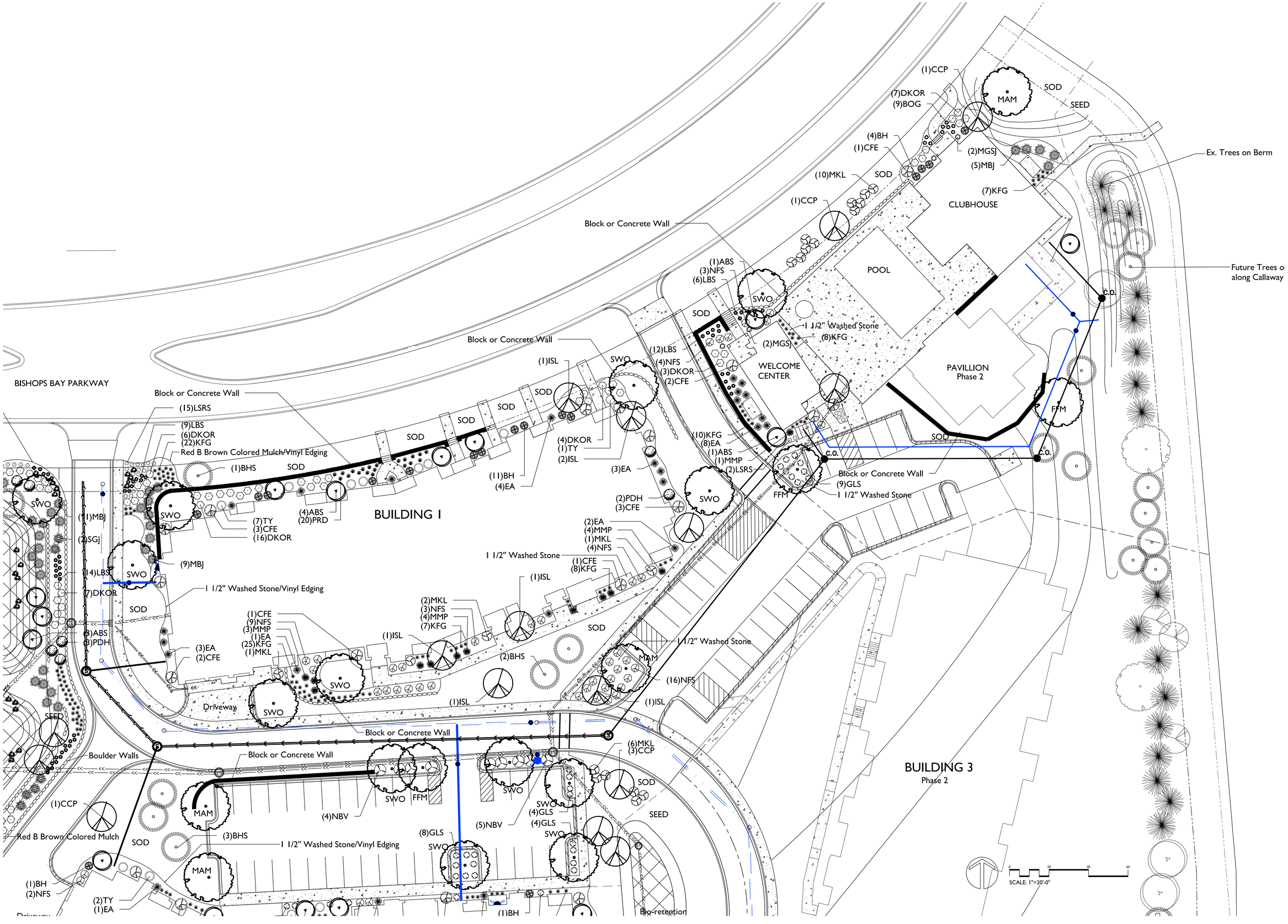

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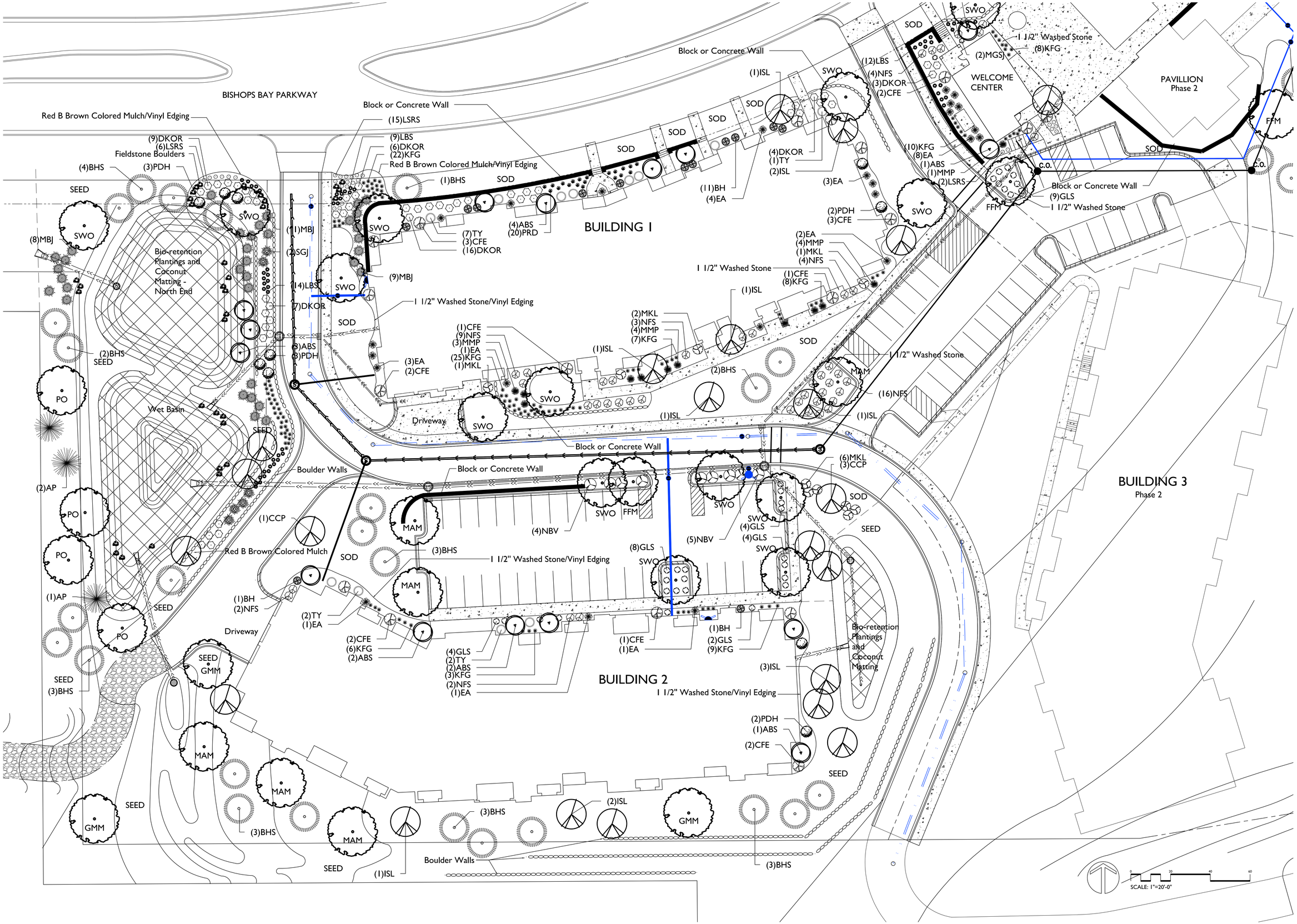

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THE BACK NINE APARTMENTS - BISHOPS BAY

MIDDLETON WISCONSIN 53565

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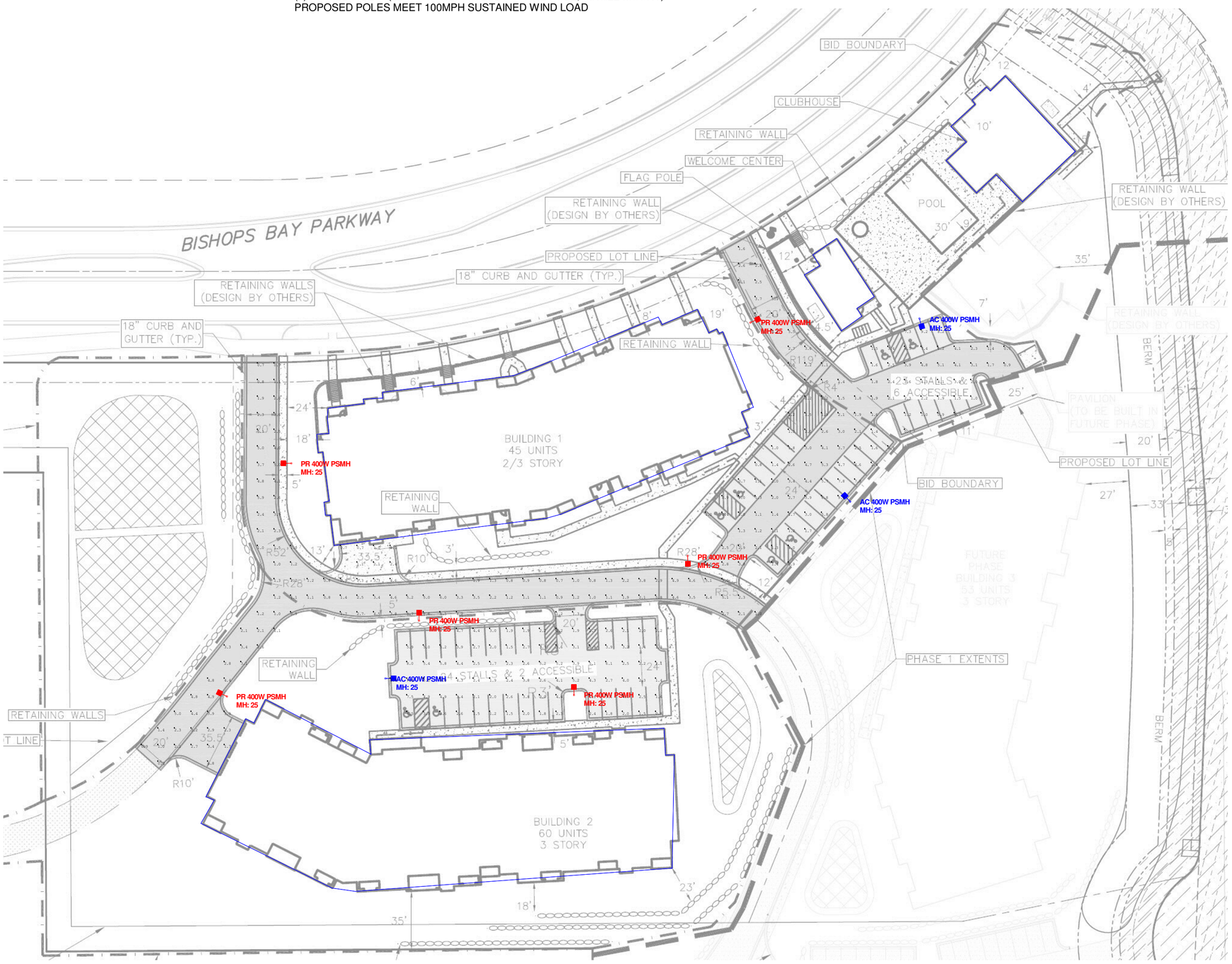
RUUD LIGHTING DIRECT

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description
	6	PR 400W PSMH	SINGLE	40000	0.750	2700	PR2640-M
	3	AC 400W PSMH	SINGLE	40000	0.750	1350	AC2640-M

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
Paved Areas	2.87	9.4	0.7	4.10	13.43

FIXTURE MOUNTING HEIGHTS:
POLE MOUNTED - 25' AFG (22' POLE + 3' BASE)

ADDITIONAL EQUIPMENT REQUIRED:
(9) PS4S22C1BZ (22' x 4" x 0.125" STEEL SQUARE POLE, SINGLE MOUNT)
PROPOSED POLES MEET 100MPH SUSTAINED WIND LOAD



0 100' 200'

RUUD LIGHTING DIRECT
9201 Washington Ave
Racine, WI 53406
PH: (800) 236-7000
FX: (800) 236-7500
www.ruudlightingdirect.com

Date:4/24/2015 | Scale: 1"=50' | Layout by: JACOB EDLER

Project Name: BISHOP'S BAY BACK NINE RESIDENCES | Customer No: 73519

Filename: 150424EN1JEE.AGI

Footcandles calculated at grade using mean lumen values

Illumination results shown on this lighting design are based on project parameters provided to Ruud Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.

From: Rachel Neill <rachel.neill@nordicwi.com>
Date: April 29, 2015 at 11:09:45 AM CDT
To: "joep@aesindustrial.com" <joep@aesindustrial.com>
Subject: Letter

To Whom It May Concern:

When I came out to the field that is now Bishops Bay, I was sold a vision. A vision of parks, wooded trails, and privacy. When I sat down with TWALL to sign on my lot, I asked, "Do you really think all of this will happen?" The response was, "Yes" – this will be a great place to live. In the past year and a half, it has been anything but. First, Terrance Wall came back to TWALL replacing the President with a promise to make sure the vision happened. Our park never happened, yet 3 huge imposing apartment buildings did. These apartments were hidden from us when we were sold our lot, it was absolutely not clear that I would be paying over half a million dollars for a home that would have huge apartment buildings looming in the entranceway. Now, we can expect over 130 addition units and a club house? I think there will be more apartments than homes. There will remain one exit out of Bishops Bay onto Q. Already in the morning it can take me 10 minutes to make a left turn, I can't imagine the addition of more working people. Our home values will plummet. The traffic will be unbearable. Worst of all, I don't feel like I had an informed choice in this matter. I've listed my home, along with several others in the neighborhood, as a result of this proposed plans. Middleton won't be better for allowing the apartments to be built. It seems the city doesn't care because our children won't be clogging up the schools, yet Middleton will still get some of our property taxes. How would you feel if this happened to you and your home? Why has a traffic study not been done? I'd encourage anyone in this room to sit on Highway Q by M during peak hours.

Thank you,

Rachel Neill

Rachel Neill
VP Candidate Relations
O: 608.268.6900 | C: 608.609.5300

Nordic
740 Regent Street, Suite 400 | Madison, WI 53715
website | linkedin | facebook | google+ | twitter
News: Nordic #1 in KLAS again

Eileen Kelley

From: Joe Pichette <joep@aesindustrial.com>
Sent: Tuesday, May 12, 2015 4:31 PM
To: Eileen Kelley; Abby Attoun
Subject: FW: T Wall apartments

Hello Tom,

At the last joint planning meeting Mr. Wall was given plenty of time to discuss his apartment complex, while residents of Middleton and Westport had to sit and listen without any chance to give rebuttal or even express our concerns regarding the development. We would like a few minutes for each of us to discuss and present our concerns. We would appreciate the Commission's consideration for this request.

While I don't agree with the apartment development, and feel it was not planned for the area, it appears Middleton Planning wants this development. Should this terrible use of the land be approved, we ask that the 300' buffer between the buildings and our homes along Briggs Road be protected from any future development of any kind. We also ask that the trees that are on the 300' buffer be protected, regardless of type, as the adjoining property has what many would consider invasive, and removing such would mostly destroy the screening we have from the development. We also ask that the developer should not sell the property to others for potential development, that the land clearly be described as undeveloped land and maintained as a wildlife corridor or park space. We also ask that the developer is not allowed to put in a large parking lot in this area.

We also ask that the when considering the SIP, the developer change the outside of the buildings from the very unattractive "tenement" look to something more in line with the Steve Brown "Brownstone" building on Old Sauk Road. Use of natural stone and some brick will allow the buildings to blend in better with the natural area and be less of an eyesore (such as those the developer placed along Hwy 12 in Middleton). The bright colors (and multi colors) are very "in your face," and we would prefer something more natural looking. The stone will also help maintain the noise to a minimum and keep the natural area we live in a bit more preserved. I am very familiar with Hardi Plank that the developer plans to use. We actually sued James Hardi, the manufacturer, last year regarding the poor quality of this product. I don't think the few requests we have asked for is too much to ask, considering we are having these buildings forced into our area with considerable objection from residents in Westport, Northlake, and his own residents in The Community of Bishops Bay.

I don't want this to be taken as support for the development, as we oppose any type of large apartment buildings on this parcel of land. We are simply aware that Middleton Planning Commission made up its mind long ago that this is what they wanted, regardless of the concerns of the property owners directly impacted by the decisions of those who will not experience any of the negative impact. I still ask, what happened to the planned senior areas in the development? I believe seniors would rather be closer to Middleton and what it has to offer rather than being further away. At the last meeting the developer mentioned the senior development was not possible because of ADA issues. Apartment buildings require exactly the same ADA compliance as a senior-only development. It would appear that a good solution would be for these apartment buildings to be senior-only apartments, much like those in Waunakee. The developer also mentioned banks were not funding condo developments. This is not true; a condo project is currently being built in Southbridge in Waunakee.

Lastly, we request a TIA be completed prior to voting on this development. The study completed in 2010 did not take into account the current change to the development. The apartment buildings at the entrance will have a significant impact on the traffic study as most of the apartment dwellers will be leaving and returning at times of day with highest traffic impact versus the senior housing planned for this area. I also encourage the members of the Commission to study

the left turn lane leaving the development onto Hwy Q. I believe only 6 cars can be staged for a left-hand turn. I am not sure how you plan to handle two apartment complexes with driveways a very short distance from Hwy Q and cars trying to access Hwy Q at peak times but that is not an issue of concern for us.

We look forward to the opportunity to discuss this with the joint planning commission.

Joe Pichette
6150 Briggs Road

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