

TOWN OF WESTPORT
REGULAR PLAN COMMISSION MEETING
Kennedy Administration Building
Community Meeting Room
5387 Mary Lake Road
Town of Westport, Wisconsin

Virtual Meeting Via GoToMeeting

PLEASE TAKE NOTICE that this meeting will take place virtually via GoToMeeting.

Please join the meeting from your computer, tablet or smart phone by visiting <https://global.gotomeeting.com/join/814377157>. You can also participate by phone by dialing +1 (669) 224-3412 and use access code: 814-377-157. If you are new to GoToMeeting, get the app and be ready when the meeting starts. You may be muted or be asked to mute your device.

AGENDA - October 12, 2020 7:00 p.m.

This meeting is being noticed as a possible gathering of a quorum of the Westport Town Board due to the possible attendance of Supervisors not appointed to the Commission. Supervisors may discuss items on this agenda, or gather information on these items, but no action will be taken on these items as the Town Board.

1. Call to Order
2. Public Comment on Matters Not On the Agenda
3. Approve Minutes
4. Initial Consultation, Variance Request to Change the Setbacks, Levy,
4961 Borchers Beach Road (Middleton ETZ)
5. SIP and Design Review, Cross Lutheran Church, The Community of Bishops
Bay/Texas Longhorn Drive (Middleton ETZ),
Discussion/Recommendation/Action
6. Park Committee Report/Items for Action
7. Historic Preservation Commission Report/Items for Action
8. Sign Design Group Report/Items for Action
9. Waunakee/Westport Joint Planning Committee Report/Items for Action
10. Middleton/Westport Joint Zoning Committee Report/Items for Action
11. Miscellaneous Matters/Forthcoming Events
12. Adjourn

If you need reasonable accommodations to access this meeting, please contact the clerk's office at 849-4372 at least three business days in advance so arrangements can be made to accommodate the request.

TOWN OF WESTPORT

PLAN COMMISSION – August 10, 2020

The regular monthly meeting of the Plan Commission was called to order at 7:01 p.m. via GoToMeeting.com virtual video conference by Chair Grosskopf. Members present: Bruskewitz, Cuccia, Grosskopf, Kennedy, Manering, Ohm, and Pichette. Members absent: None. Also attending: Mark Trotter, and Tom Wilson.

No one was present For Public Comment on Matters not on the Agenda. The minutes of the July 13, 2020 regular meeting were approved as presented on a motion by Bruskewitz, second Cuccia.

A public hearing was then called to order by the Chair on the Proposed Town Zoning Code Revisions, Kennel Location and Variance Standard for Building Errors matter at 7:02 p.m. Wilson provided a presentation and explanation of the items. No other comments was made and the hearing was closed at 7:07 p.m. after requests by the Chair for further comment were unanswered. After further brief discussion, the two draft ordinances as presented were recommended for approval to the Town Board on a motion by Cuccia, second Bruskewitz.

Wilson reported on the work of the Park Committee. Pichette reported on the work of the Historic Preservation Commission. Grosskopf reported on items before the Waunakee/Westport Joint Planning Committee and the Middleton/Westport Joint Zoning Committee.

For Miscellaneous Matters or Forthcoming Events raised, Wilson advised that Manering had requested he bring up looking at sign heights on which Wilson and others made suggestions on moving forward to present a recommendation to the Commission which other Commissioners agreed and advised they would assist, and Pichette asked that Wilson revive the work on standards/design for Town use signs.

Motion to adjourn by Manering, second Ohm. The meeting adjourned at 7:18 p.m.

Mary Manering, Secretary

AGENDA ITEM #4:

Initial Consultation, Variance Request to Change the
Setbacks, Levy, 4961 Borchers Beach Road
(Middleton ETZ)

Town of Westport,

I'd like to request a setback variance for the property located at 4961 Borchers Beach Road, Waunakee WI 53597.

Currently, there is a nearly 60 year old home single story home that I would like to replace with a new modest (2,500 sq ft) single story home.

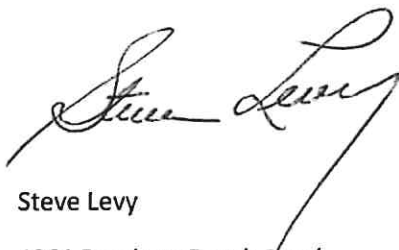
I want to put the home essentially where the existing home is. However current setback rules apparently do not allow for that. Current setbacks would require me to move the home much closer to the immediate neighbor's home and removal of three 100 foot pines and several oak trees. The immediate neighbor would be worse off and the surrounding homes on this portion of Borchers Beach Road and the Simon Trail loop would all be aesthetically worse off.

The reason that this request is reasonable is because the front setback that I'm requesting – 10 feet, is actually 51 feet back from the end of the paved portion of the road. Likewise, the back requested setback of 25 feet, is essentially 47 feet from the end of the paved portion of the road.

I have attached visual renderings (satellite image, survey image, and cross sectional photo image) of the current home, allowed positioning and proposed variance positioning.

The entire neighborhood benefits from the granting of the variance. I have attached a number of supporting statements from neighbors who I have shown the plans to, and agree that they prefer the home siting with the variance setbacks. Again, the completed home would have an effective front setback of 51 feet and an effective back setback of 47 feet from the paved road. The only way these effective setbacks would change is if the county desired to widen the existing Simon Trail Road and this portion of Borchers Beach Road. That seems to be an extremely unlikely event as Simon Trail and Borchers Beach Road sit inside a state park (Governor Nelson).

Thank you for your consideration.

A handwritten signature in black ink, appearing to read "Steve Levy". The signature is fluid and cursive, with a long, sweeping underline that extends below the name.

Steve Levy

4961 Borchers Beach Road

Waunakee, WI 53597

Satellite View of:

1. Existing Home
 2. Home with Required Setbacks
 3. Home with Varianced Setbacks
-
-







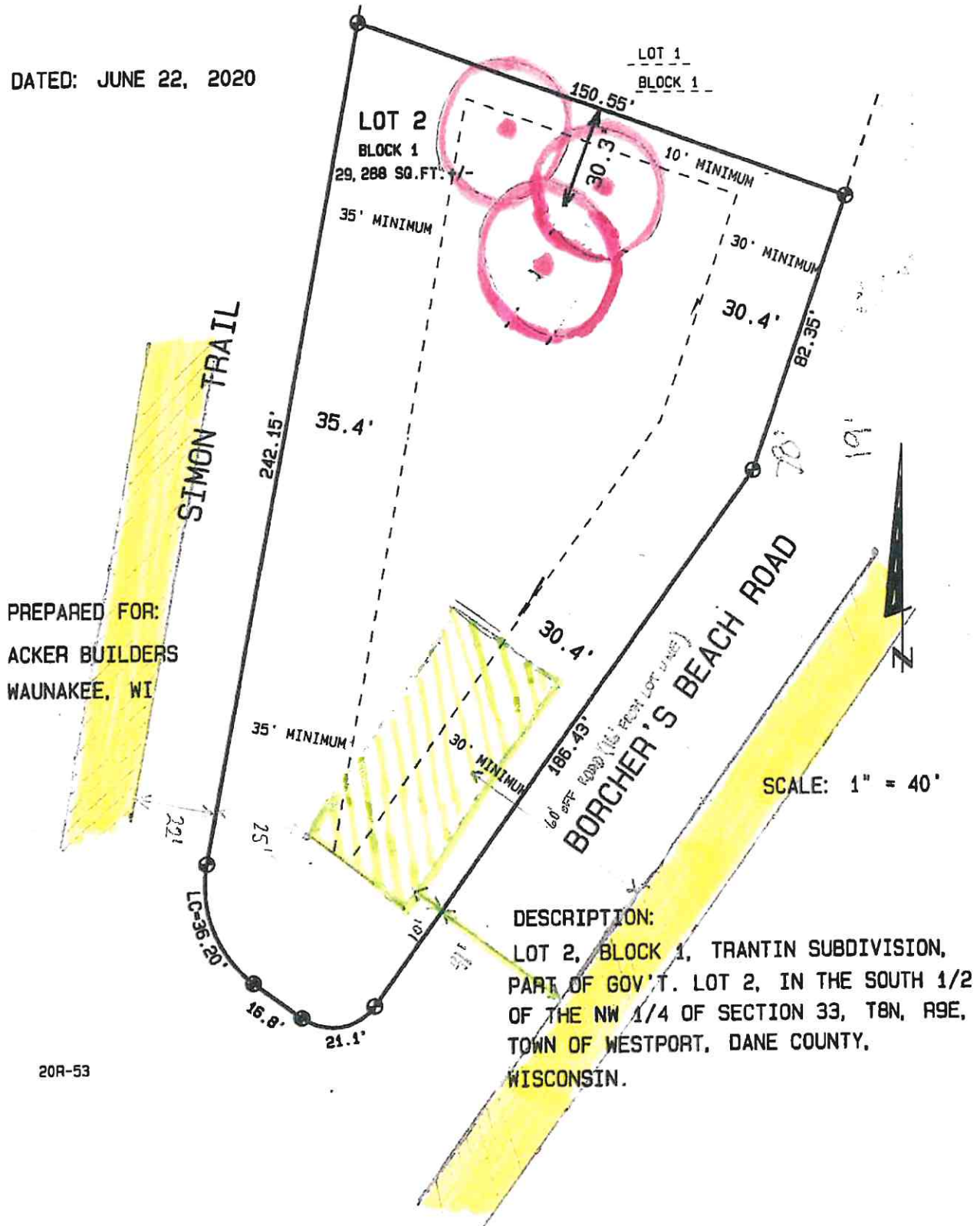
Plat View of:

1. Existing Home
 2. Home with Required Setbacks
 3. Home with Varianced Setbacks
-
-

" PRELIMINARY "

PLOT PLAN

DATED: JUNE 22, 2020



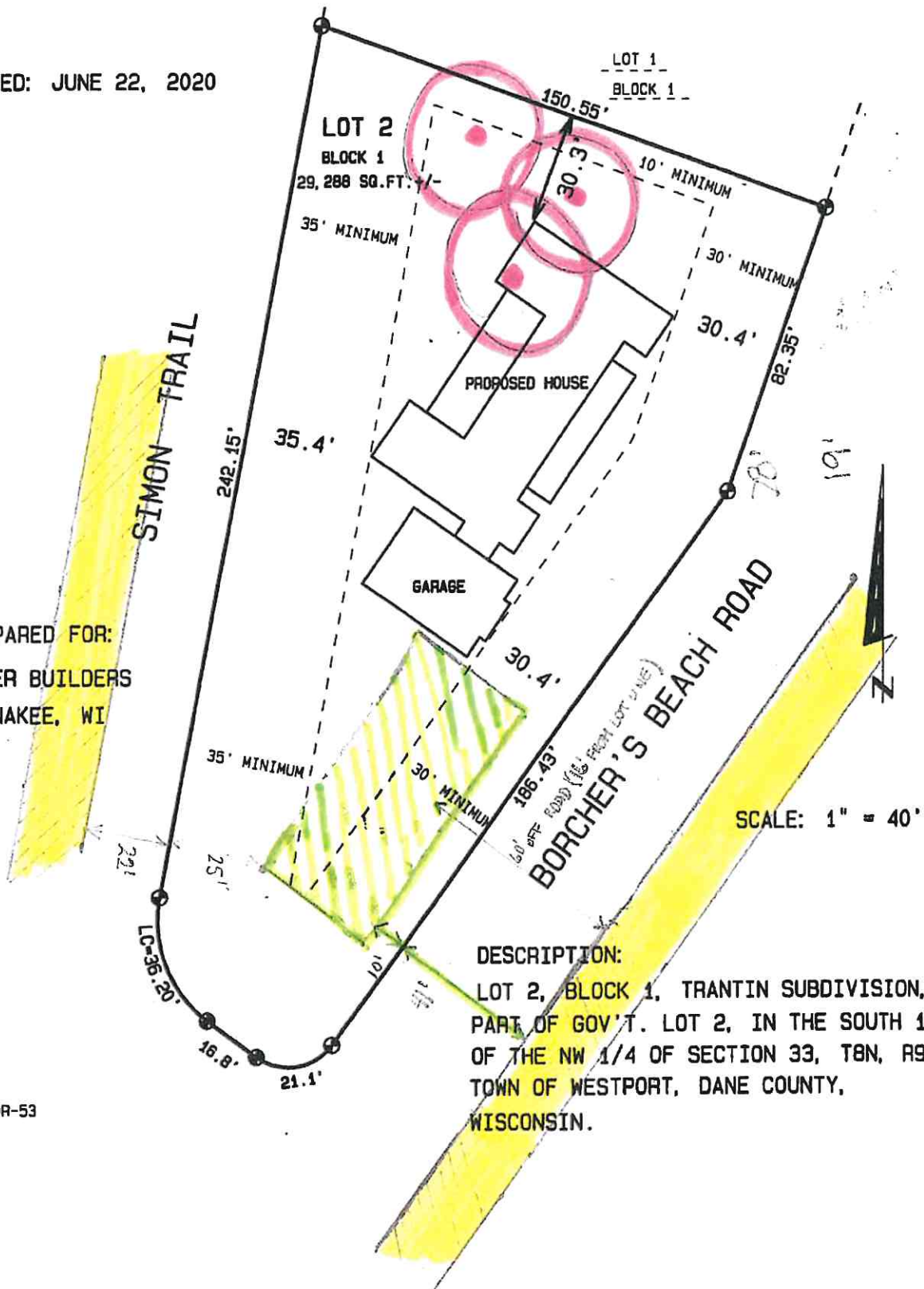
" PRELIMINARY "

PLOT PLAN

DATED: JUNE 22, 2020

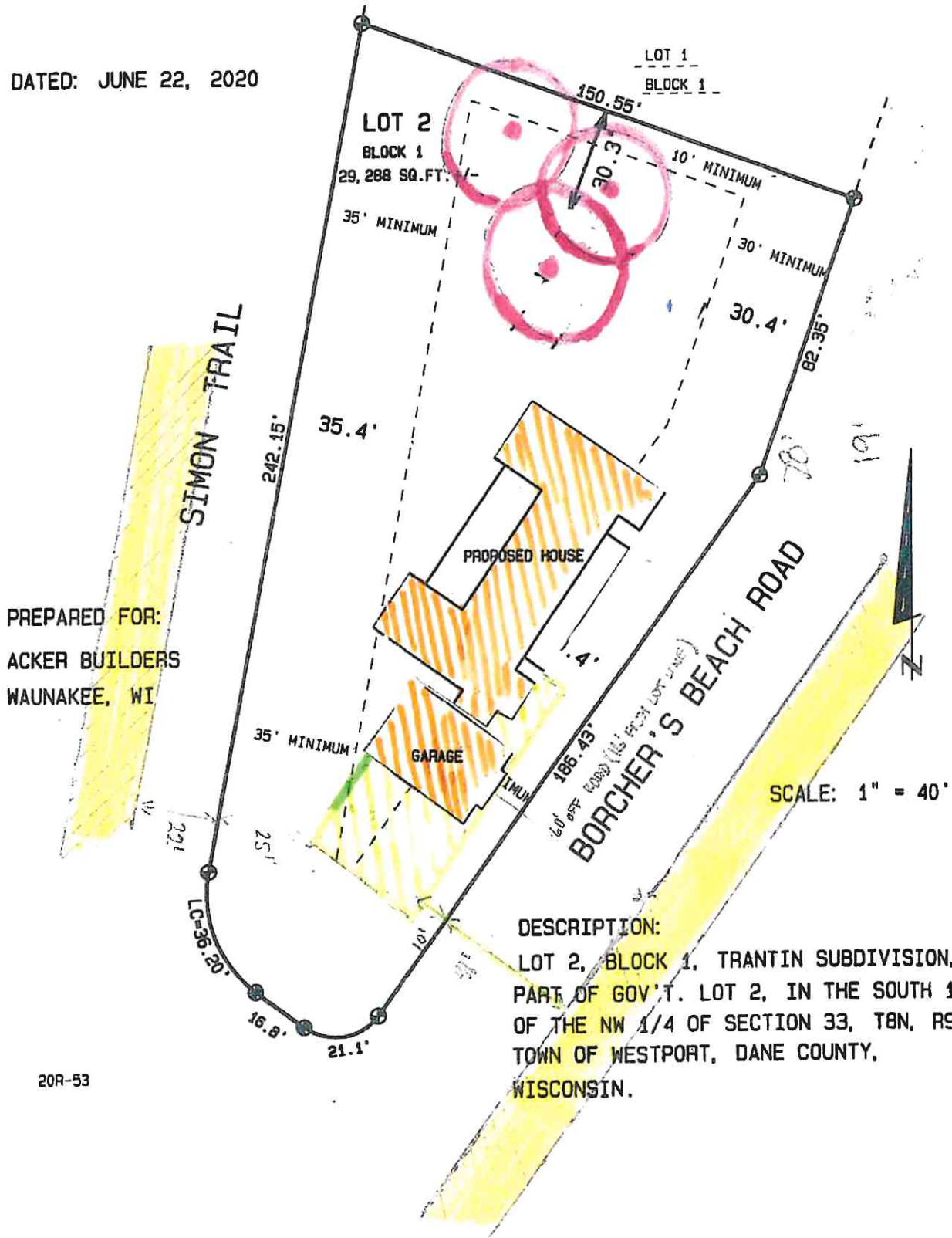
PREPARED FOR:
ACKER BUILDERS
WAUNAKEE, WI

20R-53



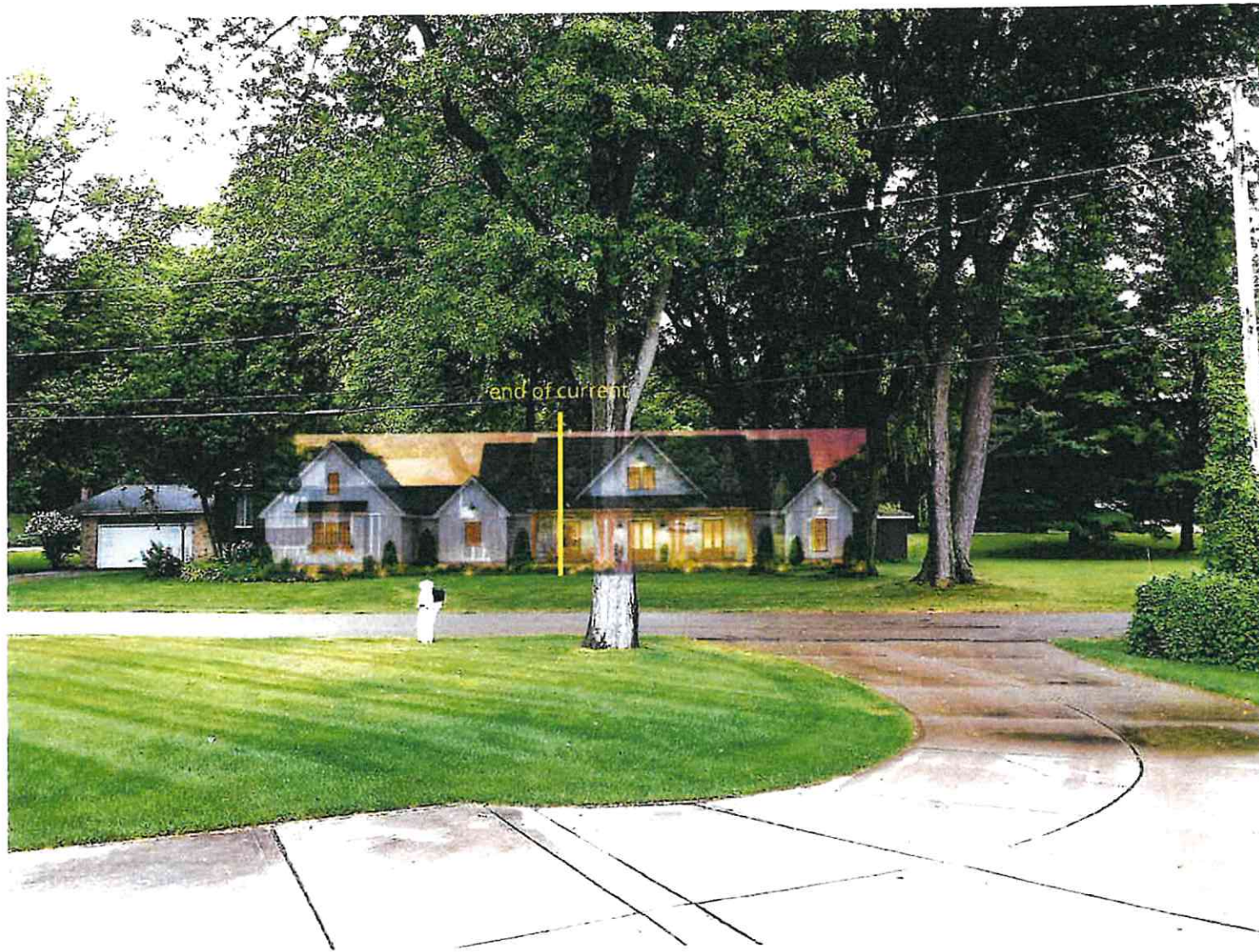
PLOT PLAN

DATED: JUNE 22, 2020



Cross Sectional View of:

1. Existing Home with Requested New Home Placement leaving Pine Trees in tact
 2. Existing Home with Requested New Home Placement that requires removal of Pine Trees
-
-





AGENDA ITEM #5:

SIP and Design Review, Cross Lutheran Church, The
Community of Bishops Bay/Texas Longhorn Drive
(Middleton ETZ), Discussion/Recommendation/Action

Links to additional documents too large to include in packet:

<https://vierbicher.sharefile.com/d-s02dac1a8d6c4b098>

https://gdgarchitects-my.sharepoint.com/:f:/g/personal/jwolke_gdg-architects_com/EmZclnFGg4RAkdLMGiJ4MMYBeL9DgFgapHonCmNqQaOuSg?e=RmqiSI



Tom Wilson, Town Attorney/Administrator/Clerk-Treasurer
Town of Westport
5387 Mary Lake Road
Waunakee, WI 53597

September 22, 2020

Re: Cross Lutheran Church
West of CTH M / North of Texas Longhorn Drive within The Community of Bishops Bay
SIP and Design Review

On behalf of Cross Lutheran Church of Middleton (Owner), Vierbicher is requesting Design Review and action to approve a Specific Implementation Plan (SIP) for the Cross Lutheran Church located within The Community of Bishops Bay. The property is located west of County Trunk Highway M and north of Texas Longhorn Drive, in the Town of Westport.

The land is currently zoned Planned Development District (PDD) and is located in the Westport/Middleton Extraterritorial Zoning Area (ETZ)/Joint Planning Area. The Community of Bishops Bay recently went through a GIP Amendment process to allow for the proposed use on the property. A certified survey map (CSM) will be prepared for the creation of 3 lots corresponding to the currently proposed church (Phase 1), a future expansion (Phase 2), and an outlot containing a private access drive. The current SIP being presented is for Phase 1 only. Design is generally consistent with The Community of Bishops Bay Master Development Plan (MDP), and applicable City of Middleton and Town of Westport ordinances as referenced therein.

Should you require any additional information to complete your review of this project, please feel free to contact me at nbow@vierbicher.com or 608-821-3952.

Sincerely,

Nicholas D. Bower, PE

The Community of

Bishops Bay

Construction Document

Construction Approval



THE COMMUNITY OF
BISHOPS BAY
WHERE THE GOOD LIFE GROWS

September 22, 2020

Project Information

| | |
|--------------------------|--------------------------|
| Neighborhood: | The Farm |
| Owner: | Cross Lutheran Middleton |
| Builder: | Catalyst Construction |
| Engineer: | Vierbicher |
| Building Square Footage: | 8154 SF |
| Variances: | None |

Submitted Plans

Received: September 17, 2020:

- Site Plan
- Design Application
- Exterior Elevations
- Foundation Plan
- Main Level Plan
- Landscape Plan
- Grading & Erosion
- Photometrics

Design Review Requirements

- Windows - All Commercial buildings shall provide a minimum of 60 percent transparency on any ground level façade facing a parking lot or a public right-of-way.
- Custom signage design is encouraged. All Signage is subject to review by the Design Review Committee.
- Building shall be designed with materials, detailing, and offsets to break up facades and create visual interest.
- Address Plaque is required or incorporated into the masonry design that shall face the street that property is addressed to.

Approval

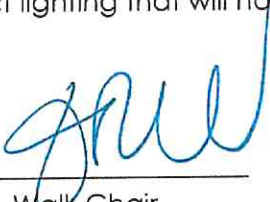
- The Community of Bishops Bay Design Review Committee hereby grants approval to the plans referenced in this letter. City of Westport has an additional review. Architectural approval by the Community of Bishops Bay Design Review Committee (BBDRC) does not guarantee City of Westport approval.
- Builders are responsible for fixing any divots in grass on terrace or adjacent lots including any lots across the street as a result of builders or contractors driving vehicles on adjacent lots.

- On lots where there is a rolled curb or no curb across the street from the home that is being built, the builder is required to put up an orange snow fence along the edge of pavement to prevent construction vehicles from parking or driving onto the grass of the home across the street. No building or applicable code compliance is intended.
- The builder/lot owner is responsible for confirming proposed building elevations will drain adequately to record grades established on all adjacent lot lines.
- Neither Vierbicher nor The Community of Bishops Bay shall be held responsible for the builder/lot owner's compliance with all subdivision plat and recorded restrictive covenant requirements.
- The builder/lot owner shall be responsible for maintaining grades established during installation of subdivision street and drainage improvements.
- All lighting installed on exterior of building must not extend past property line. It should be indirect lighting that will not be visible to other lot owners at night.

☒ Joe Goldsworthy

☒ Robert Bouril

☒ Nick Patterson

By: 
Terrence R. Wall, Chair

We reserve the right to correct mistakes or omissions post approval. An approval is NOT a right to violate the covenants or guidelines. If the Design Review Board approves a home and later finds a conflict between one aspect of the design and the covenants and design guidelines, the Board reserves the right to notify the owner and builder of the violation and the right to mandate that the owner and builder correct the violation. The responsibility of complying with the covenants and guidelines lies with the owner and builder, not the Design Review Board.

100.17.2020
100

[illegible]

ARCHPECT

Gilbert Design Group
1050 W. 181 Columbia Road
Cedarburg, WI 53102
www.gilbertdesign.com
Fax: (262) 377-8008
Fax: (262) 377-8008

COMPANY NAME
STREET ADDRESS
SUITE NUMBER
CITY, STATE ZIP

COSSA ENGINEERING
12308 NORTH CORPORATE DRIVE
SUITE 300
MELBOURNE, WI 58302

DESIGN BUILD

DESIGN BUILD

© 2004 Blackwell Publishing Ltd *Journal of Internal Medicine* 255: 105–112

**CROSS LUTHERAN
PHASE 1: NEW
BUILDING**

BISHOPS BAY
MIDDLETON, WI

PHASE 1: NEW BUILDING

LOCATION MAP



These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final building or construction-related decisions.

10/18/2018

Project No. 10-040

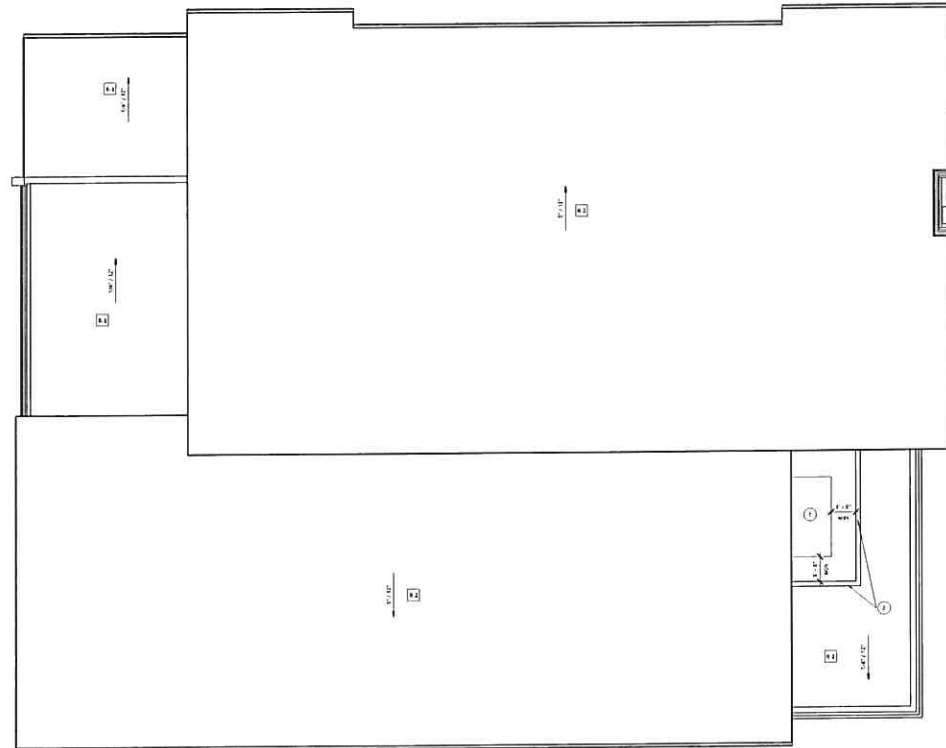
WILL SHEET, SHEET 1
MAP

1948

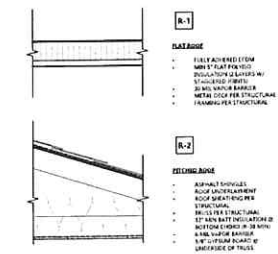
G001

E. Carson Design Group, Inc.

2020-0922 SIP / DESIGN REVIEW SUBMITTAL



- ROOF FLAME RESISTANCE:**
- INDICATE ROOF TYPE, SEE LISTING FOR ROOF TYPE INFORMATION.
 - CONTAIN THE FLAME, CONFINER AND CONTAIN THE FLAME FROM SPREADING AND PLUMBING IS TO BE DONE AND CHANGES, PROVIDE CLIPPING AND PLUMBING AS REQUIRED FOR ROOF FLASHING TO BE DONE AND PLUMBING AS REQUIRED.
 - ALL GABLES, STOPS AND CORNERS TO HAVE CONTINUOUS FOLD-DOWN CORNERS.
 - PROVIDE INTERIOR GABLE STOPS AS NECESSARY AT ROOF GABLES.
 - CONCRETE PANELS, PROVIDE PANELS AS DETECTED FROM ROOF SCOUTS AND LAIDERS TO ALL SERVICE AREAS OF MECHANICAL EQUIPMENT.
 - ALL ROOF FLASHING AND EQUIPMENT CURBS TO BE REACHED PER MANUFACTURER REQUIREMENTS.
 - AS SHOWN ROOFING, PROVIDE EXHAUST ENCLOSURE AT ALL ROOF VALVES AND 10% OF THE ROOF VENTING AREA OF WALL AT ROOF GABLES, AND AS SPECIFICALLY NOTED ON THE DRAWINGS.



PROJECT

**CROSS LUTHERAN
PHASE 1: NEW
BUILDING**

**BISHOPS BAY
MIDDLETON, WI**

ISSUE

1. 10.10.2020

**PROGRESS
DOCUMENTS**

These documents reflect progress and are not final. They are subject to change and should not be used for construction or other related purposes.

PROJECT INFO

DATE: 10.10.2020
PROJECT NO: 10.10.2020

SHEET TITLE

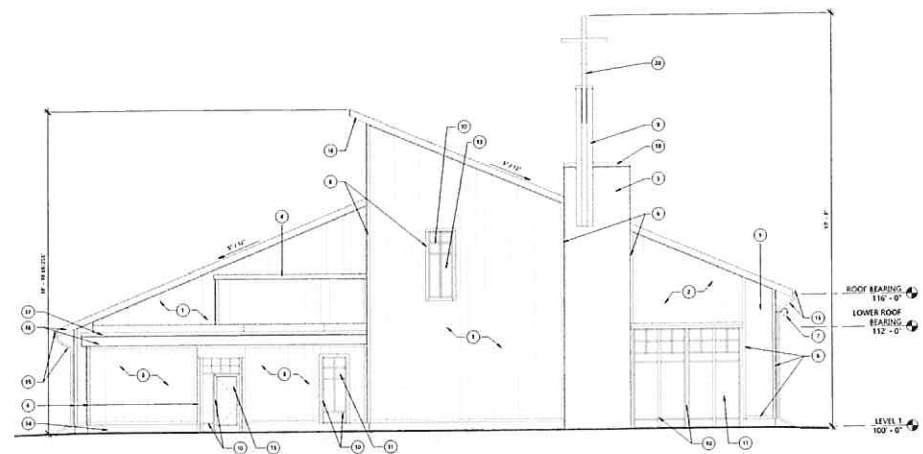
ROOF PLAN

A103

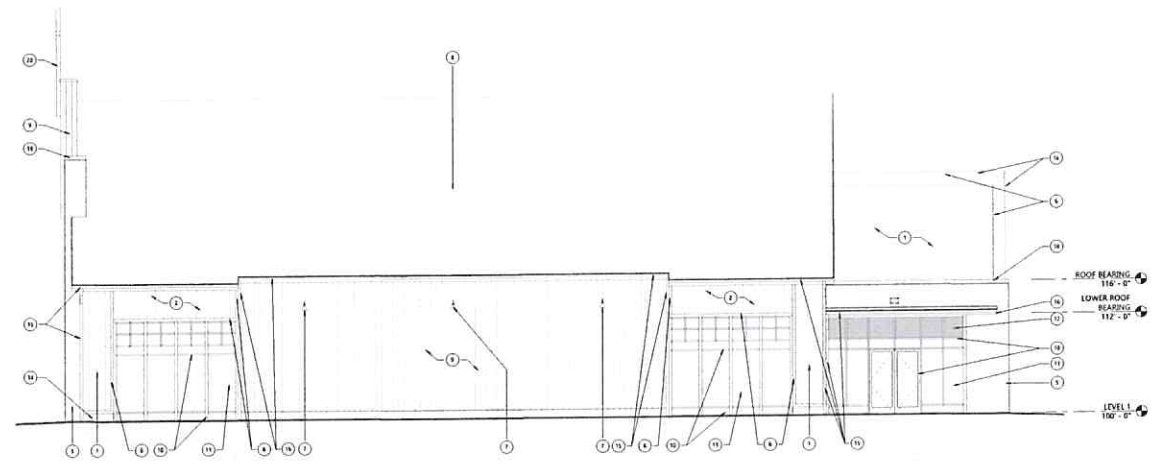
© GROTH DESIGN GROUP, INC.

2020-0722_SIP / DESIGN REVIEW SUBMITTAL

1 ROOF
A103 3/16" = 1'-0"



2 EAST
1/16" = 1'-0"



1 NORTH
1/16" = 1'-0"

- REFERENCED MATERIALS
1. EXTERIOR ROOFING AND FLASHING BY WHITE MARBLE COLOR, PEARL GRAY
 2. EXTERIOR ROOFING AND FLASHING BY WHITE MARBLE COLOR, COUNTRYBANK RED
 3. EXTERIOR ROOFING AND FLASHING BY WHITE MARBLE COLOR, ROOF SYSTEM
 4. ROOFING EQUIPMENT FLASHING BY WHITE MARBLE COLOR, ROOFING EQUIPMENT FLASHING
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 20. EXTERIOR ROOFING AND FLASHING BY WHITE MARBLE COLOR, ROOFING EQUIPMENT FLASHING

GROTH
Design
Group

300 WEST COLUMBIAN
P.O. BOX 141
LEADERSHIP, WISCONSIN 53102
PH: 262.875.8800
FX: 262.875.8800

PROJECT

CROSS LUTHERAN
PHASE 1: NEW
BUILDING

BISHOPS BAY
MIDDLETON, WI

ISSUE

PROGRESS
DOCUMENTS

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and are not final. They are for
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related purposes.

PROJECT INFO

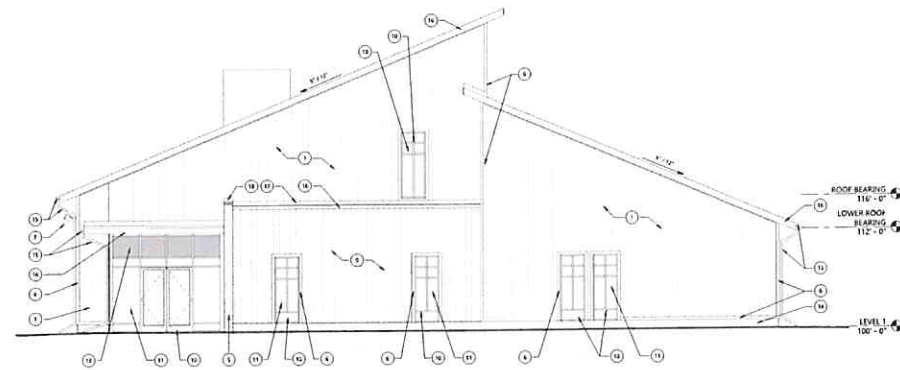
DATE: 06/16/2020
PROJECT: 2020-0722_SIP / DESIGN REVIEW SUBMITTAL
SHEET: 14.000

SHEET TITLE

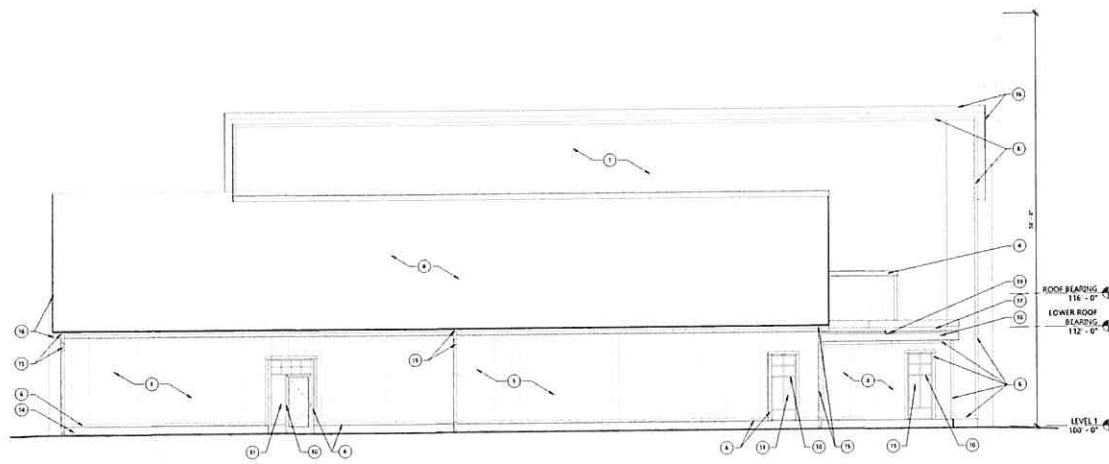
2020-0722_SIP / DESIGN REVIEW SUBMITTAL

A201

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2 WEST
3/16" = 1'-0"



1 SOUTH
3/16" = 1'-0"

| ITEM | DESCRIPTION |
|------|--|
| 1 | CEMENT BOARD AND FASTENERS BY JAMES HARDIE, COLOR PEARL GRAY |
| 2 | CEMENT BOARD AND FASTENERS BY JAMES HARDIE, COLOR LIGHT PEARL GRAY |
| 3 | CEMENT BOARD AND FASTENERS BY JAMES HARDIE, COLOR LIGHT PEARL GRAY |
| 4 | CEMENT BOARD AND FASTENERS BY JAMES HARDIE, COLOR LIGHT PEARL GRAY |
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| 20 | CEMENT BOARD AND FASTENERS BY JAMES HARDIE, COLOR LIGHT PEARL GRAY |
| 21 | CEMENT BOARD AND FASTENERS BY JAMES HARDIE, COLOR LIGHT PEARL GRAY |
| 22 | CEMENT BOARD AND FASTENERS BY JAMES HARDIE, COLOR LIGHT PEARL GRAY |



100 WEST COLUMBIA RD.
P.O. BOX 330
CROSS LUTHERAN, INDIANAPOLIS, IN 46204
PH: (317) 871-8000
FX: (317) 871-8000

PROJECT

CROSS LUTHERAN
PHASE 1: NEW
BUILDING

BISHOPS BAY
MIDDLETON, WI

ISSUE

1. 10/1/2020 - 10/1/2020

PROGRESS DOCUMENTS

These documents are for progress and are not for construction. They are for informational purposes only and should not be used for construction. They are for informational purposes only and should not be used for construction.

PROJECT INFO

DATE: 10/1/2020
PROJECT: 2020-0722-SIP / DESIGN REVIEW SUBMITTAL
10/1/2020

SHEET TITLE

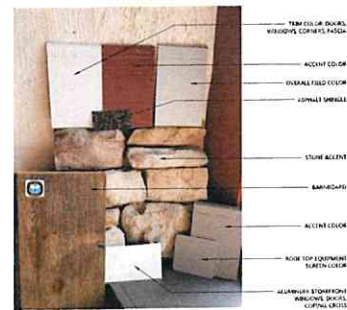
2020-0722-SIP / DESIGN REVIEW SUBMITTAL

A202

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EAST VIEW
N.T.S.



NORTHEAST VIEW
N.T.S.



NORTHWEST VIEW
N.T.S.

GROTH
Design
Group
100 WEST COLUMBIA RD.
PO BOX 310
CLARKSBURG, MARYLAND 21714
PH: (301) 877-1000
FX: (301) 877-1000

PROJECT

**CROSS LUTHERAN
PHASE 1: NEW
BUILDING**

**BISHOPS BAY
MIDDLETON, WI**

ISSUE

1. 01. 2020 - 10.2020

**PROGRESS
DOCUMENTS**

These documents reflect progress
and are not for construction. Any
changes to design or additional work
must be approved by the architect.
Drawings and documents should not be used
for field building or construction
related purposes.

PROJECT INFO

DATE: 10.2020
PROJECT NO: 10000
10.2020

SHEET TITLE

PHASE 1: NEW BUILDING (N.T.S.)

A203

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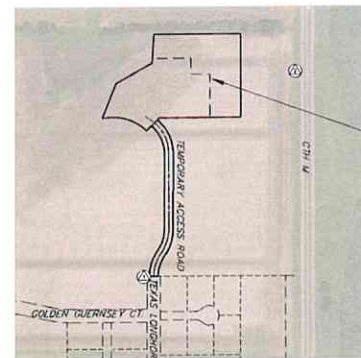
2020-0722_SIP / DESIGN REVIEW SUBMITTAL

| | |
|-------------------------------------|--------------------------------|
| SITE PHOTOGRAPHIC PLAN PHASE I | |
| DRAWN BY DATE DRAWN 6-24-2008 | JOB NUMBER APPROVED DATE |
| SHEET 1 | |
| ES100 | |

CROSS LUTHERAN CHURCH

PHASE 1

TOWN OF WESTPORT, WISCONSIN



| SHEET NO. | DESCRIPTION |
|-----------|--|
| C000 | TITLE SHEET |
| C100 | EXISTING CONDITIONS & DEMOLITION PLAN |
| C200 | SITE PLAN |
| C300 | OVERALL GRADING & EROSION CONTROL PLAN |
| C301 | GRADING & EROSION CONTROL PLAN |
| C400 | UTILITY PLAN |
| C401 | UTILITY PLAN - ACCESS ROAD - 1 |
| C402 | UTILITY PLAN - ACCESS ROAD - 2 |
| C500 | CONSTRUCTION DETAILS - 1 |
| C501 | CONSTRUCTION DETAILS - 2 |
| C502 | CONSTRUCTION DETAILS - 3 |
| C503 | CONSTRUCTION DETAILS - 4 |
| L100 | LANDSCAPE PLAN |

NOT FOR CONSTRUCTION

DIGGERS HOTLINE
Dial 811 or (800) 242-0511
www.diggershotline.com

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND SURFACE, HAS BEEN REVEALED BY THE OWNER AND IS REPRESENTED BY THE EXISTING UTILITIES SYMBOLS. THE EXISTING UTILITIES SYMBOLS ARE NOT TO BE USED TO LOCATE EXISTING UTILITIES. THE EXISTING UTILITIES SYMBOLS ARE NOT TO BE USED TO LOCATE EXISTING UTILITIES. THE EXISTING UTILITIES SYMBOLS ARE NOT TO BE USED TO LOCATE EXISTING UTILITIES.

CALL DIGGERS HOTLINE
1-800-242-0511

SITE BENCHMARKS

- BENCHMARK #1
HYDRAULIC TIE NUT
ELEV = 811.87
- BENCHMARK #2
P.O.
ELEV = 813.47



PROJECT

CROSS LUTHERAN
PHASE 1: NEW
BUILDING

BISHOPS BAY
MIDDLETON, WI

ISSUE

1.00 - 1.00 - 1.00

PROGRESS DOCUMENTS

1.00 - 1.00 - 1.00

PROJECT INFO

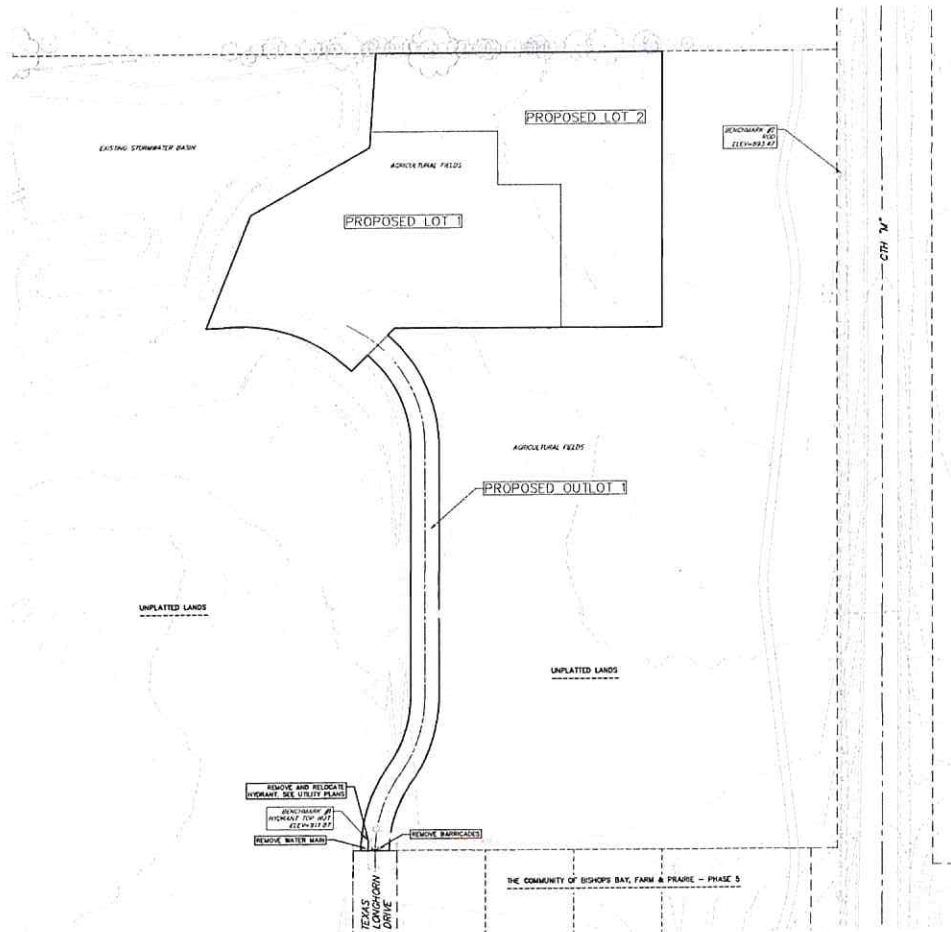
1.00 - 1.00 - 1.00

SHEET TITLE

1.00 - 1.00 - 1.00

C000

2020-0922 SIP / DESIGN SUBMITTAL



TOPOGRAPHIC SYMBOL LEGEND

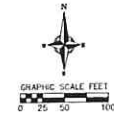
- EXISTING BOLLARD
- EXISTING FLAG POLE
- EXISTING MAILBOX
- EXISTING MONITORING WELL
- EXISTING POST
- EXISTING SIGN (TYPE NOTED)
- EXISTING PARKING METER
- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING FIELD INLET RECTANGULAR
- EXISTING FIELD INLET
- EXISTING ROOF DRAIN CLEANOUT
- EXISTING ROAD DRAIN
- EXISTING STORM MANHOLE
- EXISTING STORM MANHOLE RECTANGULAR
- EXISTING SANITARY CLEANOUT
- EXISTING SANITARY MANHOLE
- EXISTING SEPTIC VENT
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING WELL
- EXISTING WATER MANHOLE
- EXISTING GAS VALVE
- EXISTING GAS METER
- EXISTING AIR CONDITIONING PREDESTAL
- EXISTING DOWN GUY
- EXISTING ELECTRIC MANHOLE
- EXISTING ELECTRIC RECTANGULAR MANHOLE
- EXISTING ELECTRIC PEDESTAL
- EXISTING BRANCH DRAIN
- EXISTING ELECTRIC METER
- EXISTING GUY POLE
- EXISTING LIGHT POLE
- EXISTING LAMPOD LIGHT
- EXISTING UTILITY POLE
- EXISTING TV MANHOLE
- EXISTING TV RECTANGULAR MANHOLE
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED MANHOLE
- EXISTING UNIDENTIFIED UTILITY VAULT
- EXISTING HANDICAP PARKING
- EXISTING TRAFFIC SIGNAL
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING BORING

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING UNDERGROUND CABLE TV
- EXISTING OVERHEAD CABLE TV
- EXISTING FIBER OPTIC LINE
- EXISTING OVERHEAD TELEPHONE LINE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING RETAINING WALL
- EXISTING CHAIN LINK FENCE
- EXISTING GENERAL FENCE
- EXISTING WIRE FENCE
- EXISTING WOOD FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING GUY LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY FORCE MAIN (SIZE NOTED)
- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING EDGE OF TREES
- EXISTING WATER MAIN (SIZE NOTED)
- EXISTING WETLAND DELINEATION
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

EXISTING CONTOURS SHOWN ARE FROM AN AERIAL SURVEY CONDUCTED IN 2008. WITH THE SUBSEQUENT ADDITION OF TOPOGRAPHIC SURVEYS PERFORMED IN 2010, 2013, 2014, 2015, 2017, 2018 AND 2019.

NOT FOR CONSTRUCTION



400 WEST LEXINGTON
SUITE 300
COLUMBIA, MO 65201-4444
PH: (314) 378-0001
FX: (314) 378-0044



PROJECT

CROSS LUTHERAN
PHASE 1: NEW
BUILDING

BISHOPS BAY
MIDDLETON, WI

ISSUE

1. PRELIMINARY

PROGRESS DOCUMENTS

1. PRELIMINARY
2. PRELIMINARY
3. PRELIMINARY
4. PRELIMINARY
5. PRELIMINARY
6. PRELIMINARY
7. PRELIMINARY
8. PRELIMINARY
9. PRELIMINARY
10. PRELIMINARY

PROJECT INFO

DATE: 10/1/2019
PROJECT: CROSS LUTHERAN
PHASE 1: NEW BUILDING

SHEET INFO

SHEET: C100
SHEET TITLE: PRELIMINARY CONCEPTS AND CONCEPTUAL PLAN

C100

2020-0723 SIP / DESIGN SUBMITTAL

SITE PLAN NOTES

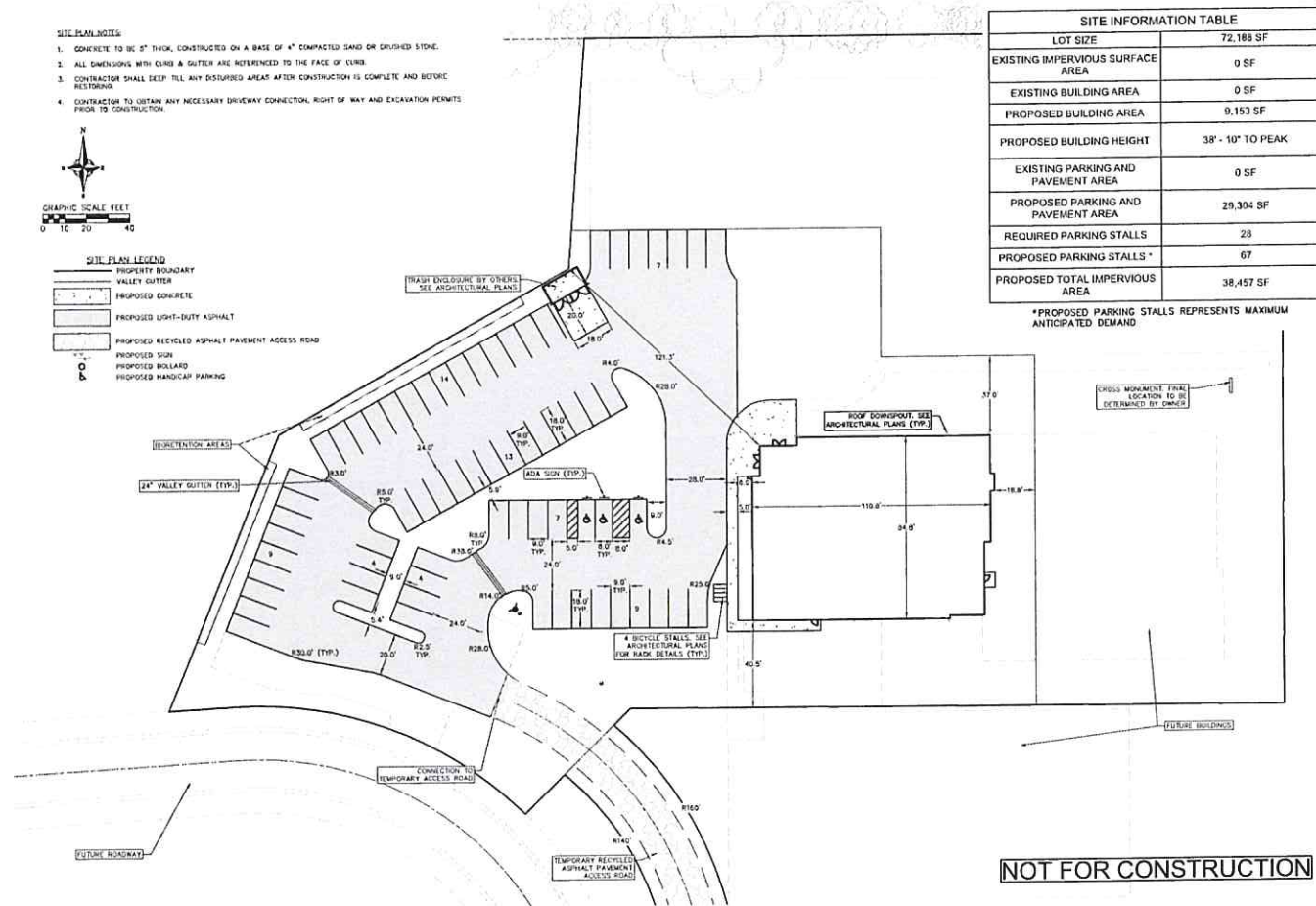
1. CONCRETE TO BE 6" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
3. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTRIPING.
4. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.



GRAPHIC SCALE FEET
0 10 20 40

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- VALLEY GUTTER
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED RECYCLED ASPHALT PAVEMENT ACCESS ROAD
- PROPOSED SIGN
- PROPOSED BOLLARD
- PROPOSED HANDICAP PARKING



| SITE INFORMATION TABLE | |
|------------------------------------|-------------------|
| LOT SIZE | 72,188 SF |
| EXISTING IMPERVIOUS SURFACE AREA | 0 SF |
| EXISTING BUILDING AREA | 0 SF |
| PROPOSED BUILDING AREA | 9,153 SF |
| PROPOSED BUILDING HEIGHT | 38' - 10" TO PEAK |
| EXISTING PARKING AND PAVEMENT AREA | 0 SF |
| PROPOSED PARKING AND PAVEMENT AREA | 29,304 SF |
| REQUIRED PARKING STALLS | 28 |
| PROPOSED PARKING STALLS* | 67 |
| PROPOSED TOTAL IMPERVIOUS AREA | 38,457 SF |

*PROPOSED PARKING STALLS REPRESENTS MAXIMUM ANTICIPATED DEMAND



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PROGRESS DOCUMENTS

PROJECT

CROSS LUTHERAN
PHASE 1: NEW
BUILDING

BISHOPS BAY
MIDDLETON, WI

ISSUE

1. PRELIMINARY

PROGRESS DOCUMENTS

These documents are for informational purposes only and are not to be used for construction. They are subject to change without notice.

PROJECT INFO

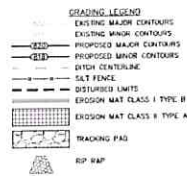
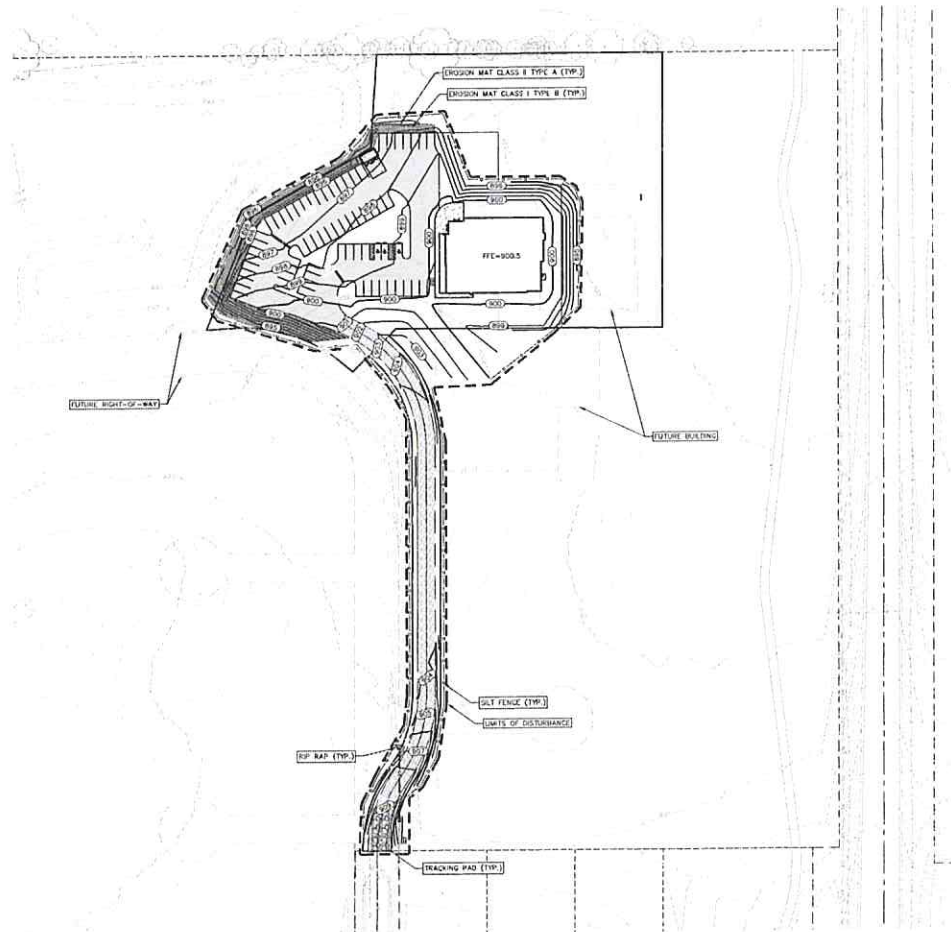
DATE: 8/1/2020
PROJECT: 2020-0922 31P

SHEET INFO

17/18/24

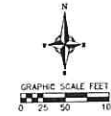
C200

2020-0922 31P / DESIGN SUBMITTAL



GRADING NOTES:
 1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING BENCH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
 2. SEE DETAIL SHEETS FOR EROSION CONTROL, NOTES AND CONSTRUCTION SEQUENCE.

NOT FOR CONSTRUCTION



PROJECT

**CROSS LUTHERAN
 PHASE 1: NEW
 BUILDING**

**BISHOPS BAY
 MIDDLETON, WI**

ISSUE

**PROGRESS
 DOCUMENTS**

PROJECT INFO
 DATE: 8/11/2023
 DRAWN BY: [blank]
 CHECKED BY: [blank]

SHEET TITLE
 VERBICHER, L.P. DESIGN, INC.
 1000 W. WISCONSIN AVENUE, SUITE 100, MILWAUKEE, WI 53233

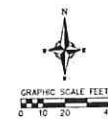
C300

3020-0923 SIP / DESIGN SUBMITTAL

TOP OF BERM = 896.00
PAVED SURFACE = 897.00
BATCH BOTTOM = 898.00

- GRADING NOTES:
1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
 2. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.

NOT FOR CONSTRUCTION



- GRADING LEGEND
- EXISTING MAJOR CONTOURS
 - EXISTING MINOR CONTOURS
 - PROPOSED MAJOR CONTOURS
 - PROPOSED MINOR CONTOURS
 - DITCH CENTERLINE
 - SILT FENCE
 - EROSION LIMITS
 - EROSION MAT CLASS 1 TYPE B
 - EROSION MAT CLASS 1 TYPE A
 - DRAINAGE DIRECTION
 - PROPOSED SLOPE ANNOTATIONS
 - EXISTING SPOT ELEVATIONS
 - PROPOSED SPOT ELEVATIONS



400 WEST COLLEGE RD.
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vierbicher
ARCHITECTS & INTERIORS
DESIGN

PROJECT

CROSS LUTHERAN
PHASE 1: NEW
BUILDING

BISHOPS BAY
MIDDLETON, WI

ISSUE

NO. 001
DATE 01/11/2020

PROGRESS
DOCUMENTS

These documents reflect the current status of the project and are subject to change without notice. The user is responsible for verifying the accuracy of the information presented herein.

PROJECT INFO

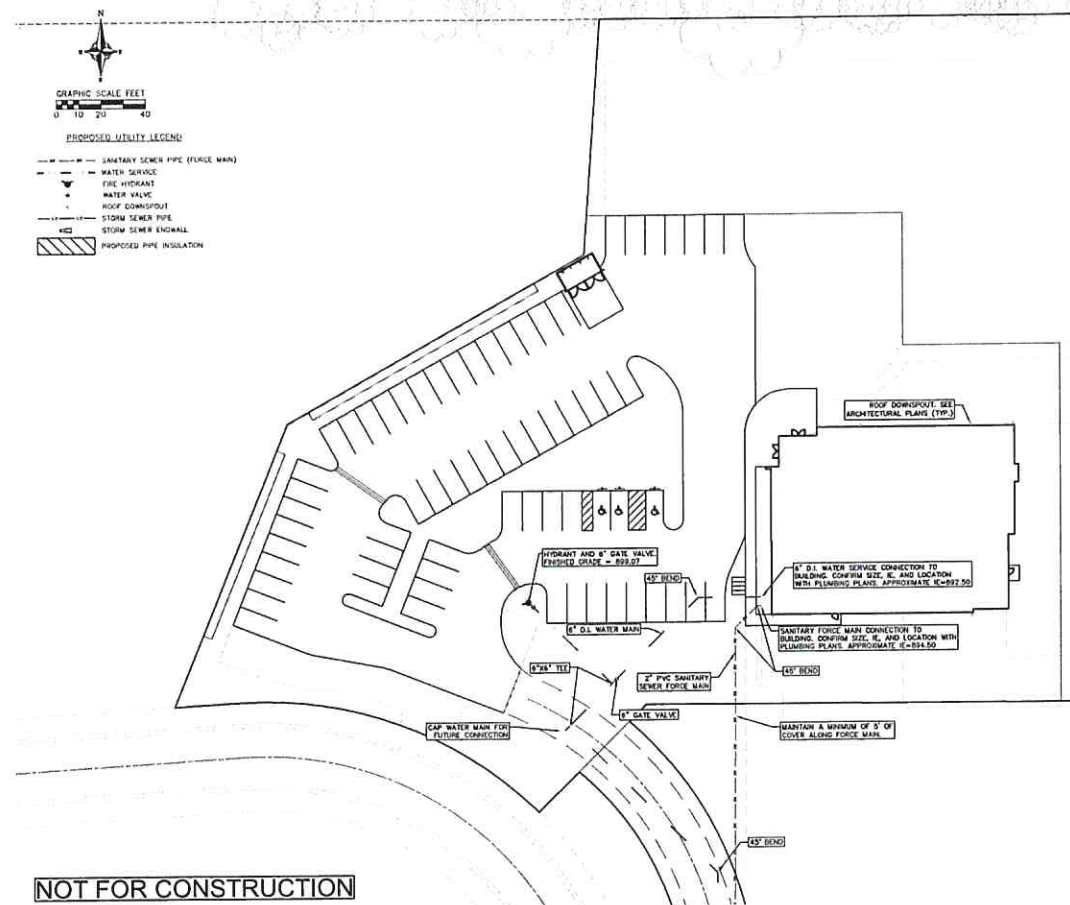
NO. 001
DATE 01/11/2020
PROJECT NO.
PROJECT NAME

SHEET INFO

DATE OF SHEET
SHEET NO.

C301

2020-0922 SIP / DESIGN SUBMITTAL



1. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF EASE, EASEMENT, EASE OF ACCESS, EASE OF WAY, EASE OF RIGHT AND EASEMENT PERMITS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO STORM SEWER LINE/SEWER SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END OF STRUCTURE SHALL BE 10' MINIMUM FROM EXISTING SIDEWALK OR DRIVE.
4. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY LOCATIONS TO FIT WITHIN THE EXISTING RIGHT-OF-WAY, SIDEWALKS, DRIVE AND CURB STOP(S), IF NECESSARY.
6. FOR ALL SEWER AND WATER MAIN CROSSINGS PROVIDE MINIMUM 18" CLEARANCE TO EXISTING UTILITY. PROVIDE 18" MINIMUM FOR WATER MAINS AND 36" MINIMUM FOR SEWERS. WHEN WATER MAIN CROSSES ABOVE SEWER, PROVIDE 36" MINIMUM CLEARANCE.
7. IF EXHAUSTING OPERATIONS EXCEED 10 GALLONS PER MINUTE OF PUMPING CAPACITY, A EXHAUSTING WELL SHALL BE INSTALLED TO PREVENT FLOODING OF THE EXISTING STRUCTURE.
8. A COPY OF THE APPROVED UTILITY PLAN, SPECIFICATIONS AND PUMPING PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER PRIOR TO CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED PERSONNEL AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
9. CONTRACTOR SHALL SERVICE ENDS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING DRAINAGE COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR TO PREVENT CONFLICTS. CONTRACTOR SHALL BE RESPONSIBLE FOR POSTALIZATION OF ANY NEW UTILITIES.
10. STORM BUILDING LINE/PIPE SHALL CONFORM TO ONE OF THE FOLLOWING STANDARDS LISTED IN TABLE 304.30-2 OF SPS.
11. UNDERGROUND DRAIN AND WATER PIPE/PIPELINES SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 304.30-2 OF SPS.
12. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 304.30-2 OF SPS.
13. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYETHYLENE GLYCOL (PE) ASTM D3034, 36" - 36" OR APPROVED EQUAL OR LARGER. EXISTING PRIVATE WATER MAINS SHALL CONFORM TO TABLE 304.30-3 OF SPS OR ASTM D3022(3).
A. IF A MEANS TO LOCATE BURIED UNDERGROUND EXISTING WORK IS PROVIDED TO THE SEWER CONTRACTOR, THE SEWER CONTRACTOR SHALL BE AGREED WITH TRACER WORK OR OTHER METHOD IN ORDER TO BE IN ACCORDANCE WITH SPS 304.30-3 AND 304.30-2(3).
14. EXISTING WATER SUPPLY PIPES/PIPES AND CASINGS SHALL BE IN ACCORDANCE WITH SPS 304.20-2(3).
15. NO IN-ROADWAY WORK IN PLUMBING WORK IN THE STATE OF TEXAS (SEE SPS 304.20-2(3) FOR THE CITY OF DALLAS) SAFETY AND PROFESSIONAL SERVICES PER §149.00.
16. SPS CONTRACTOR SHALL LEAVE EXISTING SANITARY AND WATER LATERAL SEWER AND WATER MAINS UNTOUCHED FROM THE BUILDING. EXISTING BUILDING PIPES SHALL VERIFY SIZE, LOCATION, MATERIALS AND DEPTHS OF EXISTING PIPES AND LATERALS.
17. IF IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING WATERS, THE CITY IS NOT RESPONSIBLE FOR ANY COSTS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING WATER WILL HOLD THE PRESSURE TEST FROM 10' TO 15' MINIMUM. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT IT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONSTRUCTION.
18. CONTRACTOR TO DISINFECT AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES.
19. CONTRACTOR SEWER MAIN AT BURIED DEPTHS DEEPER THAN 15" SHALL BE 18" MINIMUM. ALL OTHER SEWER MAINS SHALL BE 18" MINIMUM.
20. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE. CONTRACTOR MAY BE REQUIRED TO PROVIDE PROTECTIVE MEASURES TO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES IN EXISTING UTILITY.
21. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6" FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF PROPOSED CURB OR SIDEWALK. WATER MAINS CROSSINGS BELOW SEWER AND MINIMUM 5' IF WATER CROSSING ABOVE SEWER.
22. BUILDING MAINS WITH SEWER MAIN CONNECTIONS CANNOT BE 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH 18" MINIMUM DEPTH. MAINS WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH 18" MINIMUM DEPTH.
23. INSTALL A SHEET OF 4"x8"x1/4" HIGH DENSITY STYROFOAM PROTECTION AT ALL LOCATIONS WHERE SEWER MAIN CROSSES ABOVE CURB OR WATER LATERAL CROSSING.



NO. 96151 LOUISIANA
P.O. #C-312
LEONARD WOLFFMAN (K)

84-282 377-6201
88-222 377-0418



PROJECT

**CROSS LUTHERAN
PHASE 1: NEW
BUILDING**

**BISHOPS BAY
MIDDLETON, WI**

ISSUE

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PROGRESS
DOCUMENTS

These documents reflect progress and a clear road map for the subject to change, including personnel staff. These are not final thoughts, comments and should not be used for final testing or assessment, but rather a guide.

PROJECT INFO

3-11-76

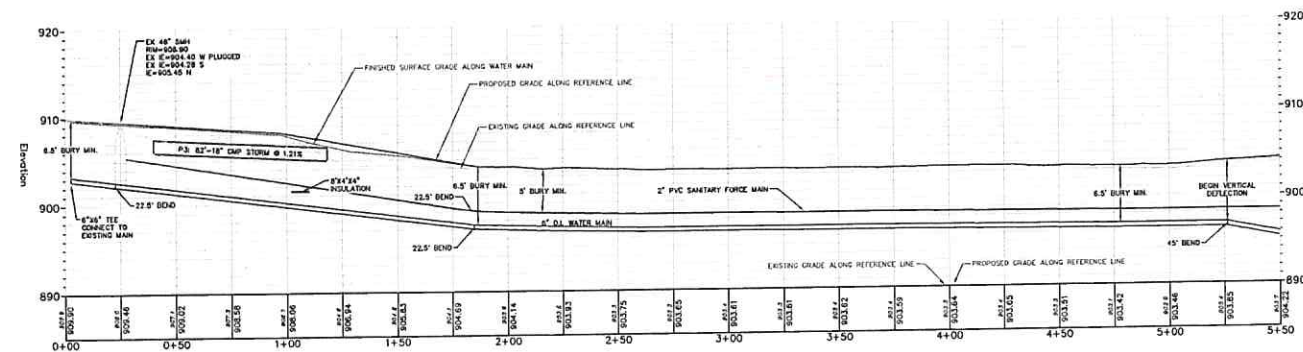
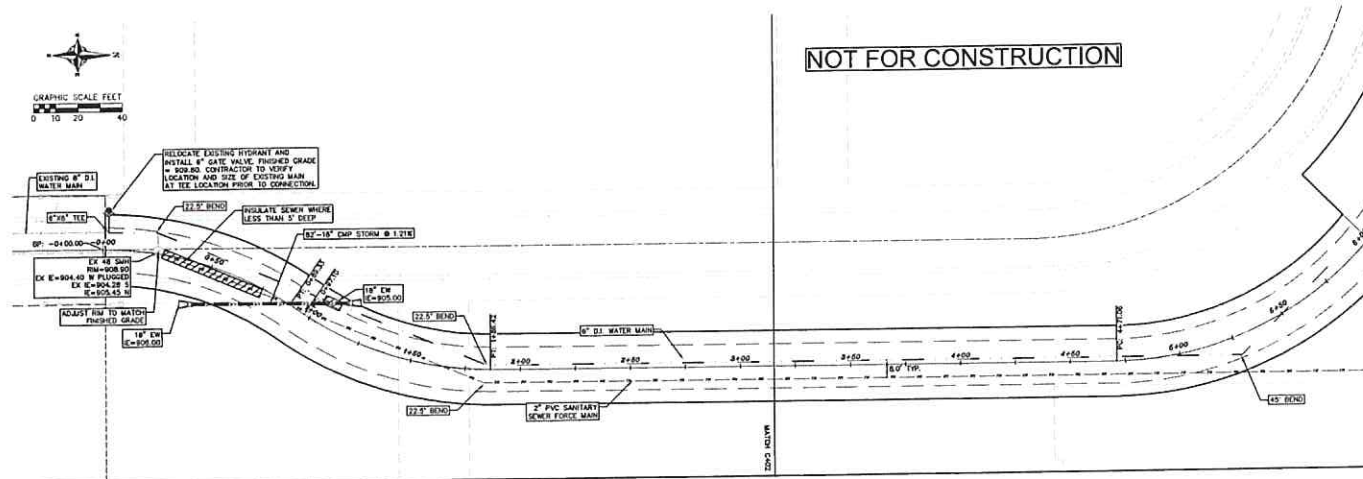
SHEET TITLE

STUDENT EVALUATION

C400

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2020-0922 SIP / DESIGN SUBMITTAL



GROTH
Design
Group

400 WEST LUTHER ROAD
PO BOX 100
CROSS LUTHER, WI 53005
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FX: (262) 877-8800

vierbicher
ARCHITECTS

PROJECT

CROSS LUTHERAN
PHASE 1: NEW
BUILDING

BISHOPS BAY
MIDDLETON, WI

ISSUE

1. PRELIMINARY

PROGRESS DOCUMENTS

This document is a preliminary design and is not for construction. It is subject to change without notice. The owner is responsible for obtaining all necessary permits and approvals. The design is based on the information provided by the owner and is not a guarantee of performance.

PROJECT INFO

DATE: 10/1/2020

PROJECT: CROSS LUTHERAN

PHASE: 1: NEW BUILDING

ISSUE: 1. PRELIMINARY

DESIGNER: GROTH DESIGN GROUP

CLIENT: CROSS LUTHERAN

LOCATION: BISHOPS BAY, MIDDLETON, WI

DATE: 10/1/2020

PROJECT: CROSS LUTHERAN

PHASE: 1: NEW BUILDING

ISSUE: 1. PRELIMINARY

DESIGNER: GROTH DESIGN GROUP

CLIENT: CROSS LUTHERAN

LOCATION: BISHOPS BAY, MIDDLETON, WI

DATE: 10/1/2020

PROJECT: CROSS LUTHERAN

PHASE: 1: NEW BUILDING

ISSUE: 1. PRELIMINARY

DESIGNER: GROTH DESIGN GROUP

CLIENT: CROSS LUTHERAN

LOCATION: BISHOPS BAY, MIDDLETON, WI

DATE: 10/1/2020

PROJECT: CROSS LUTHERAN

PHASE: 1: NEW BUILDING

ISSUE: 1. PRELIMINARY

DESIGNER: GROTH DESIGN GROUP

CLIENT: CROSS LUTHERAN

LOCATION: BISHOPS BAY, MIDDLETON, WI

DATE: 10/1/2020

PROJECT: CROSS LUTHERAN

PHASE: 1: NEW BUILDING

ISSUE: 1. PRELIMINARY

DESIGNER: GROTH DESIGN GROUP

CLIENT: CROSS LUTHERAN

LOCATION: BISHOPS BAY, MIDDLETON, WI

DATE: 10/1/2020

PROJECT: CROSS LUTHERAN

PHASE: 1: NEW BUILDING

ISSUE: 1. PRELIMINARY

DESIGNER: GROTH DESIGN GROUP

CLIENT: CROSS LUTHERAN

LOCATION: BISHOPS BAY, MIDDLETON, WI

DATE: 10/1/2020

PROJECT: CROSS LUTHERAN

PHASE: 1: NEW BUILDING

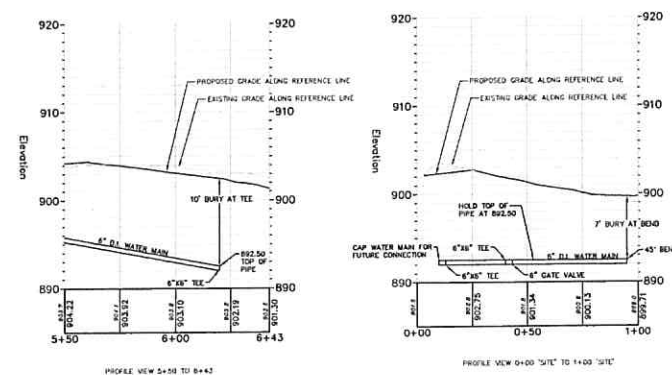
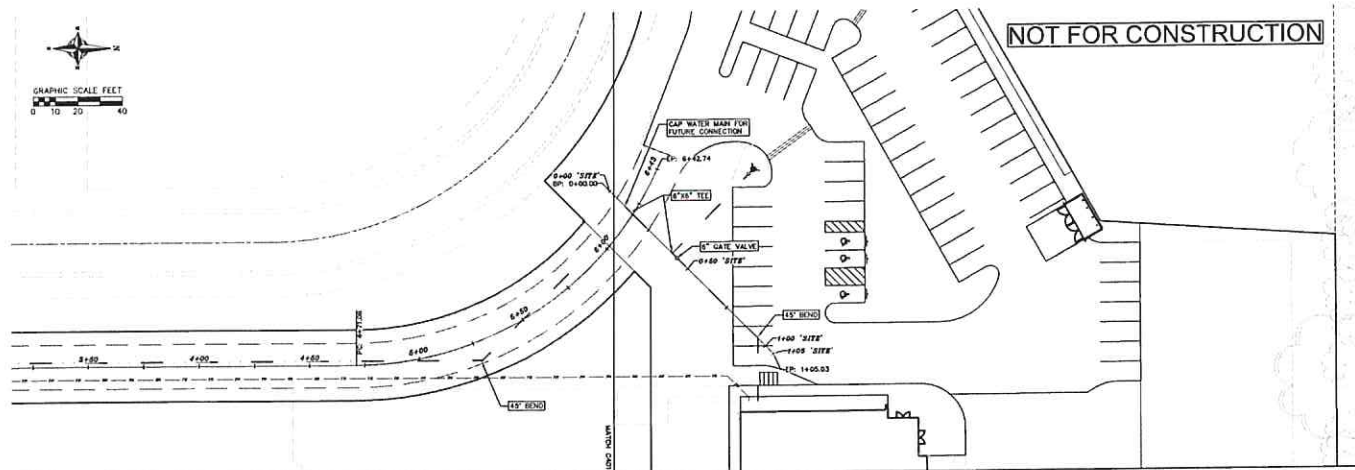
ISSUE: 1. PRELIMINARY

DESIGNER: GROTH DESIGN GROUP

CLIENT: CROSS LUTHERAN

C401

2020-0922 SIP / DESIGN SUBMITTAL



PROJECT

CROSS LUTHERAN
PHASE 1: NEW
BUILDING

BISHOPS BAY
MIDDLETON, WI

ISSUE

1.00 - PRELIMINARY

PROGRESS
DOCUMENTS

These documents reflect progress
and they may be subject to
change. It is the responsibility of the
owner to verify the information
presented in these documents before
reliance is placed on them.

PROJECT INFO

DATE: 10/1/2020
PROJECT: CROSS LUTHERAN
TRAIL: 100 WEST LUTHERAN RD

SHEET TITLE

100 WEST LUTHERAN RD - 100' X 100' ADJACENT

C402

2020-0722 SIP / DESIGN SUBMITTAL

[illegible]

TEMPERATURE
1. USE ANNUAL DATE AT 1.0 LB./1,000 S.F. FOR SPRING AND
SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 S.F. FOR FALL
PLANTINGS STARTED
AFTER SEPTEMBER 15.

2. SITE: MADISON PARKS MIX BY LACROSSE SEED COMPANY OR EQUIVALENT, PER MANUFACTURER SPECIFIED APPLICATION RATE.

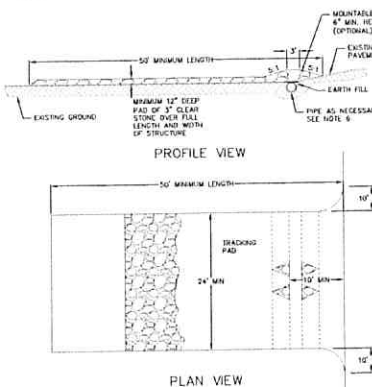
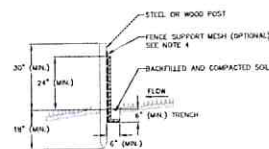
TEMPORARY AND PERMANENT
USE WISCONSIN DOT TYPE A OR B AT 2 LB./1,000 SF

TEMPORARY AND PERMANENT:
USE 2" TO 4" STRAW OR HAY MULCH, CRIMPED PER
SECTION 807.3.2.3. ON OTHER RATE AND METHOD PER SECTION
622, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR
HIGHWAY AND STRUCTURE CONSTRUCTION

1. INSTALL EROSION CONTROL MEASURES
2. CONDUCT DEMOLITION
3. STRIP TOPSOIL - SITE
4. ROUGH GRADE - SITE
5. CONSTRUCT UNDERGROUND UTILITIES
6. INSTALL INLET PROTECTION IN NEW INLETS
7. CONSTRUCT BUILDING
8. CONSTRUCT PAVEMENT
9. FINAL GRADE AND RESTORE DISTURBED AREAS
10. REMOVE EROSION CONTROL MEASURES AFTER DISTURBED AREAS ARE PAVED AND VEGETATION IS RE-ESTABLISHED



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-ON-CELL, DO NOT USE VAPOR-BARRIER AREA-ON-SEED METHOD. BE INSTALLED WITH PAPER SOIL COVER.
BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH BACKFILL AND COMPACTED.
LAP THE BLANKETS TOGETHER BY 6" TO 12" HORIZONTALLY ACROSS THE SLOPE. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED TO APPROXIMATELY 2' OVERLAP.
PARALLEL BLANKETS MUST BE SPUN DOWN THE SLOPE, PLACED BACKLAPS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4' OVERLAP. STAPLE BLANKETS TO THE OVERLAP AND TO THE SLOPE.
ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.



1. FALLOW MINIMUM PER FOOT: STANDARD 1003 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'
3. WIDTH - 24" MINIMUM, UNLESS AS FILED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED UNDER EXISTING GROUND SURFACE TO PLACING STONE. FABRIC SHALL BE 12" WIDE AND 10' LONG.
5. STONE - CRUSHED #3 CLEAN STONE SHALL BE PLACED AT A MINIMUM 2" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER DRAINAGE - IF THE EXISTING DRAINAGE IS NOT SUFFICIENT TO DISCHARGE OVERFLOW, THE EXISTING DRAINAGE SHALL BE ENLARGED TO ACCOMMODATE THE EXCESS FLOW. IF THE EXISTING DRAINAGE IS NOT SUFFICIENT TO DISCHARGE OVERFLOW, THE EXISTING DRAINAGE SHALL BE ENLARGED TO ACCOMMODATE THE EXCESS FLOW.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE.



**CROSS LUTHERAN
PHASE I: NEW
BUILDING**

BISHOPS BAY
MIDDLETON, WI

ISSUE

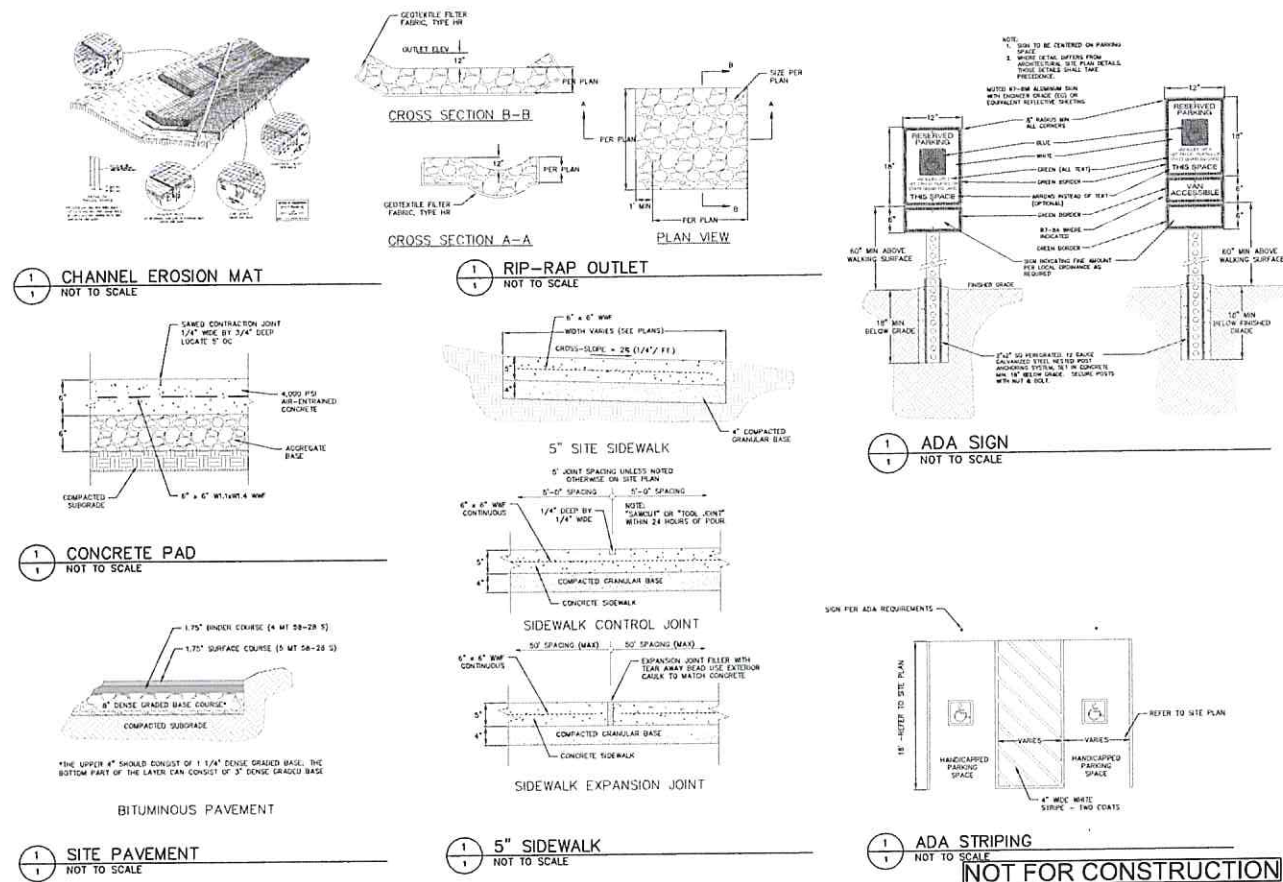
These documents reflect progress and a new tool may be subject to change, including potential data. These are not final recommendations, and should not be used for final planning or execution.

[illegible]

STRENGTH-STEERING

C500

DESIGN SUBMITTAL



vierbicher
ARCHITECTS

PROJECT

CROSS LUTHERAN
PHASE 1: NEW
BUILDING

BISHOPS BAY
MIDDLETON, WI

ISSUE

10-10-2020 10-10-2020

PROGRESS DOCUMENTS

These documents reflect progress
with them and have not been
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revision. They are not for construction.
They are for informational purposes
only and should not be used for
construction.

PROJECT INFO

10-10-2020
10-10-2020
10-10-2020

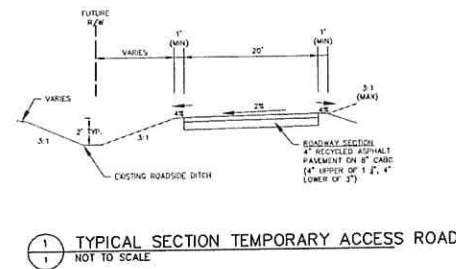
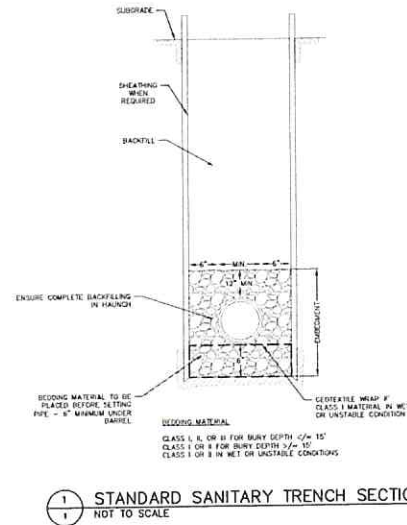
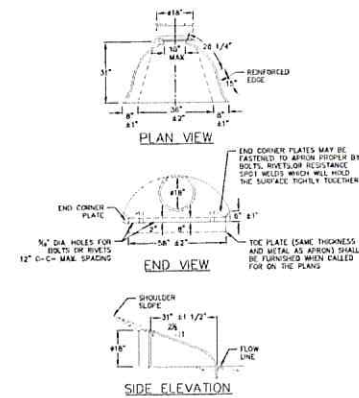
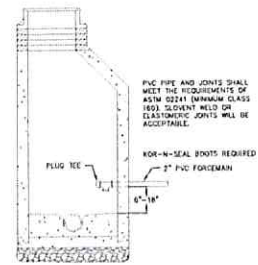
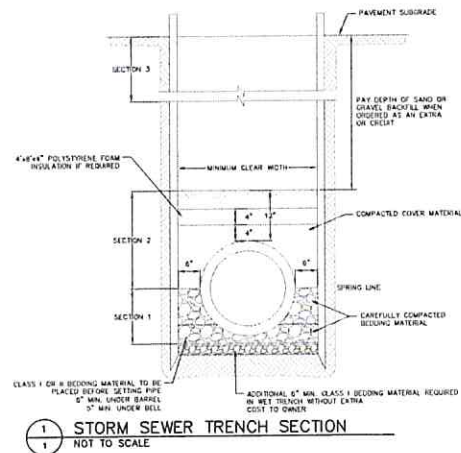
SHEET TITLE

CONSTRUCTION SUBMITTAL

C501

2020-0522 SIP / DESIGN SUBMITTAL

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PROJECT

**CROSS LUTHERAN
PHASE 1: NEW
BUILDING**

**BISHOPS BAY
MIDDLETON, WI**

DATE

BY

**PROGRESS
DOCUMENTS**

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PROJECT INFO

NO.

DATE

BY

DATE

SHEET INFO

CONTRACT NO.

PROJECT NO.

SHEET NO.

C503

2020-0722 31P / DESIGN SUBMITTAL

AGENDA ITEM #8:

Sign Design Group Report/Items for Action

**TOWN OF WESTPORT
SIGN DESIGN GROUP**
Kennedy Administration Building
Community Meeting Room
5387 Mary Lake Road
Waunakee, WI 53597

Virtual Meeting Via GoToMeeting

PLEASE TAKE NOTICE that this meeting will take place virtually via GoToMeeting. Please join the meeting from your computer, tablet or smartphone by visiting <https://global.gotomeeting.com/join/211611805>. You can also participate by phone by dialing +1 (571) 317-3122 and use access code: 211-611-805. If you are new to GoToMeeting, get the app and be ready when the meeting starts. You may be muted or be asked to mute your device.

AGENDA - Wednesday, October 21, 2020 4:00 pm

This meeting is being noticed as a possible gathering of quorum of the Westport Town Board and/or Plan Commission due to the possible attendance of Supervisors or Commissioners not appointed to the Group. Supervisors or Commissioners may discuss items on this agenda, or gather information on these items, but no action will be taken on these items as the Town Board or Plan Commission.

1. Call to Order
2. Public Comment On Matters Not On the Agenda
3. Approve Minutes
4. Design Guidelines Commercial Sign Items Discussion/Action
5. Internal Sign Items, Potential Branding, Discussion/Action
6. Welcome/Entrance Sign Items Discussion/Action
7. Miscellaneous Business/Forthcoming Events
8. Adjourn

If you need reasonable accommodations to access these meetings, please contact the clerk's office at 849-4372 at least three business days in advance so arrangements can be made to accommodate the request.

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Minutes - September 16, 2020

The meeting was called to order at 4:02 p.m. by Chair Cuccia via GoToMeeting video conferencing. Members in attendance: John Cuccia, Amy Freidig, Chris Moore, Joe Pichette, Mark Trotter and Tom Wilson. Members absent: None. No others were present.

There was no public comment on matters not on the agenda.

The group had a discussion about the items referred to it to report back to the Plan Commission. The general discussion centered on the following:

1. Work on Design Guidelines regarding commercial signs generally as or if needed, but specifically as to the height of signs;
2. Work on guidelines for internal use signs such as park, historical and wayfaring signs, with consideration given to whether the Town should include this as some type of re-branding exercise, and whether this will create the need for some outside contractor work and use of Town funds; and,
3. Work on uniform Town welcome signs.

Based on these work items, several work assignments were then discussed for the next meeting. It was also discussed how to bring in the public to comment on these items. Trotter will take some pictures of the Town welcome signs and other welcome signs and send to Wilson for distribution. All should go through the Design Guidelines sign section and come prepared to discuss at the next meeting, specifically regarding thoughts about sign height. Wilson will take a survey of neighboring communities about internal sign design and branding and report back. Moore will also gather examples of these types of sign designs and send to Wilson to distribute. Cuccia also stated that all members should look around as to these types of signs and submit examples to Wilson as they feel appropriate.

For Miscellaneous Business/Forthcoming Events, the next meeting will be October 21, 2020 at 4:00 p.m., and the third Wednesday of the month at 4:00 p.m. thereafter through the end of the year.

Motion to adjourn by Trotter, second Pichette. The meeting adjourned at 5:05 p.m.

Respectfully Submitted,

Thomas G. Wilson, Recording Secretary
Town Attorney/Administrator/Clerk-Treasurer