

Middleton Westport Joint Zoning Committee Agenda

3/28/2018 5:30 PM

To be Held in Council Chambers at City Hall
7426 Hubbard Avenue, Middleton WI, 53562

Posted on the City's web site at meetings.cityofmiddleton.us/

Roll Call

Public Hearing

Approval of Minutes

- 1.) Approve Minutes of 2/22/18

Agenda Items

- 1.) Proposed General Implementation Plan (GIP) Amendment, The Community of Bishops Bay, The Back Nine Neighborhood, Increased Density (Amending Map #3) and Proposed Notre Dame Project (PC 2189a and 2508)

Adjournment

Posted: 3/23/18, 9:30 am

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at this meeting to gather information; however, no action will be taken by any governmental body at this meeting other than the governmental body specifically referenced in this notice.

Any person who has a qualifying disability as defined by the American With Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format must contact the City Administrator at (608) 821-8350, 7426 Hubbard Ave., Middleton, WI at least 24 hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

MINUTES
MIDDLETON/WESTPORT JOINT ZONING COMMITTEE
THURSDAY FEBRUARY 22, 2018 5:30 pm

PRESENT: Dean Grosskopf, Ken Sipsma and Cyndi Kennedy, Town of Westport; Dennis Dorn, City of Middleton

ABSENT: Kurt Paulsen, Leif Hubbard, City of Middleton

ALSO PRESENT: Eileen Kelley, Tom Wilson

1. Call to Order

Chair Dorn called the meeting to order at 5:53 p.m.

2. Approve Minutes of 12/14/17

Moved by Grosskopf, seconded by Sipsma, to approve the minutes of 12/14/17. Motion carried 4-0.

3. Concept Review, Notre Dame Village at The Back Nine, The Community of Bishops Bay, Lot 4 of CSM 14030 (PC 2508)

Staff distributed a memo with items that had been submitted after the meeting packet was mailed both summarized and attached. The items include:

- Proposed revised site plan from the applicant
- Memo from Terrence Wall dated 2-19-18
- Email from the Fire District
- Letter and plat copy from the developer of Callaway Ct.

Grosskopf stated that although he likes this revised plan better than the original proposal, he still thinks this is too much development on this lot that was shown as parking and tree easement in the Specific Implementation Plan. Although no action was taken, the consensus of the Joint Committee was: there is no compelling reason for the change; the proposed change is not consistent with the approved Specific Implementation Plan; this could be precedent setting; and the access to the site is difficult.

4. Adjourn

Moved by Sipsma, seconded by Grosskopf, to adjourn. Motion carried 4-0, and the meeting adjourned at 6:26 p.m.

EILEEN KELLEY

NOTICE OF PUBLIC HEARING REQUEST FOR AMENDMENT of GENERAL IMPLEMENTATION PLAN

To Whom It May Concern:

At a meeting of the Middleton Plan Commission to be held on **Tuesday, November 14, 2017 at 7:05 pm**, at Middleton City Hall, 7426 Hubbard Ave., Middleton, the following matter will be heard:

An application by **The Community of Bishops Bay, LLC** requesting an amendment to the Community of Bishops Bay General Implementation Plan (GIP) for property legally described as follows (which is the Back Nine Neighborhood):

Lots 1 and 2, Certified Survey Map No. 5690, recorded in Volume 26 Of Certified Surveys, pages 249-250 as Document No. 2115682, part of Lot 2, Certified Survey Map No. 2833, recorded In Volume 11 of Certified Surveys, pages 173 - 175 as Document No. 1573531 and other lands, all being located in part of the SW 1/4, NW 1/4 and NE 1/4 of the SE 1/4 and also part of the SW 1/4 and SE 1/4 of the NE 1/4 of Section 31, Township 8 North, Range 9 East, in the City Of Middleton, Dane County, Wisconsin, described as follows:

Commencing at the South Quarter Corner of said Section 31; thence N 00°22'14" W, 1442.72 feet along the West line of the said SE 1/4; thence N 89°34'57" E, 77.86 feet to the intersection with the Easterly right-of-way of County Trunk Highway "Q", being the southwest corner of Lot 1, Dane County Certified Survey Map No. 13142 and the Point of Beginning; thence N 89°34'57" E, 270.01 feet along the south line of said Lot 1; thence N 32°51'37" E, 435.18 feet along an easterly side of said Lot 1; thence N 09°40'55" E, 571.29 feet along an easterly side of said Lot 1; thence N 02°47'04" W, 200.73 feet along an easterly side of said Lot 1; thence N 28°59'02" W, 86.36 feet along an easterly side of said Lot 1; thence N 89°55'00" W, 556.00 feet along the North line of the said NW 1/4 of the SE 1/4 of Section 31; thence N 00°16'00" E, 10.65 feet along the said Easterly right-of-way of County Trunk Highway "Q"; thence S 89°57'36" E, 737.85 feet along the south line of Dane County Certified Survey Map Number 2833; thence S 00°21'32" E, 2.50 feet; thence N 89°38'28" E, 110.00 feet; thence N 00°21'32" W, 2.31 feet; thence N 89°38'28" E, 146.00 feet; thence N 00°21'32" W, 14.67 feet; thence N 89°38'28" E, 95.00 feet; thence N 00°21'32" W, 13.89 feet; thence N 89°38'28" E, 56.00 feet; thence N 69°56'05" E, 152.19 feet; thence N 71°57'15" E, 72.84 feet; thence N 76°58'44" E, 72.15 feet; thence S 09°19'09" E, 92.49 feet; thence S 11°10'51" E, 56.00 feet; thence S 78°49'09" W, 2.28 feet; thence S 11°10'51" E, 92.87 feet; thence S 76°39'18" W, 40.57 feet; thence S 26°55'01" E, 175.00 feet; thence S 63°04'59" W, 16.75 feet; thence S 26°55'01" E, 121.31 feet; thence S 68°08'48" W, 39.75 feet; thence S 58°22'08" W, 160.55 feet; thence S 63°04'59" W, 344.89 feet; thence S 00°23'42" E, 681.13 feet along the west side of lands described Document No. 2683374 and corrected in Document No. 2771426; thence S 89°54'30" E, 13.39 feet along the north line of lands described in Quit Claim Deed as Document No. 4419456; thence S 00°25'46" E, 629.65 feet along the east line of said lands described in Document No. 4419456; thence N 89°53'57" W, 583.11 feet along the south line of said lands described in Document No. 4419456 also being the south line of Lot 2, Dane County Certified Survey Map Number 5690 (C.S.M. No. 5690); thence N 00°24'01" W, 277.53 feet along a westerly line of said Lot 2, C.S.M. No. 5690; thence S 89°39'51" W, 328.90 feet along a southerly line of Lot 1, said C.S.M. No. 5690; thence N 00°22'53" W, 288.48 feet along a westerly line of said Lot 1, C.S.M. No. 5690; thence N 89°54'30" W, 167.57 feet along a southerly line of said Lot 1, C.S.M. No. 5690; thence N 00°27'19" W, 179.85 feet along the said Easterly right-of-way of County Trunk Highway "Q" to the Point of Beginning.

And Also INCLUDING, Part of Lot 2, Certified Survey Map No. 2833, recorded In Volume 11 of Certified Surveys, pages 173 - 175 as Document No. 1573531 and other lands, all being located in part of the NE 1/4 of the SE 1/4 and also part of the SW 1/4 and SE 1/4 of the NE 1/4 of Section 31, Township 8 North, Range 9 East, in the City of Middleton, Dane County, Wisconsin, described as follows:

Commencing at the South Quarter Corner of said Section 31; thence N 00°22'14" W, 2650.95 feet along the West line of the said SE 1/4; thence S 89°55'00" E, 80.28 feet to the intersection with the easterly right-of-way of County Trunk Highway "Q" also being the northwest corner of Dane County Certified Survey Map No. 13142, recorded in Vol. 84 of Certified Surveys, pages 198-201 as Document No. 4780454; thence N 00°16'00" E, 10.65 feet along the said easterly right-of-way of County Trunk Highway "Q"; thence S 89°57'36" E, 627.85 feet along the north line of Outlot 4, The Community of Bishops Bay, The Back Nine - Phase 1 to the Point of Beginning; thence N00° 21' 32"W, 160.43 feet; thence N89° 38' 28"E, 110.00 feet; thence N00° 21' 32"W, 166.05 feet; thence N33° 26' 47"E, 201.21 feet; thence N57° 50' 29"E, 113.91 feet; thence N59° 23' 22"E, 100.00 feet; thence N61° 00' 24"E, 114.62 feet; thence N71° 46' 42"E, 144.47 feet; thence S78° 56' 54"E, 145.66 feet; thence S55° 27' 31"E, 143.12 feet; thence S30° 12' 44"E, 92.12 feet; thence S36° 26' 38"E, 96.77 feet; thence S74° 23' 37"E, 76.92 feet; thence S20° 18' 08"W, 150.00 feet; thence S84° 06' 29"E, 12.36 feet; thence S05° 53' 31"W, 56.00 feet; thence S09° 19' 09"E, 231.46 feet; S63° 04' 59"W, 17.72 feet; thence S26° 55' 01"E, 110.00 feet; thence S25° 37' 10"E, 50.01 feet; thence S26° 55' 01"E, 130.00 feet; thence S63° 04' 59"W, 192.96 feet; thence S68° 08' 48"W, 98.42 feet; thence N26° 55' 01"W, 121.31 feet along an easterly line of said plat of The Community of Bishops Bay, The Back Nine - Phase 1; all of the following courses being along easterly and northerly sides of the said plat of The Community of Bishops Bay, The Back Nine - Phase 1; thence N63° 04' 59"E, 16.75 feet; thence N26° 55' 01"W, 175.00 feet; thence N76° 39' 18"E, 40.57 feet; thence N11° 10' 51"W, 92.87 feet; thence N78° 49' 09"E, 2.28 feet; thence N11° 10' 51"W, 56.00 feet; thence N09° 19' 09"W, 92.49 feet; thence S76° 58' 44"W, 72.15 feet; thence S71° 57' 15"W, 72.84 feet; thence S69° 56' 05"W, 152.19 feet; thence S89° 38' 28"W, 56.00 feet; thence S00° 21' 32"E, 13.89 feet; thence S89° 38' 28"W, 95.00 feet; thence S00° 21' 32"E, 14.67 feet; thence S89° 38' 28"W, 146.00 feet; thence S00° 21' 32"E, 2.31 feet; thence S89° 38' 28"W, 110.00 feet; thence N00° 21' 32"W, 2.50 feet; thence N89° 57' 36"W, 110.00 feet to the Point of Beginning.

And Also INCLUDING, Part of Lot 2, Certified Survey Map No. 2833, recorded in Volume 11 of Certified Surveys, Pages 173-175, as Document No. 1573531 and Other Lands, all being located in part of the NE 1/4 of the NE 1/4, the SW 1/4 of the NE 1/4, the SE 1/4 of the NE 1/4, the NE 1/4 of the SE 1/4 of Section 31 and also part of the NW 1/4 of the NW 1/4 and the SW 1/4 of the NW 1/4 of Section 32, All in Township 8 North

Range 9 East, City Of Middleton, Dane County, Wisconsin, described as follows:

Commencing at the South Quarter Corner of said Section 31; thence N 00°22'14" W, 2650.95 feet along the North-South quarter line of said Section 31; thence S 89°55'00" E, 80.28 feet to the intersection with the easterly right-of-way of County Trunk Highway "Q" also being the northwest corner of Dane County Certified Survey Map No. 13142, recorded in Volume 84 of Certified Surveys, Pages 198-201, as Document No. 4780454; thence N 00°16'00" E, 10.65 feet along said easterly right-of-way of County Trunk Highway "Q"; thence S 89°57'36" E, 627.85 feet along the north line of Outlot 4, The Community of Bishops Bay, The Back Nine - Phase 1 to the intersection with the west right-of-way of Bishops Bay Parkway; thence N 00°21'32" W, 160.43 feet along said west right-of-way; thence N 89°38'28" E, 110.00 feet to the intersection with the west line of Lot 46, The Community of Bishops Bay, The Back Nine - Phase 2; thence N 00°21'32" W, 166.05 feet along the west line of Lot 46 and Lot 47, The Community of Bishops Bay, The Back Nine - Phase 2 to the Point of Beginning; thence N 00°21'32" W, 236.12 feet to a point of curvature; thence Northeasterly 165.30 feet along the arc of a curve to the right, having a radius of 984.00 feet and a chord bearing N 04°27'12" E, 165.10 feet; thence N 59°23'22" E, 317.08 feet; thence N 71°46'42" E, 160.34 feet; thence N 90°00'00" E, 234.65 feet; thence S 55°27'31" E, 288.92 feet; thence N 90°00'00" E, 272.98 feet; thence N 76°06'05" E, 225.16 feet; thence N 72°15'15" E, 280.00 feet; thence N 18°58'39" W, 182.82 feet; thence N 51°28'33" E, 105.19 feet; thence N 25°49'55" W, 180.24 feet; thence N 02°22'39" E, 359.05 feet; thence N 43°54'39" W, 241.75 feet; thence N 66°33'17" E, 510.00 feet; thence S 21°54'47" E, 65.56 feet; thence S 31°58'55" W, 250.69 feet; thence S 69°38'07" W, 154.46 feet; thence S 02°22'39" W, 399.51 feet; thence S 25°49'55" E, 73.58 feet; thence S 48°43'38" E, 108.12 feet; thence S 01°08'21" E, 90.99 feet; thence S 45°52'45" E, 60.71 feet; thence N 85°12'01" E, 83.25 feet; thence S 21°49'13" E, 45.07 feet; thence S 73°44'09" W, 28.36 feet; thence S 61°40'31" W, 133.66 feet; thence S 72°15'15" W, 88.44 feet; thence S 17°44'45" E, 165.00 feet; thence N 72°15'15" E, 5.45 feet; thence S 17°44'45" E, 56.00 feet; thence S 18°36'53" E, 92.98 feet; thence S 03°58'36" E, 10.12 feet; thence S 05°01'51" W, 121.00 feet; thence S 84°58'09" E, 14.53 feet; thence S 05°01'51" W, 56.00 feet; thence S 07°40'45" W, 239.83 feet; thence S 15°19'55" W, 50.04 feet; thence S 02°56'27" E, 167.59 feet; thence N 85°44'17" W, 25.37 feet; thence S 45°20'21" W, 75.94 feet; thence S 63°34'54" W, 278.19 feet; thence S 85°26'55" W, 173.94 feet; thence S 76°04'50" W, 83.16 feet; thence S 63°04'59" W, 104.28 feet to the southeast corner of Lot 63, The Community of Bishops Bay, The Back Nine - Phase 2; all of the following courses being along the easterly and northerly sides of said plat of The Community of Bishops Bay, The Back Nine - Phase 2; thence N 26°55'01" W, 130.00 feet; thence N 25°37'10" W, 50.01 feet; thence N 26°55'01" W, 110.00 feet; thence N 63°04'59" E, 17.72 feet; thence N 09°19'09" W, 231.46 feet; thence N 05°53'31" E, 56.00 feet; thence N 84°06'29" W, 12.36 feet; thence N 20°18'08" E, 150.00 feet; thence N 74°23'37" W, 76.92 feet; thence N 36°26'38" W, 96.77 feet; thence N 30°12'44" W, 92.12 feet; thence N 55°27'31" W, 143.12 feet; thence N 78°56'54" W, 145.66 feet; thence S 71°46'42" W, 144.47 feet; thence S 61°00'24" W, 114.62 feet; thence S 59°23'22" W, 100.00 feet; thence S 57°50'29" W, 113.91 feet; thence S 33°26'47" W, 201.21 feet to the Point of Beginning.

And Also INCLUDING, Part of the SE 1/4 of the NE 1/4 and the NE 1/4 of the SE 1/4 of Section 31 and also part of the SW 1/4 of the NW 1/4 and the NW 1/4 of the SW 1/4 of Section 32, All in Township 8 North, Range 9 East, City Of Middleton, Dane County, Wisconsin, described as follows:

Commencing at the East Quarter Corner of said Section 31; thence N89°55'00"W, 83.51 feet along the east-west quarter line of said Section 31 to the intersection with the east line of Lot 111 of The Community of Bishops Bay, The Back Nine - Phase 3, recorded in Volume 60-036B of Plats of Dane County, on Pages 180-183, as Document Number 5162100; thence S 02°56'27" E, 2.93 feet along the east line of said Lot 111 to the southeast corner thereof and the Point of Beginning; the following fourteen courses being along the east lines and the north lines of said plat of The Community of Bishops Bay, The Back Nine - Phase 3; thence N 02°56'27" W, 167.59 feet; thence N 15°19'55" E, 50.04 feet; thence N 07°40'45" E, 239.83 feet; thence N 05°01'51" E, 56.00 feet; thence N 84°58'09" W, 14.53 feet; thence N 05°01'51" E, 121.00 feet; thence N 03°58'36" W, 10.12 feet; thence N 18°36'53" W, 92.98 feet; thence N 17°44'45" W, 56.00 feet; thence S 72°15'15" W, 5.45 feet; thence N 17°44'45" W, 165.00 feet; thence N 72°15'15" E, 88.44 feet; thence N 61°40'31" E, 133.66 feet; thence N 73°44'09" E, 186.80 feet; thence S 77°18'50" E, 168.79 feet; thence S 67°52'50" E, 111.61 feet; thence S 29°35'40" E, 565.65 feet; thence S 25°41'37" E, 180.43 feet; thence S 12°17'55" W, 185.41 feet; thence S 39°26'45" W, 185.41 feet; thence S 71°11'21" W, 206.66 feet; thence N 85°44'17" W, 590.37 feet to the Point of Beginning.

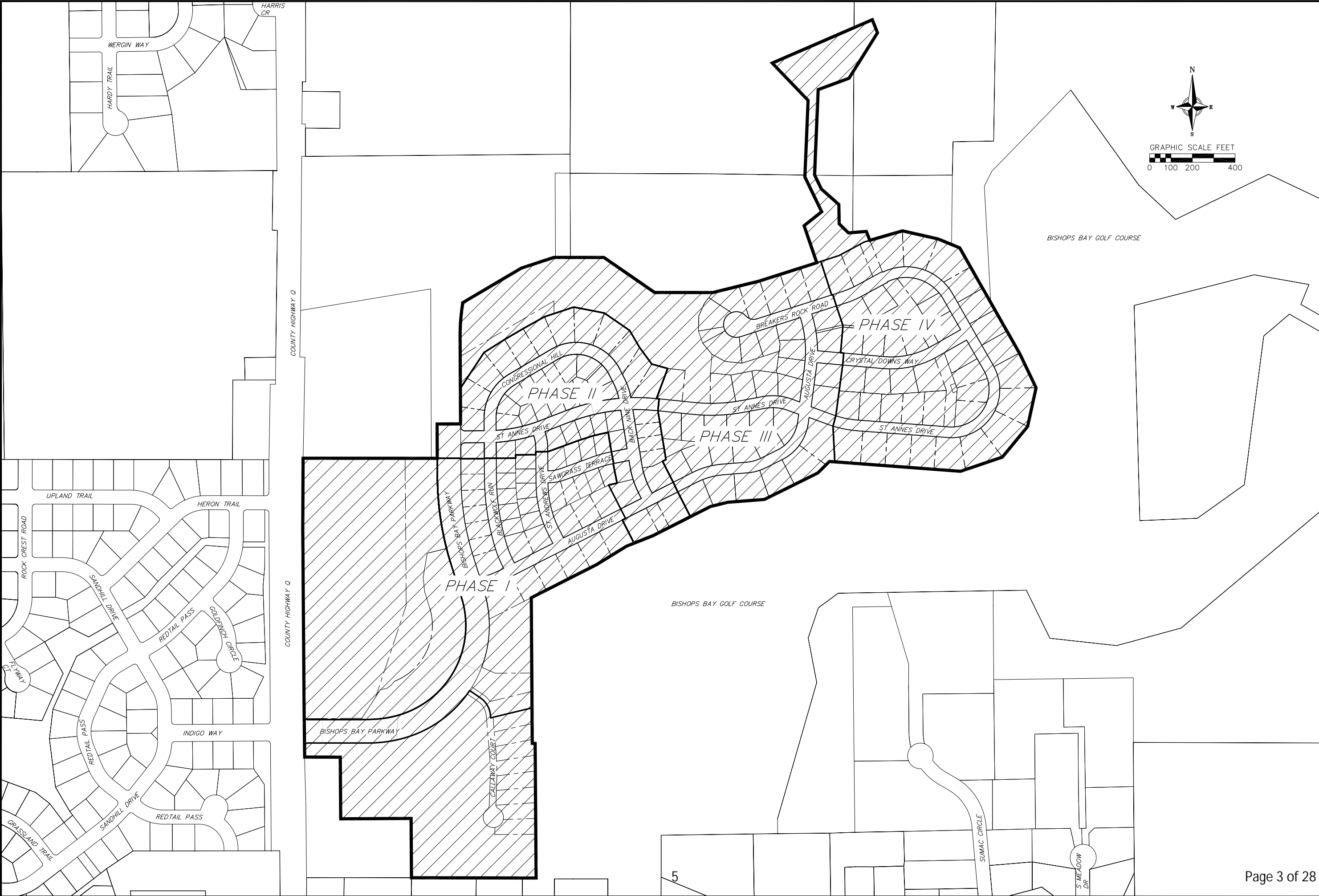
The purpose of the proposed GIP amendment is to change Map #3 to add approximately 7 acres of land that was recently dedicated to the City for parkland to the neighborhood boundary for the Back Nine neighborhood. This amendment would effectively allow an additional nine (9) units to be built in the Back Nine neighborhood, bringing the total to 342, for a density of 3.90 units per acre. The current approved density is 4.2 units per acre, with a total unit count of 333. The total number of residential units approved for the overall Community of Bishops Bay project is 2,950 units, and that is not proposed to increase.


At the hearing, all interested persons will have an opportunity to be heard, and final action will be considered.

More information about this request is available at City Hall during normal business hours, 7:45 am to 4:30 pm, Monday through Friday. Ph. 821-8370 E-mail: ekelley@cityofmiddleton.us.

EILEEN KELLEY
City Planning Director and Zoning Administrator

Publish: 10-26-17
11-02-17





vierbicher
planners | engineers | advisors

Phone: (800) 261-3898

Vicinity Exhibit

The Community of Bishops Bay - The Back Nine
City of Middleton
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

SCALE
AS SHOWN

DATE
10-20-2017

DRAFTER
DEHL

CHECKED
MSCH

PROJECT NO.
130001

1

1



OFFICE OF PLANNING & ZONING ADMINISTRATION

CITY OF MIDDLETON
7426 HUBBARD AVENUE
MIDDLETON, WI 53562-3118

PH 608.821.8370 FAX 608.827.1080
E-MAIL: ekelley@ci.middleton.wi.us
WEB: www.cityofmiddleton.us

TO: Plan Commission members

FROM: Eileen M. Kelley, AICP, City Planning Director

RE: Community of Bishops Bay, Back Nine, Proposed Map #3 General Implementation Plan (GIP) Amendment and Proposed Notre Dame Project

DATE: March 13, 2018

Items on the March 13, 2018 Plan Commission agenda

The proposed GIP amendment (public hearing held by the Plan Commission in November 2017) would increase the boundary of the Back Nine neighborhood to include approximately 7 acres of parkland that has been dedicated as part of the platting for the Back Nine neighborhood. The General Implementation Plan for the project states that "Densities were calculated based on neighborhood boundaries as shown in Map #3 (which means densities include right-of-way and some parks)." If the GIP amendment is approved, an additional 8 units would be allowed in the neighborhood, for a total of 341 units, and the overall density would be reduced from 4.2 units per acre to 3.9 units per acre.

To date, **the Plan Commission has taken no action on the proposed GIP amendment.** The Plan Commission did give concept approval (which is not binding on the City) to the proposed Notre Dame project at their meeting of September 26, 2017, with the following motion:

Moved by Paulsen, seconded by Dorn, to recommend conditional concept approval subject to resolution of all of the issues including density, water capacity, and access in the Back Nine neighborhood, and that lot 3 be rotated as suggested by Reed.

Motion carried 5-2 with Zellers and Hubbard opposed.

The two items before the Plan Commission this evening are **the request for the GIP amendment and the proposed Specific Implementation Plan for the Notre Dame project**, consisting of 4 duplex condos (total of 8 units).

History of the Back Nine/Masters Neighborhood

The Back Nine neighborhood was platted/developed in 4 phases. One phase was the Masters apartment project, which includes the clubhouse and related facilities and 163 apartments in a total of 3 apartment buildings. At the Plan Commission meeting of April 14, 2015, the Plan Commission approved the following motion:

*Following discussion, moved by Wexler, seconded by Hilbert, to conceptually approve the plan for a total of 163 units in 3 buildings, recognizing that each building will require design approval, and will need to provide sufficient parking as determined by the City, **and this will***

complete the number of units allowed in the Back Nine neighborhood according to the approved zoning. This is also referred to the Middleton/Westport Joint Zoning Committee for concurrence. The certified survey map is also approved contingent on resolution of all staff recommendations and on concurrence by the Joint Committee. Motion carried 6-0.

Staff is aware that the developer feels he “removed” or “lost” a 4th building for the Masters project when the project received approval, but the number of units in the 3 approved buildings was at the maximum units/density allowed by the previously approved General Implementation Plan. It was stated at the April 14, 2015 meeting by staff that if a subsequent request to add more units was ever submitted it would be considered a rezoning request (GIP amendment). There was no mention or discussion of additional units by the developer at that time.

Middleton/Westport Joint Zoning Committee

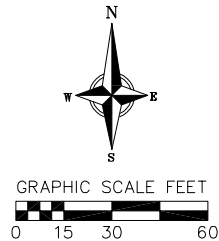
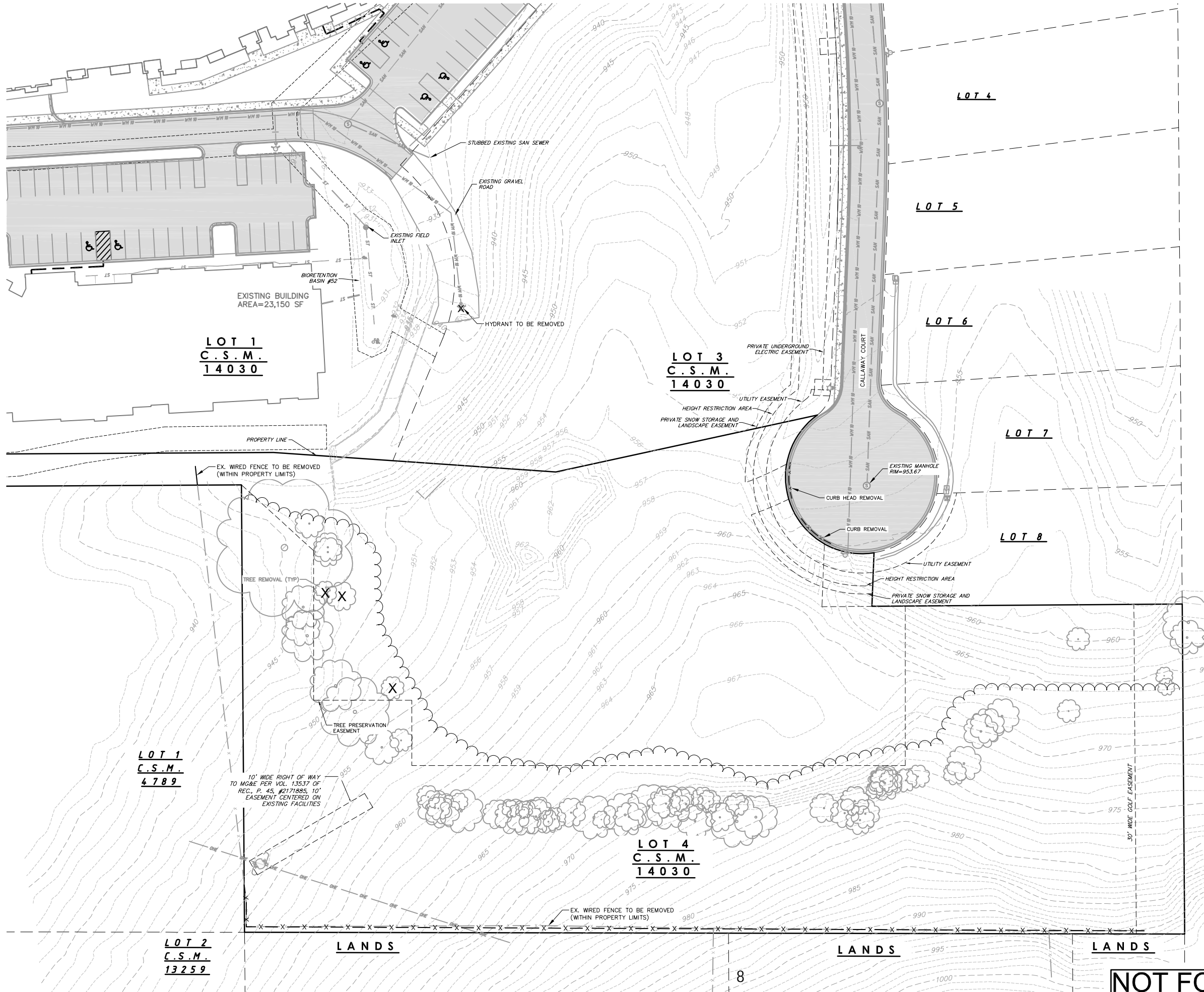
In May of 2015, the Middleton/Westport Joint Zoning Committee discussed the Masters project and below is an excerpt from the meeting minutes with the motion of approval and conditions:

Moved by Elskamp, seconded by Dorn, to concur with the City of Middleton Plan Commission approvals and conditions of approval for the Specific Implementation Plan and design review, and the Certified Survey Map (CSM) and landscape easement as revised for the Back Nine Residences.” The conditions of approval include:

- Resolution of staff comments including engineering staff review of plans dated 4/13/15.
- Provision of a landscaping plan showing additional landscaping along the southeast side of Building 2 along the terraced areas.
- The development and acceptance by the MWJZC and the PC of a tree inventory, management plan, and a permanent landscaping easement or restrictive covenant (in substantially similar form as that presented at the 5/27 JZC meeting and subject to approval by the Town and City attorneys) for the wooded area in the property southwest of the cul-de-sac of Callaway Court and verification of the tree line by the City and Town Engineers.
- Satisfaction of the conditions attached to the approval of the certified survey map (CSM).
- Submittal of updated documents with updated titles.
- Satisfaction of fire access routes as required by the Middleton Fire Department
- Compliance with all applicable standards for indoor and surface lot parking stalls
- Any other previously approved contingencies.

The Middleton/Westport Joint Zoning Committee has discussed the proposed Notre Dame project at several meetings, most recently on February 22, 2018, when they took no action but made comments including:

“There is no compelling reason for the change; the proposed change is not consistent with the approved Specific Implementation Plan; this could be precedent setting; and the access to the site is difficult.”



- EXISTING CONDITIONS LEGEND**
- 820 --- EXISTING MAJOR CONTOURS
 - 818 --- EXISTING MINOR CONTOURS
 - - - - - EXISTING PROPERTY LINE
 - - - - - EXISTING EASEMENT
 - - - - - EXISTING GRAVEL ROAD EDGE
 - x - x - EXISTING WIRE FENCE
 - ST - EXISTING STORM SEWER
 - SAN - EXISTING SANITARY SEWER
 - WM - EXISTING WATER MAIN
 - - - - - EXISTING BUILDING OUTLINE
 - - - - - EXISTING ASPHALT EDGE
 - - - - - EXISTING CONCRETE EDGE
 - [Shaded Area] EXISTING ASPHALT
 - [Patterned Area] EXISTING CONCRETE
 - [Tree Symbol] EXISTING DECIDUOUS TREE
 - [Hydrant Symbol] EXISTING HYDRANT
 - [Valve Symbol] EXISTING WATER MAIN VALVE
 - [Dot Symbol] EXISTING FIELD INLET
 - [Solid Line] PROPERTY BOUNDARY
 - [Circle with S] EXISTING SANITARY MANHOLE
 - [Square with T] EXISTING TRANSFORMER
 - [Square with P] EXISTING TELEPHONE PEDESTAL
 - [Square with E] EXISTING ELECTRIC PEDESTAL

- DEMOLITION PLAN LEGEND**
- [X-X-X-X] CURB AND GUTTER REMOVAL
 - [X-X-X-X] EXISTING WIRE FENCE REMOVAL
 - [X] HYDRANT REMOVAL
 - [Tree with X] EXISTING DECIDUOUS TREE



vierbicher
planners | engineers | advisors

Phone: (800) 261-3998

Existing Conditions and Demolition Plan

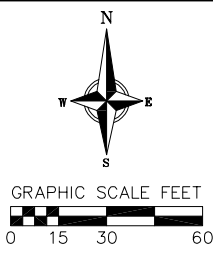
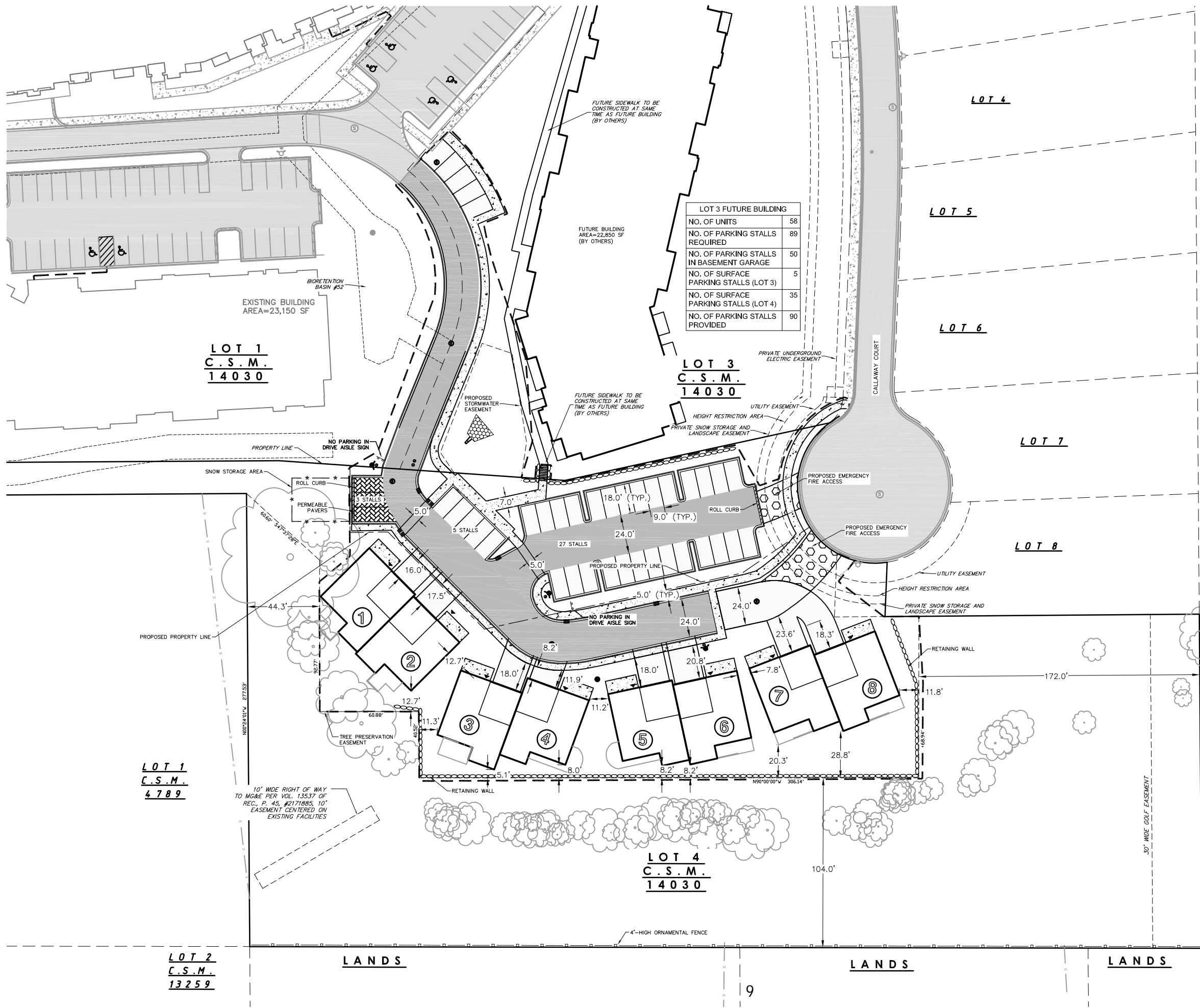
The Condo's at The Community of Bishops Bay

City of Middleton

Dane County, Wisconsin

REVISIONS		REVISIONS	REVISIONS
NO.	DATE	NO.	DATE
1	12/19/17		
CITY SUBMITTAL			
SCALE AS SHOWN			
DATE		2017-09-18	
DRAFTER		JMAH	
CHECKED		KJEN	
PROJECT NO.		170045	
SHEET		1 OF 7	
DWG. NO.		C1	

NOT FOR CONSTRUCTION



- SITE PLAN LEGEND**
- EXISTING ASPHALT
 - EXISTING CONCRETE
 - PROPOSED LIGHT-DUTY ASPHALT
 - PROPOSED HEAVY-DUTY ASPHALT
 - PROPOSED GRASSPAVE
 - TEMPORARY GRASSPAVE
 - PROPOSED CONCRETE
 - EASEMENT (TYPE LISTED)
 - EXISTING DECIDUOUS TREE
 - EXISTING WIRE FENCE
 - PARCEL BOUNDARY
 - ADJOINER PROPERTY
 - RETAINING WALL (DESIGNED BY OTHERS)
 - PROPOSED EDGE OF CONCRETE
 - PROPOSED BUILDING FOOTPRINT
 - PROPOSED CURB
 - PROPOSED ROLL CURB
 - PROPOSED SNOW STORAGE REGION
 - PROPOSED NO PARKING IN DRIVE AISLE SIGN
 - PROPOSED ORNAMENTAL FENCE
 - DISTURBED LIMITS

SQUARE FOOTAGE TABLE	
SURFACE TYPE	SF
EXISTING IMPERVIOUS SURFACE	0
PROPOSED TOTAL IMPERVIOUS (EXISTING PLUS CURRENT PROPOSAL)	46,600
EXISTING BUILDING	0
PROPOSED TOTAL BUILDING (EXISTING PLUS CURRENT PROPOSAL)	16,000
EXISTING PARKING AND PAVEMENT	0
PROPOSED TOTAL PARKING AND PAVEMENT (EXISTING PLUS CURRENT PROPOSAL)	25

NOTE: EXTENTS OF PROJECT AREA IS DEFINED AS THE INDICATED LIMITS OF DISTURBANCE SHOWN IN THE PLANS.

PARKING STALL TABLE	
NUMBER OF REQUIRED STALLS LOT 4	16*
LOT 3 OVERFLOW PARKING	35**
NUMBER OF PROPOSED STALLS	51**

NOTE: PARKING REQUIREMENT INFORMATION BASED ON CITY OF MIDDLETON "OFF-STREET PARKING AREAS SPECIFICATIONS AND STANDARDS" DOCUMENT.
* REQUIRED FOR 8 CONDOMINIUM FAMILY UNITS
** ADDITIONAL 35 SPACES FOR FUTURE BUILDING TO NORTH

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Phone: (800) 261-3998

Site Plan
The Condo's at The Community of Bishops Bay
City of Middleton
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	12/19/17	4	01/23/18
2	12/27/17	5	01/25/18
3	01/10/18	6	02/23/18

DATE
2017-09-18

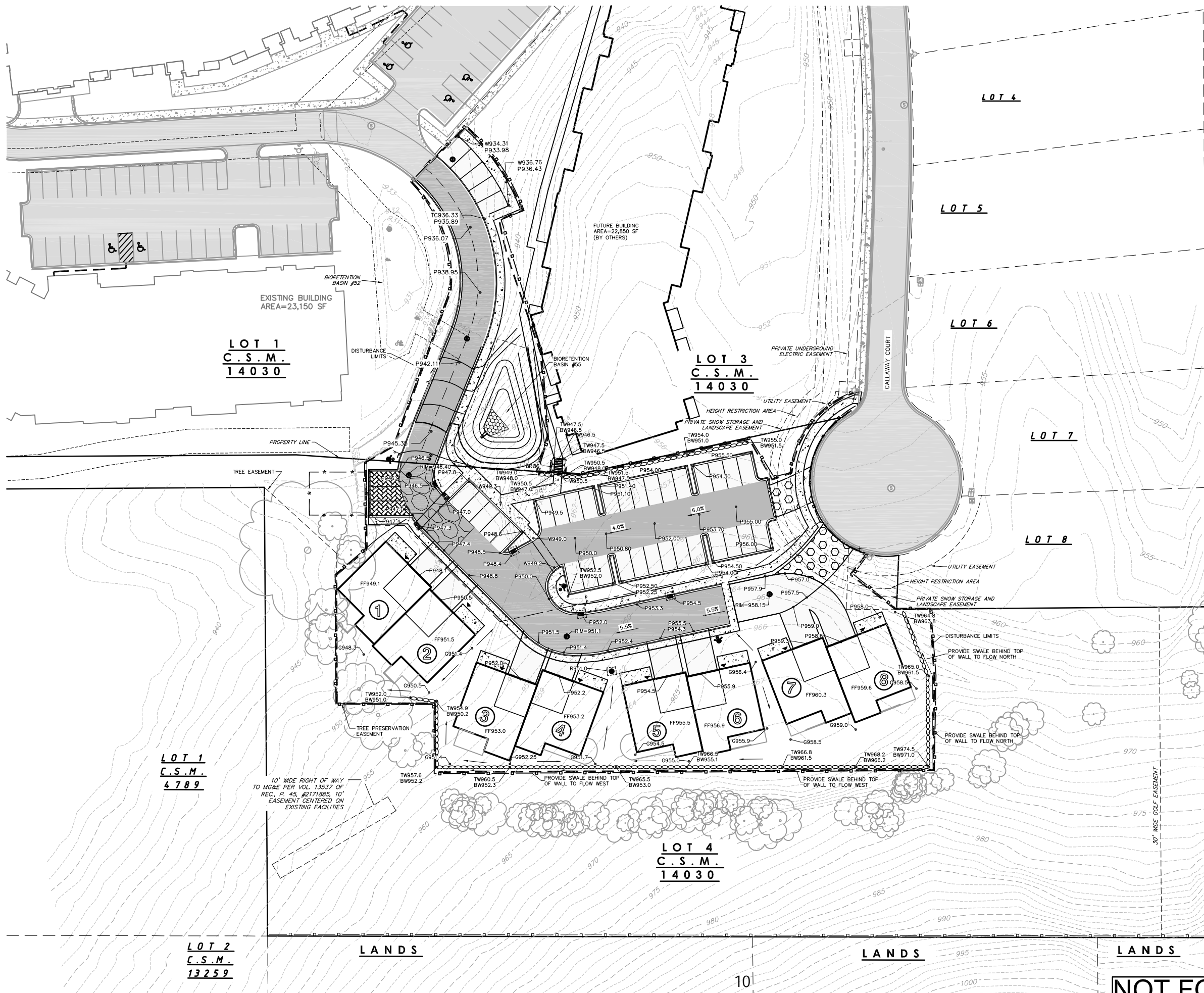
DRAFTER
JMAH

CHECKED
KJEN

PROJECT NO.
170045

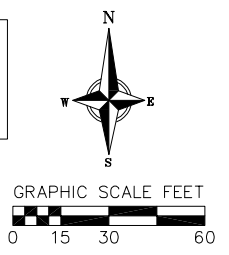
SHEET
2 OF 7

DWG. NO.
C2



ABBREVIATIONS

P	=	PAVEMENT
W	=	WALK
FF	=	FINISHED FLOOR
TW	=	TOP OF WALL
BW	=	BOTTOM OF WALL
R	=	RISER(S)



GRADING AND EROSION CONTROL LEGEND

- PROPERTY LINE
- PROPERTY SETBACK
- PARCEL BOUNDARY
- ADJOINER PROPERTY
- RETAINING WALL
- PROPOSED EDGE OF CONCRETE
- PROPOSED EDGE OF CURB
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- SILT FENCE
- DISTURBED LIMITS
- PROPOSED SPOT ELEVATIONS
- EXISTING SPOT ELEVATIONS
- INLET PROTECTION
- RIP RAP
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED SIGN
- DRAINAGE DIRECTION ARROW
- PROPOSED SLOPE ARROWS
- TRACKING PAD
- EXISTING ASPHALT
- EXISTING CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT
- PROPOSED GRASSPAVE
- PROPOSED CONCRETE

NOTE:
ADDITIONAL EROSION CONTROL MEASURES WILL
BE INSTALLED AS NEEDED.

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Grading and Erosion Control Plan
The Condo's at The Community of Bishops Bay
City of Middleton
Dane County, Wisconsin

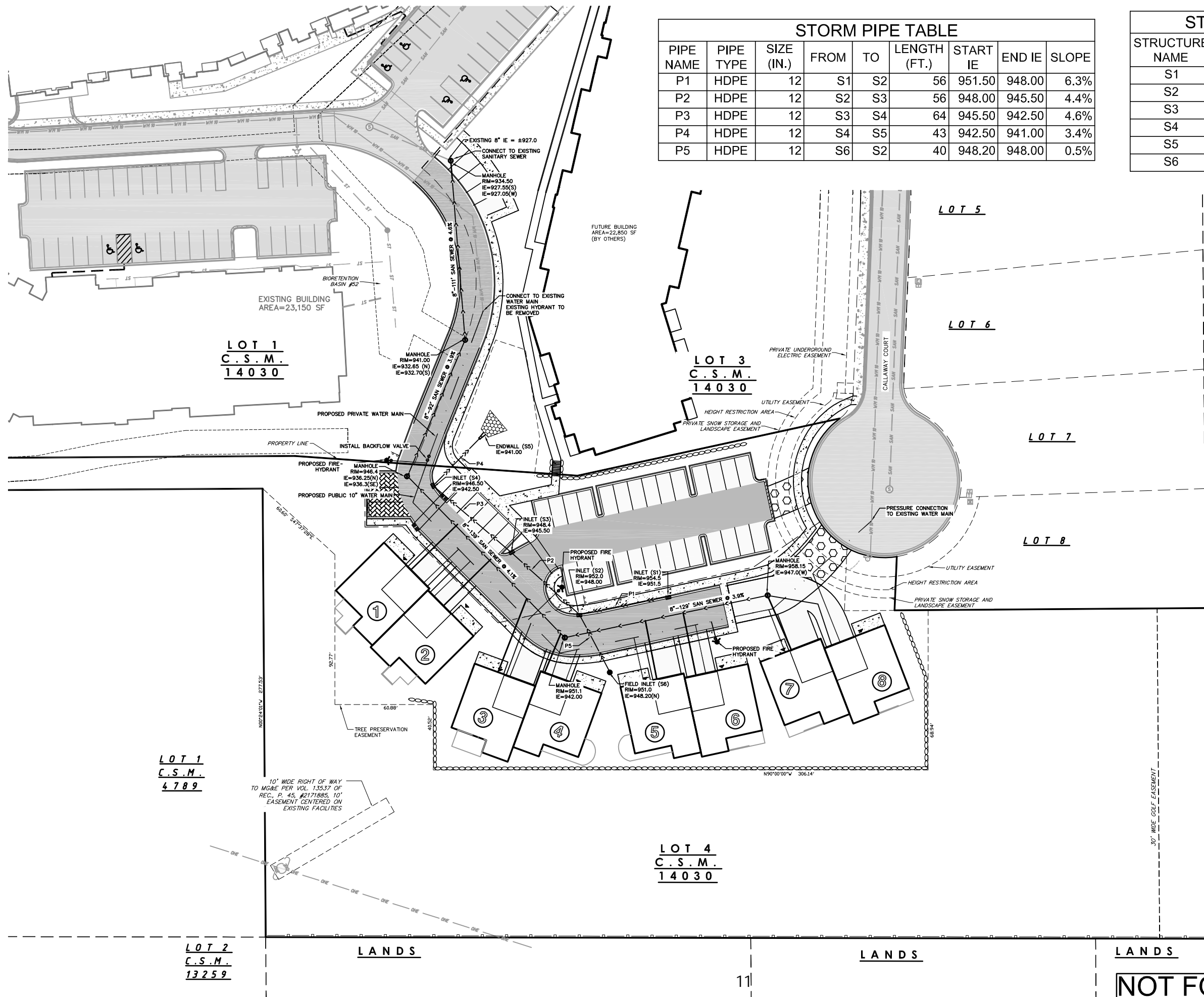
REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	12/19/17	1	12/19/17
2	12/27/17	2	12/27/17
3	1/25/18	3	1/25/18

SCALE AS SHOWN	DATE 2017-09-18
DRAFTER JMAH	CHECKED KJEN
PROJECT NO. 170045	SHEET 3 OF 7

Page 8 of 28

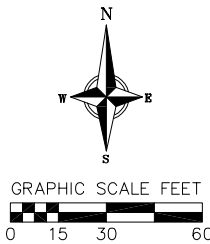
NOT FOR CONSTRUCTION

DWG. NO. **C3**
















STORM PIPE TABLE								
PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT.)	START IE	END IE	SLOPE
P1	HDPE	12	S1	S2	56	951.50	948.00	6.3%
P2	HDPE	12	S2	S3	56	948.00	945.50	4.4%
P3	HDPE	12	S3	S4	64	945.50	942.50	4.6%
P4	HDPE	12	S4	S5	43	942.50	941.00	3.4%
P5	HDPE	12	S6	S2	40	948.20	948.00	0.5%

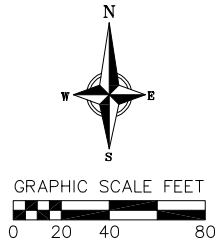
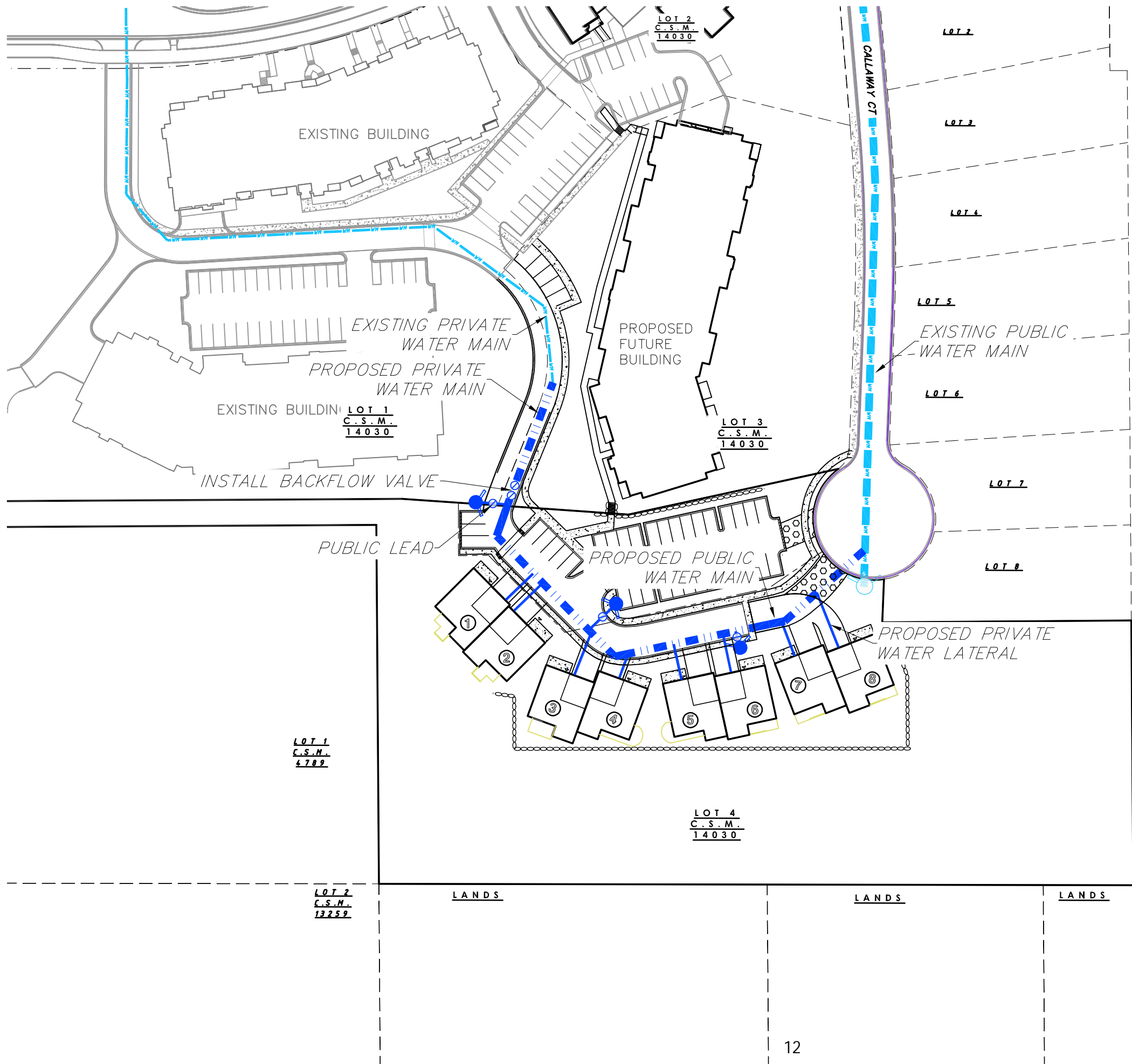
STORM STRUCTURE TABLE			
STRUCTURE NAME	STRUCTURE TYPE	RIM / PAVEMENT	INVERT
S1	2X3 CURB INLET	954.5	951.50
S2	2X3 CURB INLET	952.0	948.00
S3	2X3 CURB INLET	948.4	945.50
S4	2X3 CURB INLET	946.5	942.50
S5	ENDWALL	-	941.00
S6	FIELD INLET	951.0	948.20



PROPOSED UTILITY LEGEND

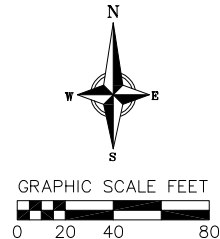
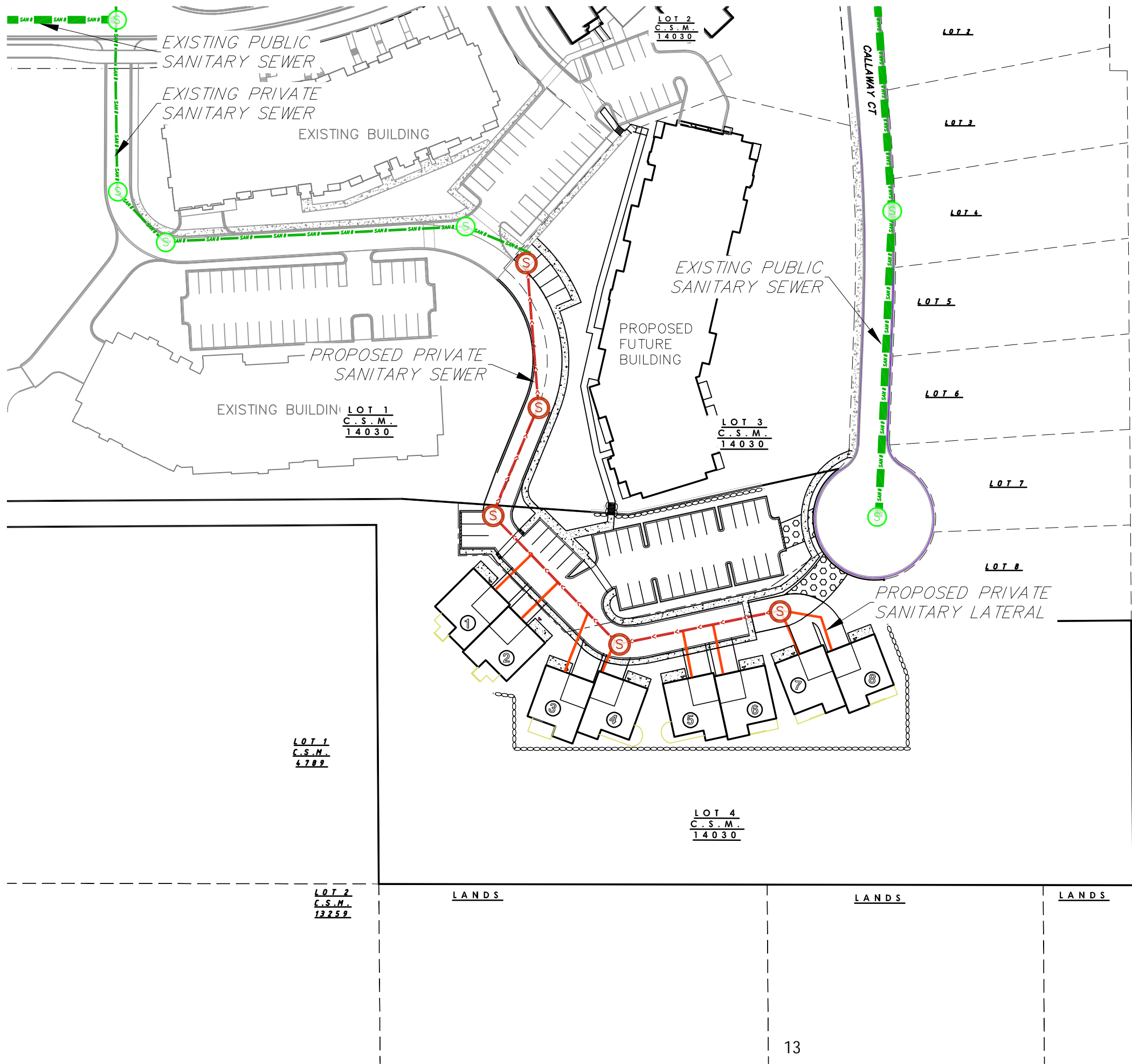
	STORM SEWER
	STORM SEWER ENDWALL
	STORM SEWER CURB INLET
	SANITARY SEWER
	SANITARY SEWER LATERAL
	SANITARY SEWER MANHOLE
	WATER MAIN
	WATER SERVICE LATERAL
	FIRE HYDRANT
	WATER VALVE
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER

SCALE AS SHOWN		REVISIONS		REVISIONS	
DATE 2017-09-18		NO.	DATE	REMARKS	
DRAFTER JMAH		1	12/19/17	CITY SUBMITTAL	
CHECKED KJEN		2	12/27/17	CITY SUBMITTAL	
PROJECT NO. 170045		3	02/23/18	REVISED PLANS	
SHEET 4 OF 7					
DWG. NO.		C4			



- UTILITY LEGEND**
- PROPOSED FIRE HYDRANT
 - WATER VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING ADJOINER PROPERTY
 - PROPOSED BUILDING OUTLINE
 - EXISTING RIGHT OF WAY
 - EXISTING PUBLIC WATER MAIN
 - EXISTING PRIVATE WATER MAIN
 - PROPOSED PUBLIC WATER MAIN
 - PROPOSED PRIVATE WATER MAIN
 - PROPOSED PRIVATE WATER LATERAL

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	12/19/17	1	CITY SUBMITTAL
2	12/27/17	2	CITY SUBMITTAL
3	02/23/18	3	REVISED PLANS
SCALE AS SHOWN			
DATE 2017-09-18			
DRAFTER JMAH			
CHECKED KJEN			
PROJECT NO. 170045			
SHEET 5 OF 7			
DWG. NO. C5			



- UTILITY LEGEND
- EXISTING SANITARY SEWER MANHOLE
 - PROPOSED SANITARY SEWER MANHOLE
 - EXISTING ADJOINER PROPERTY
 - PROPOSED BUILDING OUTLINE
 - EXISTING RIGHT OF WAY
 - EXISTING PUBLIC SANITARY SEWER
 - EXISTING PRIVATE SANITARY SEWER
 - PROPOSED PRIVATE SANITARY SEWER
 - PROPOSED PRIVATE SANITARY LATERAL

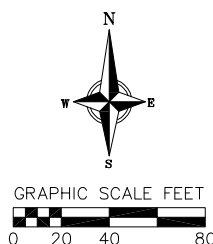
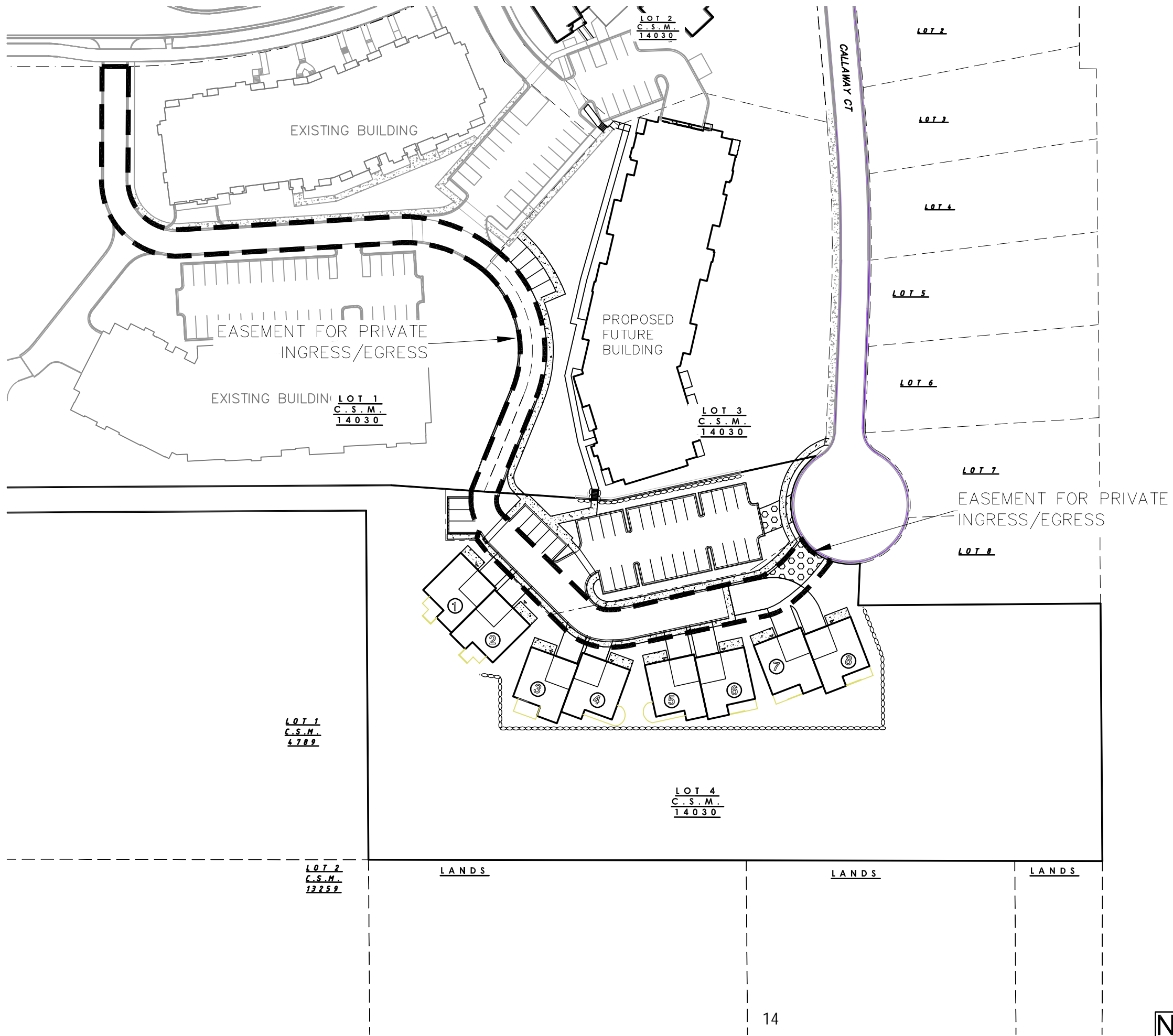


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Sanitary Main Exhibit
The Condo's at The Community of Bishops Bay
City of Middleton
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	12/19/17	1	12/19/17
2	12/27/17	2	12/27/17
3	02/23/18	3	02/23/18
SCALE AS SHOWN		REMARKS	
DATE		CITY SUBMITTAL	
2017-09-18		CITY SUBMITTAL	
DRAFTER		REVISED PLANS	
JMAH			
CHECKED			
KJEN			
PROJECT NO.			
170045			
SHEET			
6 OF 7			
DWG. NO.			
C6			

NOT FOR CONSTRUCTION



- LEGEND
- EXISTING ADJOINER PROPERTY
 - EXISTING RIGHT OF WAY
 - EASEMENT FOR PRIVATE INGRESS/EGRESS

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Access Easement Exhibit
The Condo's at The Community of Bishops Bay
City of Middleton
Dane County, Wisconsin

REVISIONS		REVISIONS		REVISIONS	
NO.	DATE	REMARKS	NO.	DATE	REMARKS
1	12/19/17	CITY SUBMITTAL			
2	12/27/17	CITY SUBMITTAL			
3	02/23/18	REVISED PLANS			
SCALE AS SHOWN					
DATE 2017-09-18					
DRAFTER JMAH					
CHECKED KJEN					
PROJECT NO. 170045					
SHEET 7 OF 7					
DWG. NO. C7					

NOT FOR CONSTRUCTION

MINUTES
MIDDLETON PLAN COMMISSION
TUESDAY MARCH 13, 2018 7:00 P.M.

PRESENT: Brar, Olson, Hubbard, Paulsen, Reed, Zellers

ABSENT: Dorn

ALSO PRESENT: Kelley, Opitz, Attoun

Chair Brar called the meeting to order at 7:03 p.m.

1. Minutes of 2-27-18

Moved by Hubbard, seconded by Paulsen, to approve the minutes of 2-27-18. Motion carried 6-0.

2. Design Review – Willy Street Co-op Façade Alteration, 6825 University Ave. (PC 2231)

Moved by Hubbard, seconded by Zellers, to give design review approval to the changes as submitted. Motion carried 6-0.

3. Public Hearing - Request for Rezoning from Office District (B-1) to Planned Development District – General Implementation Plan (PDD-GIP), Austringer Mixed Use Development, 6814, 6818, 6824 University Ave. (PC 2535)

Chair Brar opened the public hearing at 7:06 p.m.

Mark Opitz noted the staff report that was included in the meeting packet. Anthony Gray, applicant, and Marc Ott, architect for the project, presented information about the project. Although the application submitted was for 38 apartments and 2,367 sq. ft. of commercial use, the developer is now requesting 39 units. Staff noted that the additional unit would require another public hearing.

Greg Niesen, owner of the building at 6810 University Ave., adjacent to the project on the east, said he feels the front setback for the proposed new building should be set back at least as far as the 30 foot front setback required in a B-1 zoning district. He is not opposed to the development he is just concerned about the size of the building and the traffic flow.

Staff noted Michael Weidler and Moriah Vignali, 2021 Park St., submitted an email in opposition to the rezoning, and distributed a copy.

Buzz Menz, property owner at 6904 University Ave., adjacent to the development on the west, stated that he supports the project.

Yuly Shih, 2130 Wood Rd., co-owner of property at 6825 Franklin Ave., spoke in opposition to the project. She is concerned with traffic and stormwater runoff as well as the scale of the building.

Brian Bram 2130 Wood Rd., co-owner of property at 6825 Franklin Ave., registered in opposition to the project and stated concern for the height of the building.

Van Nutt, Middleton Chamber of Commerce Executive Director, said this is a good project but the building to the east will lose some visibility and perhaps there are changes to the design that could help with this visibility while also adding to the overall design of the building. He stated this is likely the first of many projects in this corridor and this project will set the tone and standard for future projects.

Sharon Brummel, 6222 Lakeview Blvd., who registered in opposition, asked if the developer had done market studies, as there are apartments available in the corridor. Anthony Gray stated that they had worked with Baker Tilly who completed a report on the feasibility.

Chair Brar closed the public hearing at 7:48 p.m.

4. Public Hearing - Request for Conditional Use Permit and Specific Implementation Plan (SIP) Modification – Middleton Gymnastics Academy, LLC, 8330 Forsythia St. (PC 2545)

Chair Brar opened the public hearing at 7:48 p.m., and there being no public comment immediately closed the hearing.

5. Public Hearing - Request for Conditional Use Permit – LYCON, Inc., 8125 University Ave. (deferred from 2/13/18) (PC 2540)

Chair Brar opened the public hearing at 7:49 p.m.

Opitz explained that the City's Zoning Board of Appeals (ZBA) held a public hearing earlier in the day to consider two zoning variances for the project—one from the minimum side setback requirement on the Industrial-zoned portion of the property, the other from the maximum height regulation on the B3-zoned portion. The ZBA granted both variances at their meeting.

G.R. Lyons, with Lycon, explained how the project will assist the business with obtaining materials, and will not increase volume of business or expand hours of operation. He said 50% to 70% of truck traffic will be eliminated on days when the trains are operating. He said the proposed project will allow the business to utilize train operations to reduce truck traffic and noise.

Kurt Paulsen stated if there is no new building for aggregate supplies, there could still be a pile of materials and that would likely generate more noise and dust.

Susan West, Common Council president, asked how much dust will be generated by the proposed project.

G.R. Lyons stated that the proposed operation is a closed system, with material that has up to a 5% moisture content, enclosed in a conveyor system, so no additional dust or noise will be generated, and the site is vacuumed each week and noise will be decreased by the project.

Bill White, consultant for the applicant, indicated that Lycon utilizes best practices in their operations.

Commission member David Reed indicated that enhancement of the proposed building will be an important consideration.

Staff had forwarded an email from an adjacent business owner, Tom Walzer, earlier in the day, in opposition to the conditional use permit, and distributed a copy at the meeting.

Chair Brar closed the public hearing at 8:08 p.m.

6. Request for Rezoning from Office District (B-1) to Planned Development District – General Implementation Plan (PDD-GIP), Austringer Mixed Use Development, 6814, 6818, 6824 University Ave. (PC 2535)

In addition to the staff report he mentioned during the public hearing portion of the meeting, Opitz stated that there had been a suggestion from a Commission member to “step back” the building to three stories at University Ave.

Zellers asked if issues like that can be worked out at the Specific Implementation Plan (SIP) stage once a General Implementation Plan (GIP) is approved. Staff indicated that the standards are set by the GIP so the issues/standards that must still be worked out at the SIP stage should be listed as conditions of any GIP approval.

Paulsen asked about parking requirements and if the number of parking stalls could be reduced given that the project is on a bus route. Anthony Gray stated that they are required to have a certain number of parking spaces by their lender, however, he is reviewing the potential for a shared car for the development in addition to a bicycle room as a part of the project.

Reed said he thinks a three story building at the street is enough, and encouraged the applicant to step back the building at the street edge.

Anthony Gray said they have used design features to make it look less imposing, and they would lose two units if they stepped the building back.

Moved by Paulsen, seconded by Zellers, to recommend approval of the General Implementation Plan and rezoning to the Common Council for a 38 unit apartment building with 2,367 sq. ft. of ground-level commercial space with B-1 uses contingent on the following issues being resolved to the City’s satisfaction:

- The proposed commercial use is limited to B-1 permitted uses, and B-1 conditional uses could be permitted through the normal Conditional Use approval process.
- Resolution of the building height, with the consideration to step back the building to three stories at the street edge.
- Site access for emergency responders.
- The shortage (by 3) of standard dimension parking stalls within the building.
- The design and “shared use” of loading/unloading areas around the accessible stalls.
- Successful completion of the traffic impact analysis and requirement to comply with the findings of the analysis.
- Water Resources and engineering approval of the proposed site plan and standards.
- Substantial berming and screening of the project for areas of the site adjacent to residential properties.
- Building design, landscaping, lighting, stormwater management, and all other site and building design details to be resolved and approved as part of the Specific Implementation Plan.

Motion carried 6-0.

Because the applicant would like to pursue having 39 apartments, moved by Paulsen, seconded by Olson to set a public hearing for April 10 to consider a rezoning to 39 units instead of 38. Motion carried 6-0.

7. **Request for Conditional Use Permit and Specific Implementation Plan (SIP) Modification – Middleton Gymnastics Academy, LLC, 8330 Forsythia St. (PC 2545)**

Moved by Hubbard, seconded by Zellers, to approve the conditional use permit and Specific Implementation Plan. Motion carried 6-0.

8. **Concept Plan – Madison Golf & Development Group, 8021 Forsythia St. (PC 2546)**

Moved by Zellers, seconded by Paulsen, to approve the concept plan. Motion carried 6-0.

9. **Request for Conditional Use Permit – LYCON, Inc., 8125 University Ave. (deferred from 2/13/18) (PC 2540)**

Staff noted that the Conditional Use being requested by Lycon is both for a height above 35 feet in an Industrial District and a manufacturing use in a B-3 District.

Plan Commission members discussed the proposed project and an email that had been received from the owner of an adjacent business, Tom Walzer. Paulsen said he could appreciate their concern but this is an existing business.

Moved by Reed, seconded by Paulsen, to approve the conditional use permit subject to the final building design to be approved by the Plan Commission, recognizing that this project will not increase noise or dust, and lighting must comply with the City's ordinance. Motion carried 6-0.

10. **Specific Implementation Plan (SIP) Modification for Comprehensive Sign Plan Revisions – 8215 Greenway Blvd. (PC 2078)**

Following discussion, moved by Paulsen, seconded by Zellers, to approve the comprehensive sign plan as submitted with the additional provision suggested by Reed, to limit the letter size to no more than 75% of the façade band where signage is allowed. Motion carried 6-0.

11. **Specific Implementation Plan (SIP) Modification for Design Review – Solar Project at Middleton Municipal Airport, OneEnergy Renewables, 8300 Airport Rd. (PC 2522)**

Moved by Olson, seconded by Hubbard, to approve the Specific Implementation Plan as a minor modification. Motion carried 6-0.

12. **Certified Survey Map (CSM) – T5 Real Estate Solutions, LLC/Strategic Behavioral Health, 3169 Deming Way (PC 2542)**

Moved by Hubbard, seconded by Zellers, to approve the Certified Survey Map contingent on resolution of the floodplain change. Reed suggested it would be better to address this CSM following discussion of the next two agenda items. Motion failed, 2-4, with Hubbard and Zellers voting for the motion. Moved by Paulsen, seconded by Olson, to reconsider this CSM after the next two agenda items. Motion carried 6-0.

13. Concept Review - Strategic Behavioral Health Psychiatric Hospital, 3169 Deming Way (PC 2542)

Attoun gave a brief update on a neighborhood meeting that had been held the day before to discuss this proposed use. The applicants provided information about the proposed project and how it will operate. Following discussion by the Plan Commission, moved by Hubbard, seconded by Olson, to conceptually approve the use, recognizing that there will need to be a public hearing. Motion carried 5-1, with Reed opposed.

14. Concept Review – Request for Tax Incremental District #3 (TID #3) Assistance – Strategic Behavioral Health Psychiatric Hospital, 3169 Deming Way (PC 2542)

Attoun presented information on City staff's recommendation for \$1,188,200 in developer financed Tax Incremental Financing assistance for eligible items including soil remediation. The staff recommendation includes a proposed split of 55% of the increment generated for the developer financed portion (up to the maximum recommended) and 45% to the general TID #3 District. Moved by Hubbard, seconded by Zellers, to recommend TID #3 developer financed assistance to the Common Council as recommended by City staff. Motion carried 5-1, with Reed opposed.

15. Certified Survey Map (CSM) – T5 Real Estate Solutions, LLC/Strategic Behavioral Health, 3169 Deming Way (PC 2542)

Moved by Paulsen, seconded by Olson, to reconsider the Certified Survey Map for 3169 Deming Way. Motion carried 6-0. Moved by Paulsen, seconded by Olson, to approve the Certified Survey Map contingent on resolution of the floodplain changes and resolution of staff recommendations. Motion carried 5-1, with Reed opposed.

16. Set a Public Hearing – Proposed General Implementation Plan Amendment, Airport Rd. Business Park, Lots 2 & 3, Add Hospital as a Conditional Use (PC 2542)

Moved by Zellers, seconded by Hubbard, to set Tuesday, April 10, 2018, at 7:05 p.m. as a public hearing to consider this request for a General Implementation Plan Amendment. Motion carried 6-0.

17. Set a Public Hearing – Request for Conditional Use Permit for a Hospital, Airport Rd. Business Park, Lots 2 & 3 – Strategic Behavioral Health Psychiatric Hospital, 3169 Deming Way (PC 2542)

Moved by Zellers, seconded by Hubbard, to set Tuesday, April 10, 2018, at 7:10 p.m. as a public hearing to consider this request for a conditional use permit. Motion carried 6-0.

18. Proposed General Implementation Plan (GIP) Amendment, The Community of Bishops Bay, The Back Nine Neighborhood, Increased Density (Amending Map #3) (PC 2189)

Plan Commission members discussed this proposed General Implementation Plan Amendment to allow an additional 8 units in the Back Nine neighborhood. The total number of units in the entire Community of Bishops Bay would remain the same, at 2,950, so 8 units will have to be eliminated from another neighborhood in the future.

Staff noted that the Middleton/Westport Joint Zoning Committee met on February 22, 2018 to discuss this request and although they took no action, had a consensus that *“There is no compelling reason for the change; the proposed change is not consistent with the approved Specific Implementation Plan; this could be precedent setting; and the access to the site is difficult.”* Staff also noted that at least one member from Westport has previously said that since the project will be in the City, the City would obviously have the final decision on whether to approve the project.

Kelley distributed a memo she had written to outline some of the actions to date on this parcel and this request. The Plan Commission held a public hearing on this proposed GIP amendment in November of 2017, and deferred action on the request.

Following additional discussion, moved by Paulsen, seconded by Olson, to recommend approval to the Common Council of the GIP amendment for an additional 8 units as shown on the latest Notre Dame site plan, subject to the conditions as outlined by staff, including the requirement that the developer must design a water service for the project that meets state and City ordinances and requirements and obtains all appropriate approvals including City approval; a secondary emergency access to the 8 condo units must be approved by the Fire District; protection of the trees in the existing tree easement area; fire district approval of the layout; and all other City ordinances met. Motion carried 4-2, with Hubbard and Zellers opposed.

19. Proposed Notre Dame Village at The Back Nine, The Community of Bishops Bay, Lot 4 of CSM 14030 (PC 2508)

No action was required. If the General Implementation Plan is approved by the City, a Specific Implementation Plan will need to be submitted to the City and the Middleton/Westport Joint Zoning Committee for approval.

20. Certified Survey Map (CSM) – The Community of Bishops Bay, Lots 111 & 112, Phase 3 (PC 2547)

Moved by Hubbard, seconded by Paulsen, to approve the Certified Survey Map contingent on resolution of staff recommendations. Motion carried 6-0.

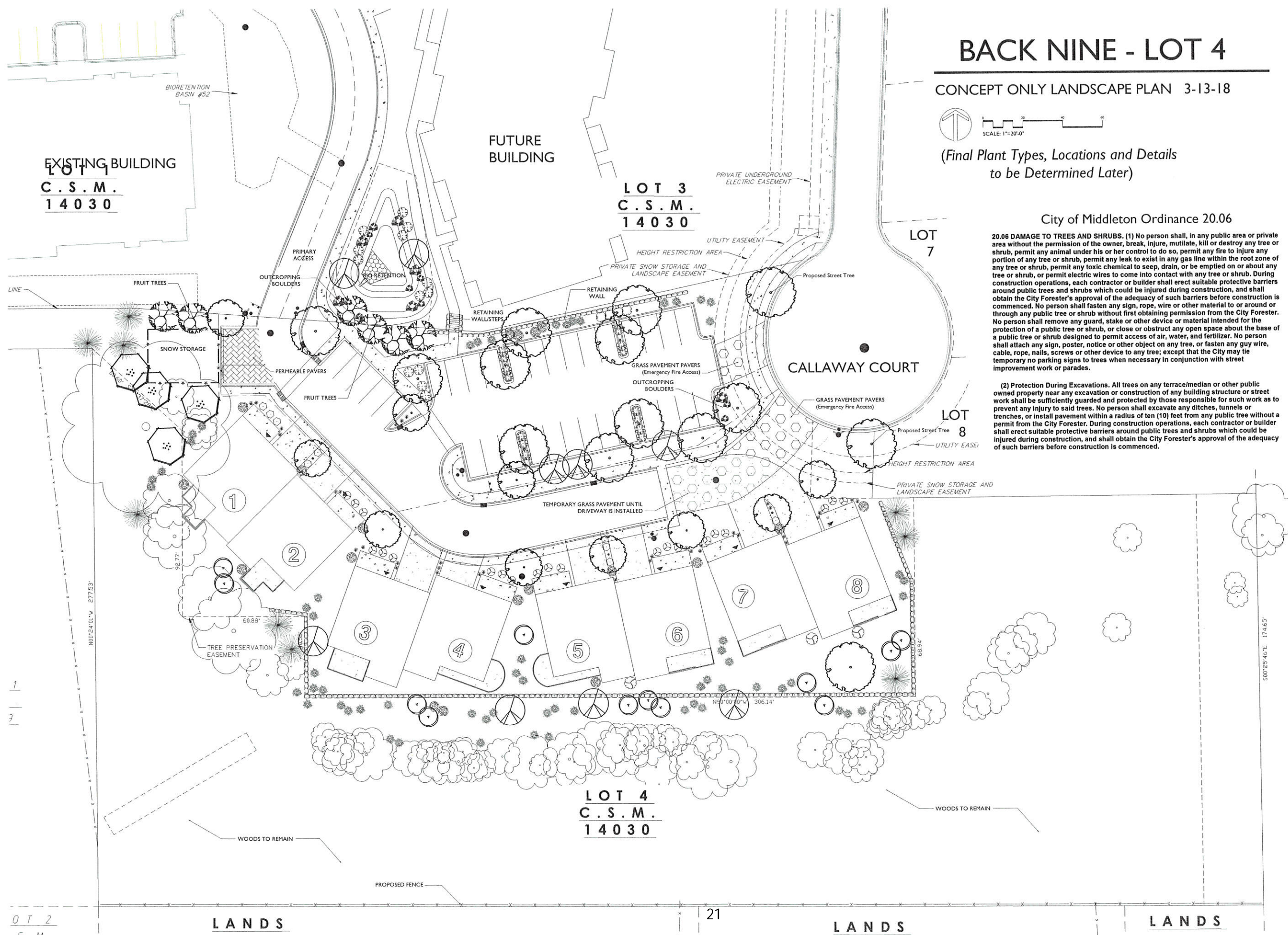
21. Five Year Street Improvement Plan

Moved by Reed, seconded by Olson, to defer this item. Motion carried 6-0.

Moved by Olson, seconded by Reed, to adjourn. Motion carried 6-0 and the meeting adjourned at 10:29 p.m.

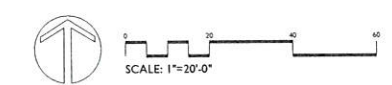
EILEEN KELLEY

Note: These minutes were prepared by Eileen Kelley, Planning Director. These minutes are based on the notes of the recorder and are subject to change at a subsequent meeting.



BACK NINE - LOT 4

CONCEPT ONLY LANDSCAPE PLAN 3-13-18



(Final Plant Types, Locations and Details to be Determined Later)

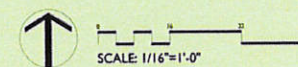
City of Middleton Ordinance 20.06

20.06 DAMAGE TO TREES AND SHRUBS. (1) No person shall, in any public area or private area without the permission of the owner, break, injure, mutilate, kill or destroy any tree or shrub, permit any animal under his or her control to do so, permit any fire to injure any portion of any tree or shrub, permit any leak to exist in any gas line within the root zone of any tree or shrub, permit any toxic chemical to seep, drain, or be emptied on or about any tree or shrub, or permit electric wires to come into contact with any tree or shrub. During construction operations, each contractor or builder shall erect suitable protective barriers around public trees and shrubs which could be injured during construction, and shall obtain the City Forester's approval of the adequacy of such barriers before construction is commenced. No person shall fasten any sign, rope, wire or other material to or around or through any public tree or shrub without first obtaining permission from the City Forester. No person shall remove any guard, stake or other device or material intended for the protection of a public tree or shrub, or close or obstruct any open space about the base of a public tree or shrub designed to permit access of air, water, and fertilizer. No person shall attach any sign, poster, notice or other object on any tree, or fasten any guy wire, cable, rope, nails, screws or other device to any tree; except that the City may tie temporary no parking signs to trees when necessary in conjunction with street improvement work or parades.

(2) Protection During Excavations. All trees on any terrace/median or other public owned property near any excavation or construction of any building structure or street work shall be sufficiently guarded and protected by those responsible for such work as to prevent any injury to said trees. No person shall excavate any ditches, tunnels or trenches, or install pavement within a radius of ten (10) feet from any public tree without a permit from the City Forester. During construction operations, each contractor or builder shall erect suitable protective barriers around public trees and shrubs which could be injured during construction, and shall obtain the City Forester's approval of the adequacy of such barriers before construction is commenced.

BACK NINE - LOT 4

CONCEPT ONLY LANDSCAPE PLAN 3-13-18



(Final Plant Types, Locations and Details to be Determined Later)





Left Front View



Right Front View

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Preliminary Design

Not for Construction



Bouril Design Studio, LLC
 6425 Odana Road, Suite #2
 Madison, WI 53719
 (608) 833-3400 www.bourilstudio.com

2-Unit Condominium Homes for
Community of Bishops Bay
 Galaway Court, Middleton, WI, 53562

revision index		
#	date	reference

project: 18007
 date: 3/21/2018
 drawn by: abc

A0.1
 Page 21 of 28



Rear View



Rear View

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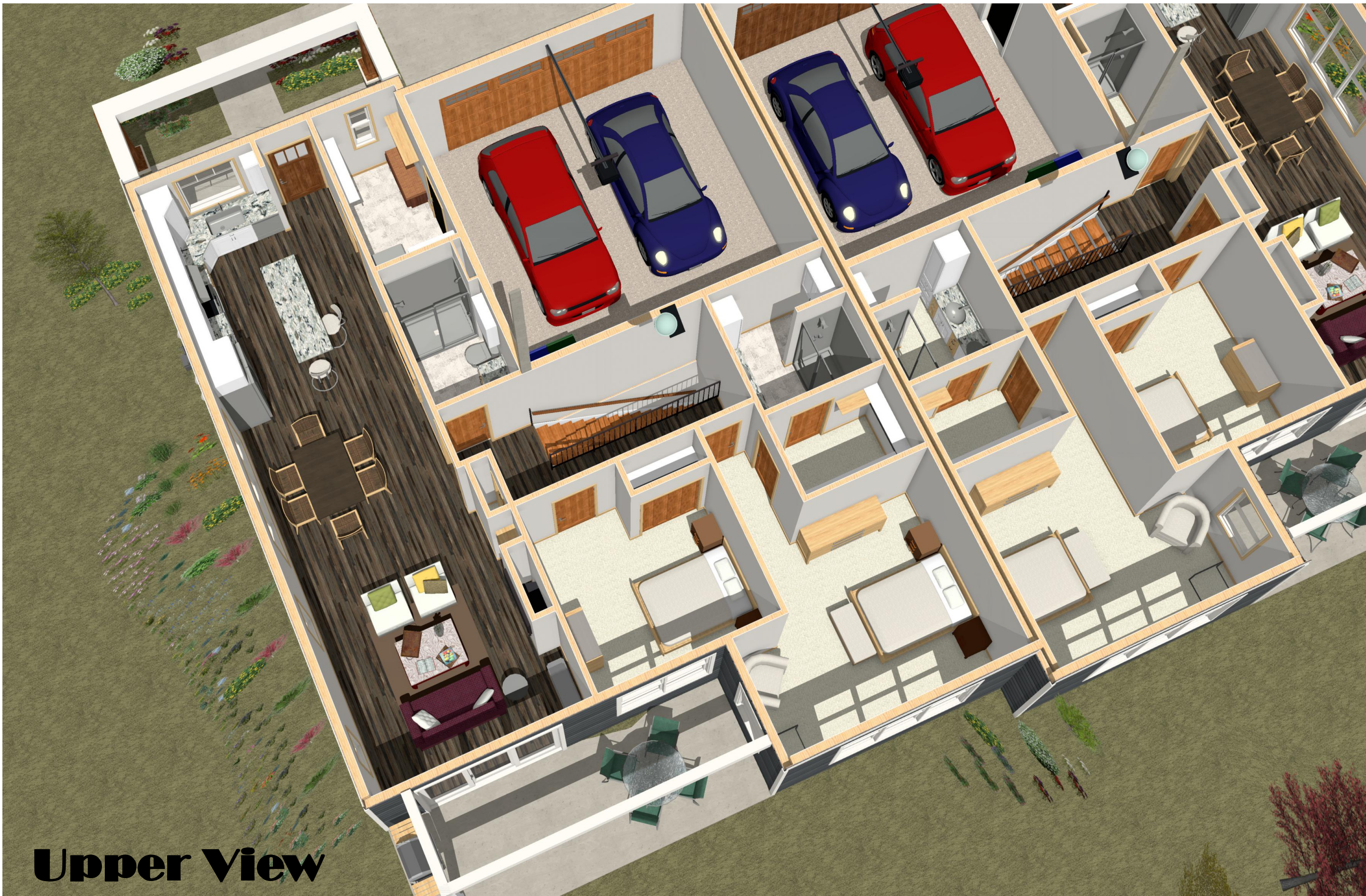
2-Unit Condominium Homes for
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Galaway Court, Middleton, WI, 53562

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Upper View



Upper View



Upper View



Upper View

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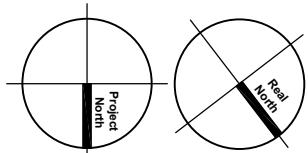
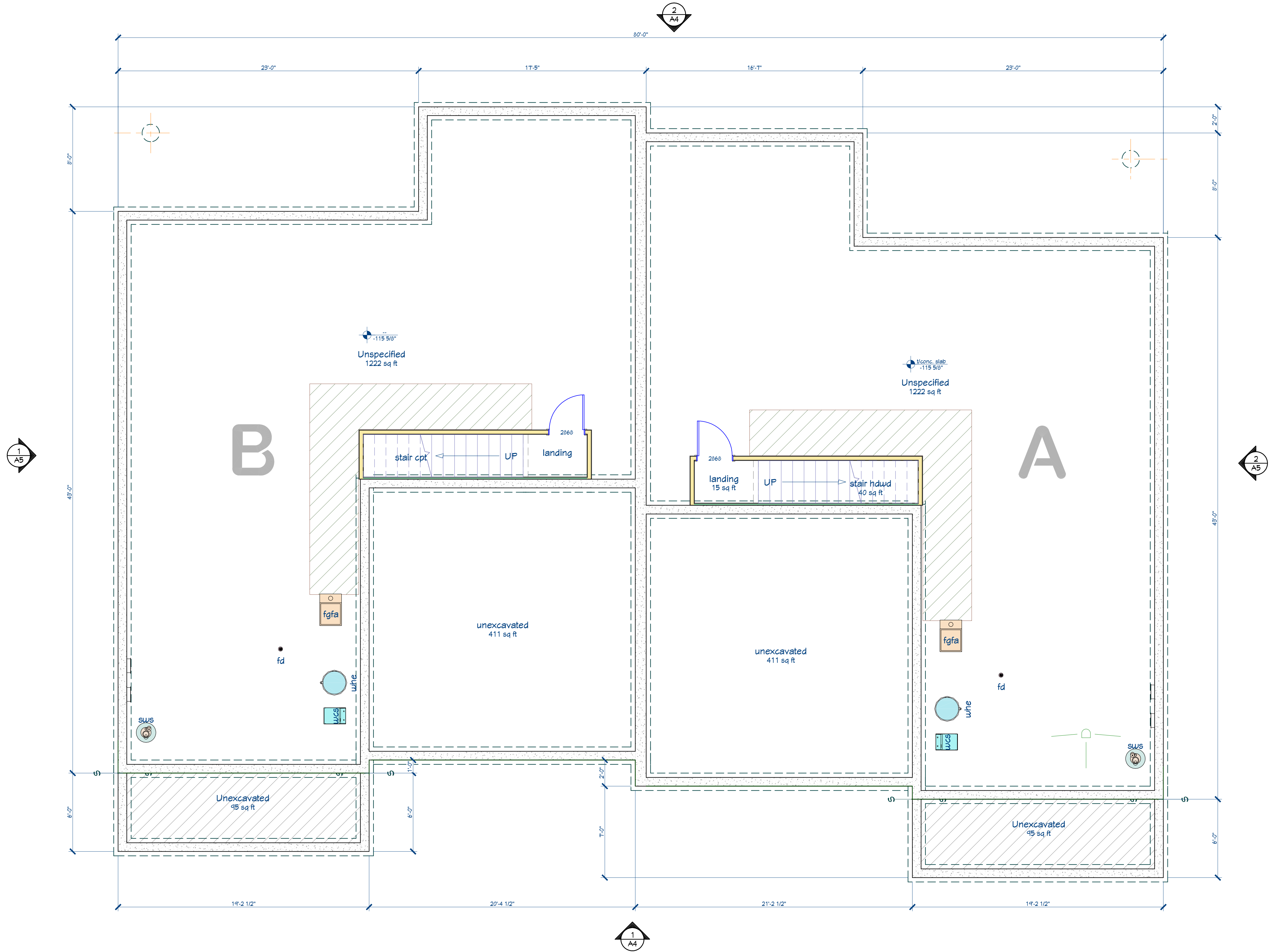
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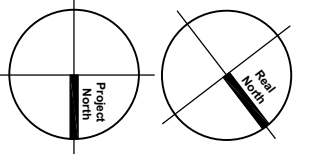
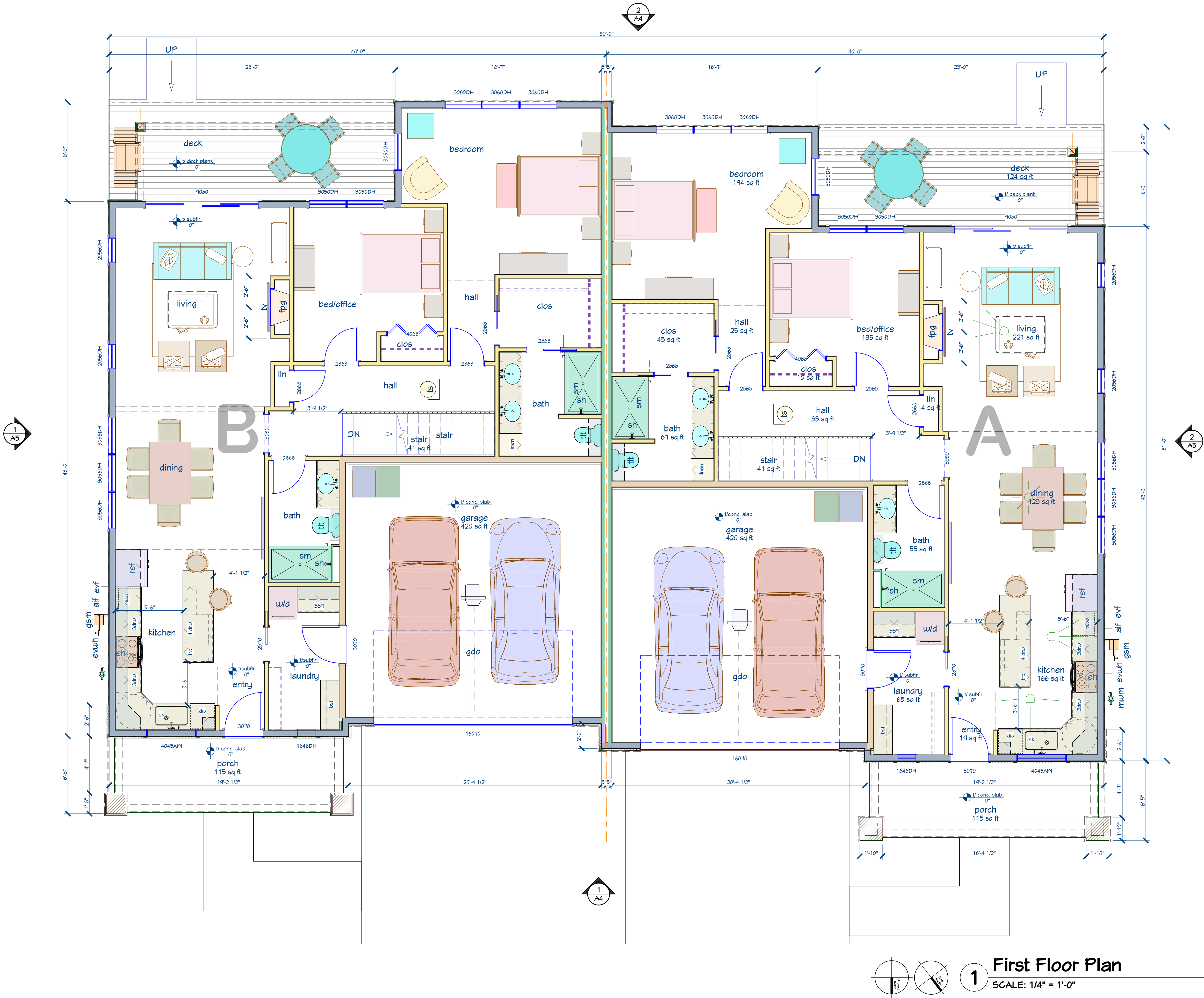
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1 Ground Floor Plan
SCALE: 1/4" = 1'-0"

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1 First Floor Plan
SCALE: 1/4" = 1'-0"

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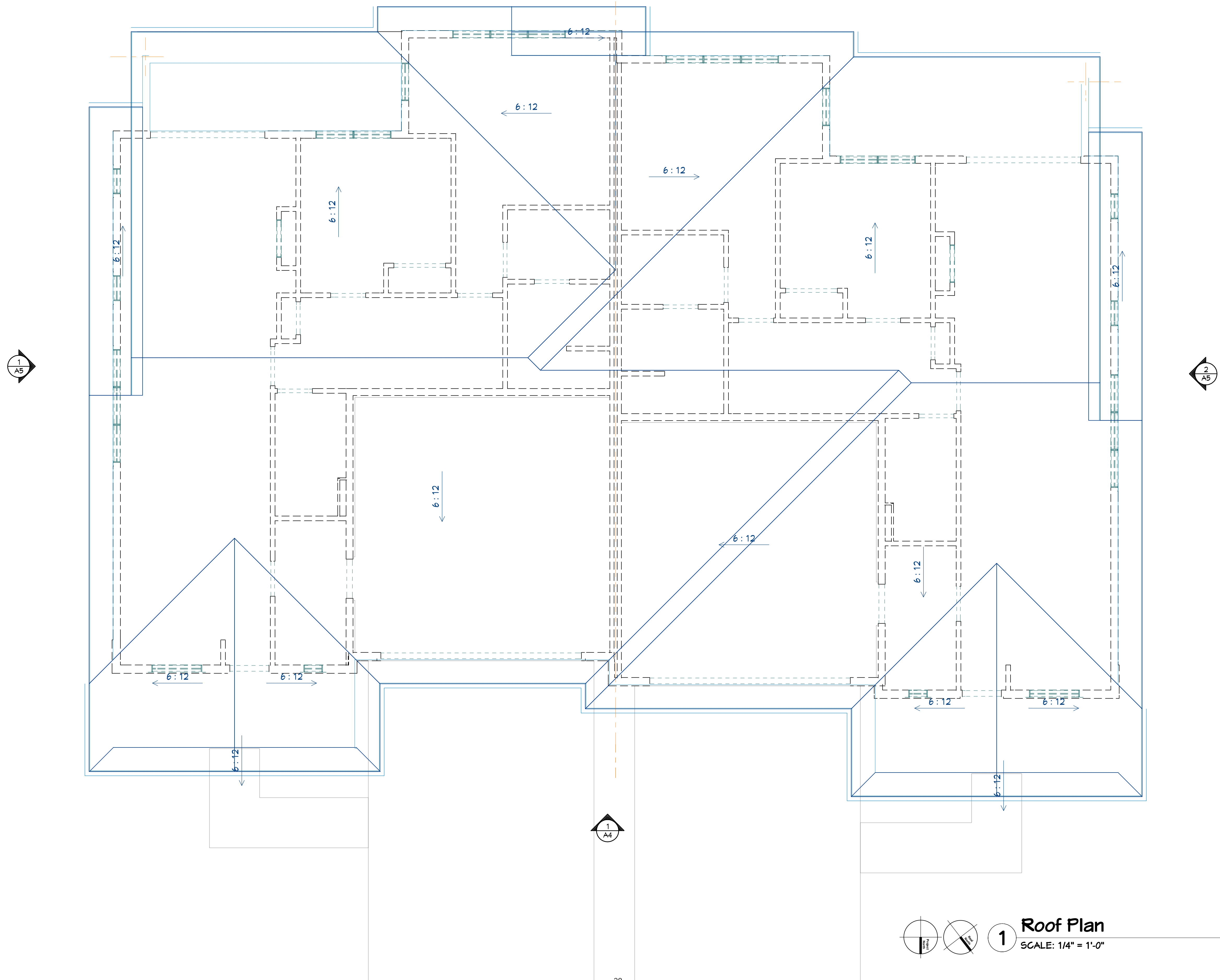
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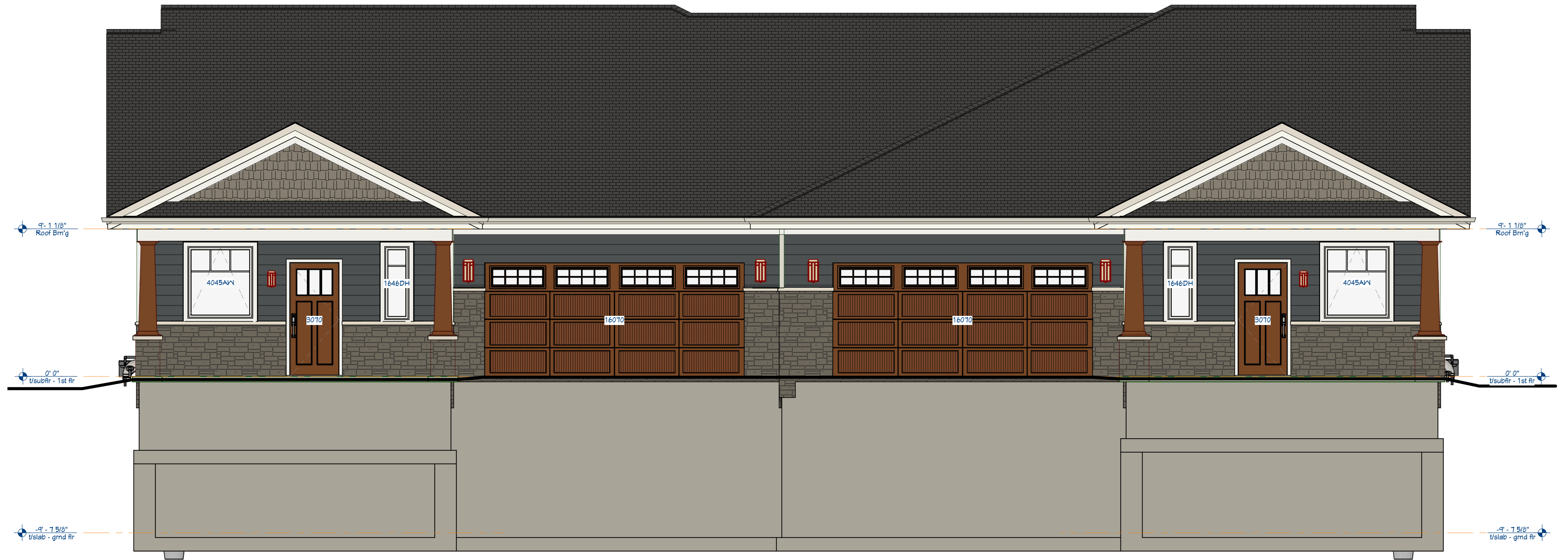
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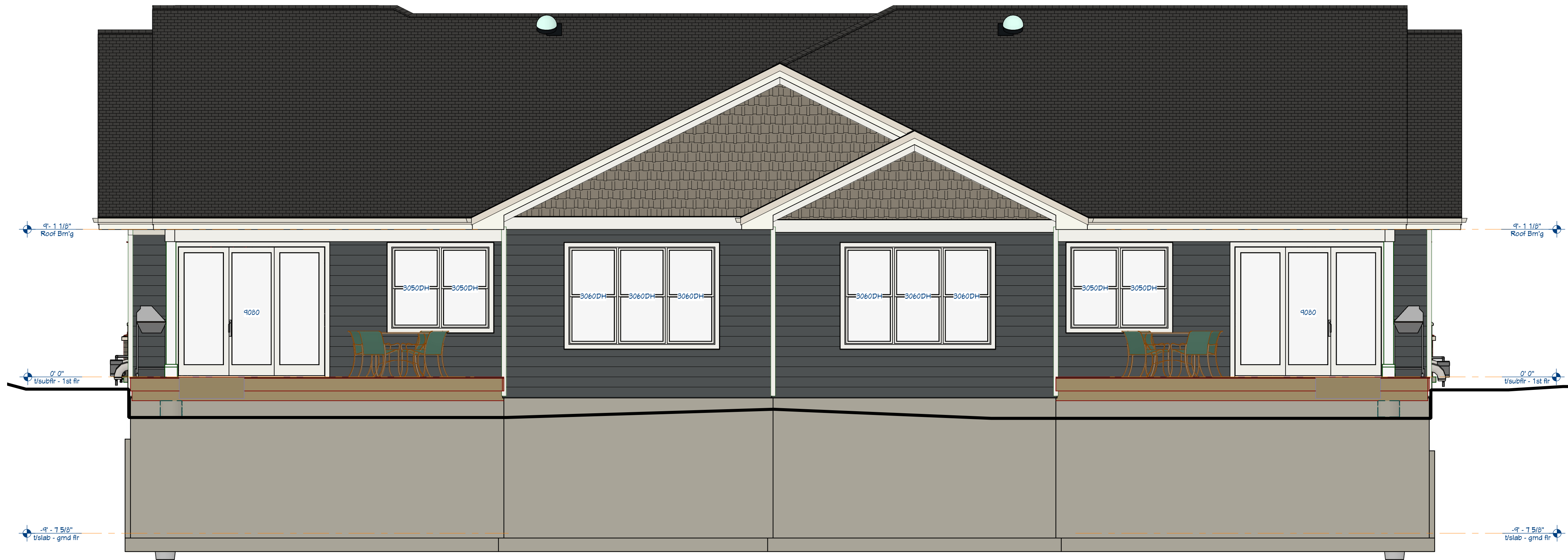
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[illegible]



1 North Elevation (Front)
SCALE: 1/4" = 1'-0"



2 South Elevation (Rear)
SCALE: 1/4" = 1'-0"

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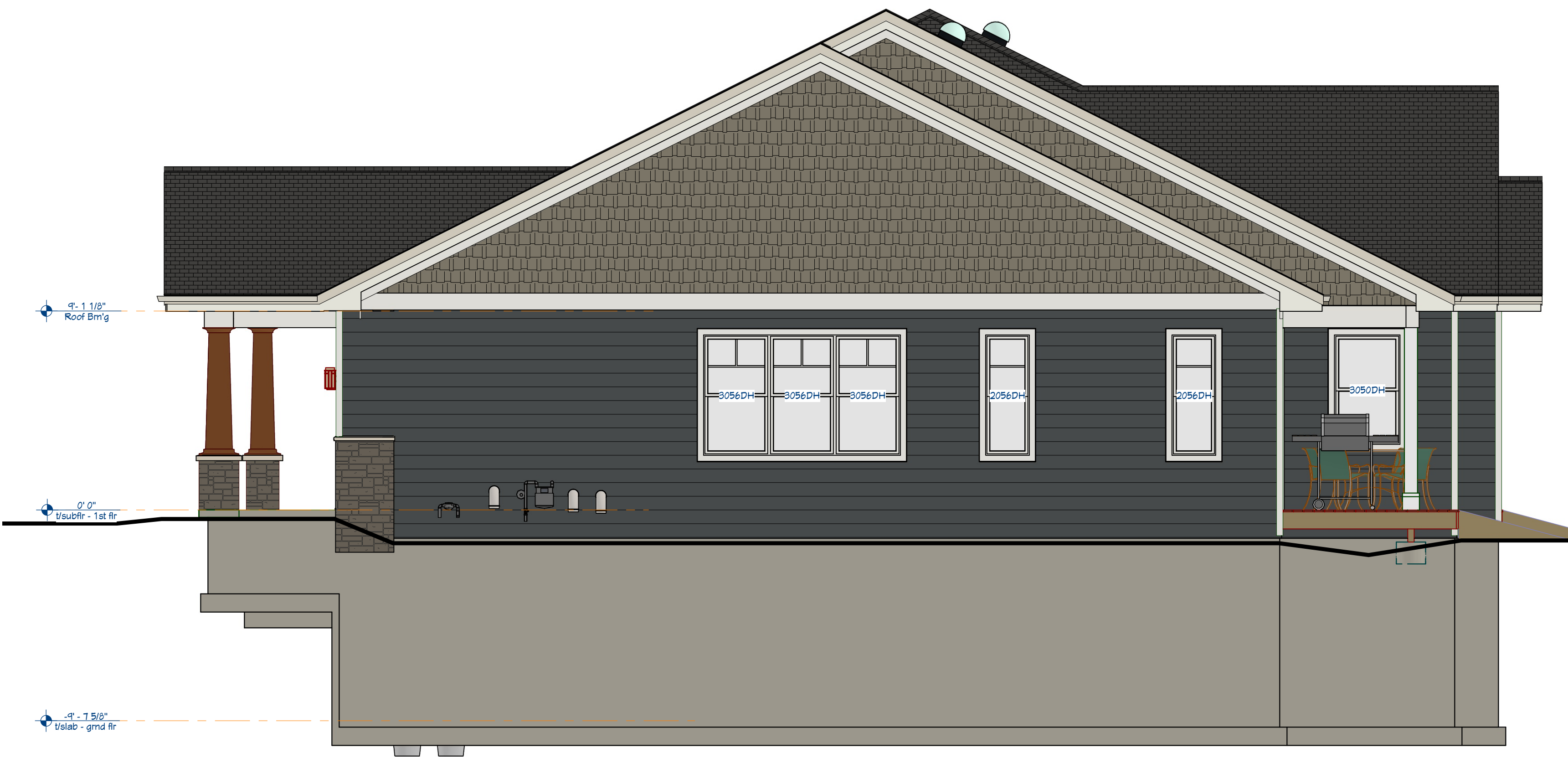
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#	date	reference

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date: 3/21/2018
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1 North Elevation (Front)
SCALE: 1/4" = 1'-0"



2 South Elevation (Rear)
SCALE: 1/4" = 1'-0"

revision index		
#	date	reference

project: 18007
date: 3/21/2018
drawn by: abc