

TOWN OF WESTPORT
REGULAR PLAN COMMISSION MEETING
Kennedy Administration Building
Community Meeting Room
5387 Mary Lake Road
Town of Westport, Wisconsin

Virtual Meeting Via GoToMeeting

PLEASE TAKE NOTICE that this meeting will take place virtually via GoToMeeting.

Please join the meeting from your computer, tablet or smart phone by visiting <https://global.gotomeeting.com/join/368522029>. You can also participate by phone by dialing +1 (571) 317-3122 and use access code: 368-522-029. If you are new to GoToMeeting, get the app and be ready when the meeting starts. You may be muted or be asked to mute your device.

AGENDA - September 13, 2021 7:00 p.m.

This meeting is being noticed as a possible gathering of a quorum of the Westport Town Board due to the possible attendance of Supervisors not appointed to the Commission. Supervisors may discuss items on this agenda, or gather information on these items, but no action will be taken on these items as the Town Board.

1. Call to Order
2. Public Comment on Matters Not On the Agenda
3. Approve Minutes
4. Design Review, Farmco/Rural Insurance Building Addition, BSA Real Estate LLC/Longua, 5376 Farmco Drive, Discussion/Action
5. Rezone/Lot Line Adjustment/Design Review, Commercial Building Addition, Advanced Concrete/Ziegler, 6075 CTH K (Middleton ETZ), Discussion/Recommendation/Action
6. Cherokee Golf Course Wetland and Drainage Permits Supplemental Review, 5000 N Sherman Avenue, Discussion/Recommendation
7. Consultation, Rezone and CSM (Create 1 Residential Lot), Ziegler, 6039 CTH K (Middleton ETZ)
8. Initial Consultation, Rezone and Land Division (Create 1 Residential Lot), Hinman, 5966 Cherokee Valley Pass (Wauaukee ETZ)
9. Park Committee Report/Items for Action
10. Historic Preservation Commission Report/Items for Action
11. Sign Design Group Report/Items for Action
12. Wauaukee/Westport Joint Planning Committee Report/Items for Action
13. Middleton/Westport Joint Zoning Committee Report/Items for Action
14. Miscellaneous Matters/Forthcoming Events
15. Adjourn

If you need reasonable accommodations to access this meeting, please contact the clerk's office at 849-4372 at least three business days in advance so arrangements can be made to accommodate the request.

TOWN OF WESTPORT

PLAN COMMISSION - August 9, 2021

The regular monthly meeting of the Plan Commission was called to order at 7:00 p.m. in the Community Meeting Room of the Bernard J. Kennedy Administration Building by Chair Grosskopf. Members present: Cuccia, Grosskopf, Manering, Ohm, Pichette. Members absent: Bruskewitz, Kennedy Also attending: Terry Enge, Wally Jankowski, Scott Longua (by phone), Bryan Reichling, and Tom Wilson.

No one was present for Public Comment on Matters not on the Agenda. The minutes of the July 12, 2021 regular meeting were approved as presented on a motion by Manering, second Pichette.

Wally Jankowski was present for an Initial Consultation on a potential Rezone/Lot Line Adjustment/Design Review for Advanced Concrete/Ziegler, 6075 CTH K, and was told by Commissioners of issues and concerns to address, along with some details added by Mr. Jankowski: Driveway access to the site will be from a current neighboring site, likely Ziegler farm access, and will have to work with Dane County on the access..

Needs a rezone for the additional portion of the property to allow this development.

The total proposal for the expansion is about 1 to 1 ½ acres.

8,000 square feet of roof would be added, plus parking.

Needs to work on stormwater runoff needs and parking with the Town Engineer.

None of the Commissioners expressed any deep concerns regarding this proposal.

After an introduction by Wilson, a presentation by Scott Longua (via phone) and Brain Reichling in person, questions and discussion, action on the proposed Design Review for Farmco/ Rural Insurance Building Addition, BSA Real Estate LLC/Longua, 5376 Farmco Drive was postponed by agreement of the petitioners to the next Plan Commission meeting on a motion by Manering, second Ohm, to work on the following issues and concerns:

Parking is very limited, based on the size of the building.

Stormwater retention could be an issue for this site as there as very large roof.

Commissioners informed the petitioners that this building is in the Town Center and an updated facade to reduce the mid-century building would be needed and to comply with the Town Design Guidelines.

Concern raised that the building is too ambitious for this site.

Petitioners indicated they may build this in phases but would like to build at one time.

Petitioners informed they could utilize the building as is until a new design was developed.

Advised petitioners to look at what will be needed to be ADA compliant.

Advised to talk to the Town Engineer to discuss the parking and stormwater requirements.

Commission requested to see design materials and colored drawings/elevations.

Terry Enge reported on the work of the Park Committee. Pichette reported on the work of the Historic Preservation Commission. Cuccia and Pichette reported on the work of the Sign Design Group.

Grosskopf and Wilson reported on the work of the Waunakee/Westport Joint Planning Committee and Middleton/Westport Joint Zoning Committee.

For Miscellaneous Matters or Forthcoming Events raised, Manering raised reconsidering the recommendation given by the Town for the Cherokee Golf Course improvement work, and Wilson will contact the developers for a response to concerns; and, Pichette raised concerns about invasives and weeds on new developments along CTH M near the State Park, to which Wilson said he will docket the items each year to review and work on actions with the owners.

Motion to adjourn by Manering, second Cuccia. The meeting adjourned at 8:32 p.m.

Mary Manering, Secretary

AGENDA ITEM #4:

Design Review, Farmco/Rural Insurance Building Addition, BSA
Real Estate LLC/Longua, 5376 Farmco Drive,
Discussion/Action

From: kevin@engineersolutions.org <kevin@engineersolutions.org>
Sent: Thursday, September 2, 2021 9:58 AM
To: 'Scott Longua' <slongua@gmail.com>
Cc: 'Robert Anderson' <banderson@townofwestport.org>
Subject: RE: 5376 Farmco

Couple thoughts....

1. Counting the spots in front of the overhead door is questionable but could be a possibility
2. The office space seems light compared to the warehouse space
3. I would likely recommend a use restriction on the property that would limit the use based on the parking calculation
4. There is very limited on street parking in the area so overflow parking would likely be problematic
5. Would you be able to secure additional land nearby for overflow parking?

I have a zoom meeting at 10am, but available after till about noon if you want to discuss.

Kevin

Kevin A Even, P.E.

Senior Engineer
Engineer Solutions
(608) 345-1094
kevin@engineersolutions.org
www.engineersolutions.org

From: Scott Longua <slongua@gmail.com>
Sent: Wednesday, August 25, 2021 4:44 PM
To: Kevin even <kevin@engineersolutions.org>
Subject: Fwd: 5376 Farmco

Kevin,

I used the Waunakee standards to come up with 23.32 parking spots, I assume this rounds up to 24. See calculation below:

Office - 3,300 square feet @ 300 sq ft per spot = 11 spots
Warehouse - 9,220 square feet @ 1,000 sq ft per spot = 9.22
Basement - 3,100 square feet @ 1,000 sq ft per spot = 3.1

I asked Roxanne to figure out a way to get this and from what she says it's extremely difficult. This is primarily based on the very poor soil (high in clay and therefore slow to absorb water). We explored about 5-6 ways, and none of them would work and still be able to meet stormwater runoff requirements. The last option she came up with WILL meet standards but is a little bit unconventional, so I wanted to see if you could take a look and give me your thoughts on whether you could get behind this.

To get to the 24, she added 2 spots on the northwest side that would be constructed using permeable pavers. The remaining additional spots have been added in front of the overhead doors. We would anticipate that the overhead doors would be used infrequently for vehicle access. The tenant(s) would be required to park in front of the overhead doors and on the occasion that access is required, they would be required to move their vehicles accordingly.

I think this arrangement would work fine for our target tenants, as we anticipate only needing about 12-15 spots anyway. I do see that in the future, it might be a detriment to attracting new tenants, but I'm willing to take that risk in order to move this forward.

I'm available to discuss at your convenience, if you would be so kind as to review and give me your feedback.

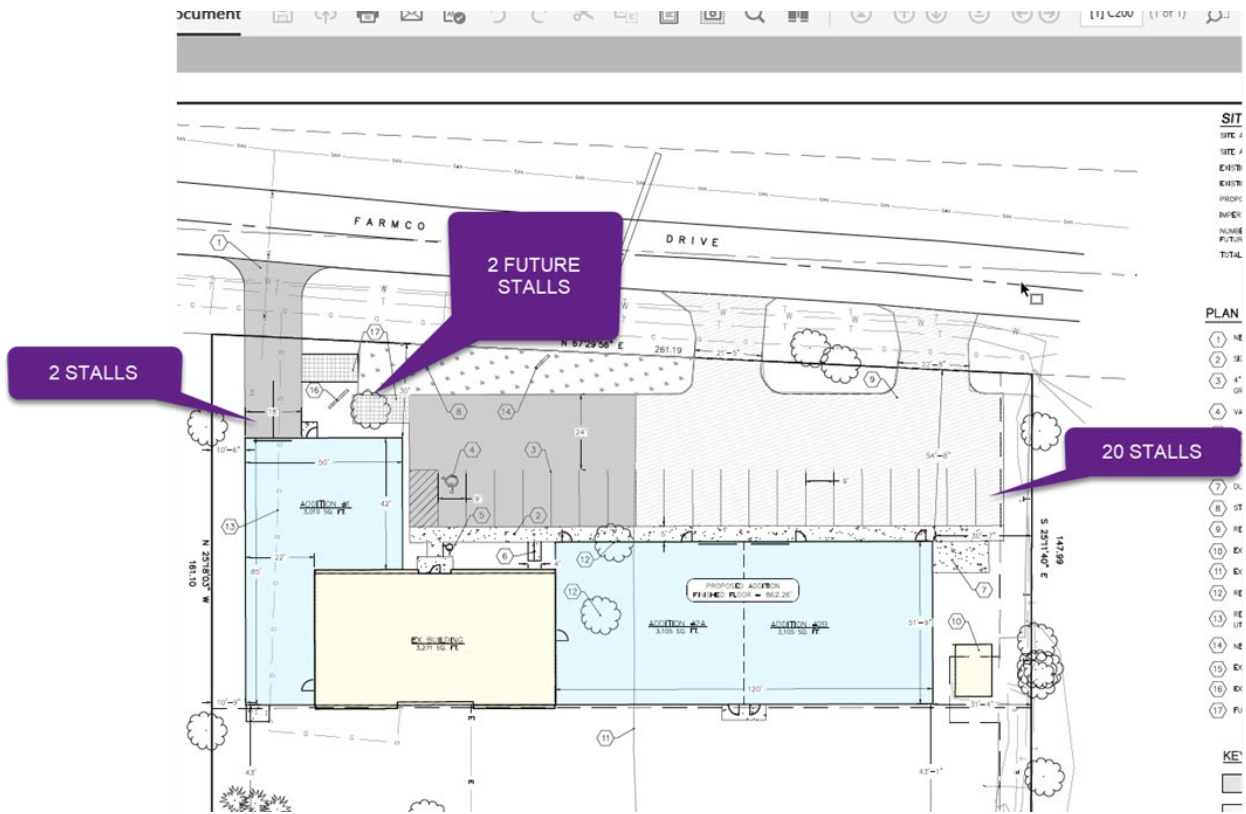
Thanks,
Scott
----- Forwarded message -----
From: <rjohnson@pe-wi.com>
Date: Wed, Aug 25, 2021 at 3:55 PM
Subject: 5376 Farmco
To: <slongua@gmail.com>

Hi Scott,

Attached is a plan that shows 24 parking stalls. This includes 2 future stalls.

The tenants would be notified prior to renting the space that they will need to use the parking stalls in front of the overhead doors. Signage could be used to indicate that it is employee parking only or something to that effect to prevent people from blocking the doors.

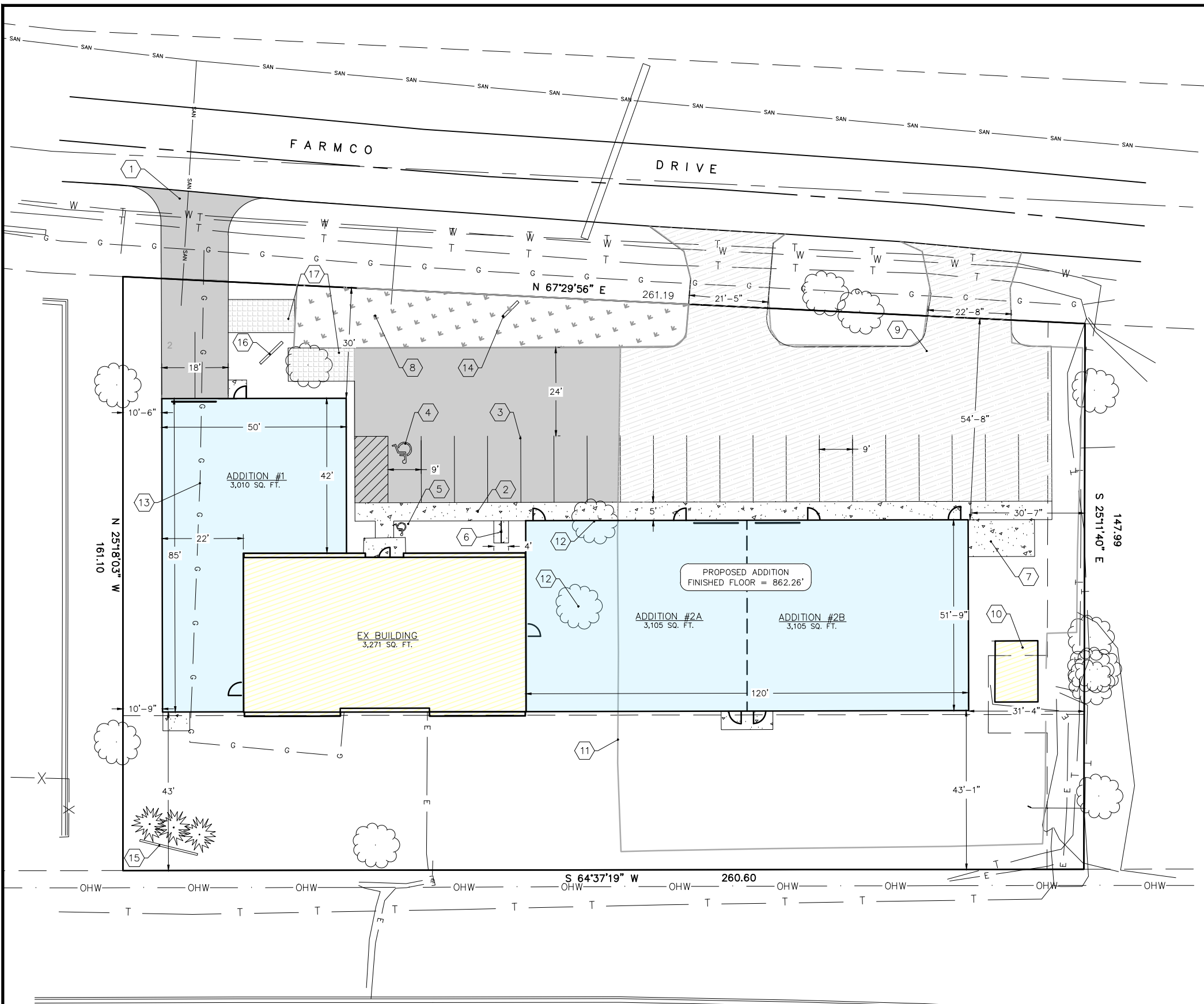
Please let me know if this works for you.



Thanks,

Roxanne Johnson, P.E., LEED AP
 Professional Engineering, LLC
 818 N. Meadowbrook Lane
 Waunakee, WI 53597
 Phone: 608-849-9378
 Mobile: 608-577-0455
Rjohnson@pe-wi.com
www.pe-wi.com

--
 Scott Longua
 5390 Blue Bill Park Drive
 608-245-1361 cell
 608-268-4151 home



SITE INFORMATION

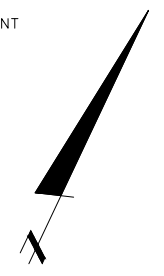
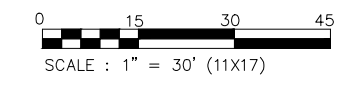
SITE ADDRESS: 5376 FARMCO DRIVE
 SITE ACREAGE TOTAL: 40,297 SF (0.93 ACRES)
 EXISTING IMPERVIOUS AREA = 21,503 SF
 EXISTING IMPERVIOUS SURFACE % = 53.4%
 PROPOSED IMPERVIOUS AREA = 23,057 SF
 IMPERVIOUS SURFACE % = 57.2%
 NUMBER OF PARKING STALLS: 24 (1 HC), INCLUDES 2 FUTURE STALLS IF NEEDED
 TOTAL BIKE PARKING: 2 STALLS

PLAN KEY

- 1 NEW DRIVEWAY
- 2 SIDEWALK
- 3 4" PAVEMENT STRIPING WITH TWO COATS OF TRAFFIC GRADE LATEX PAINT, TYP
- 4 VAN ACCESSIBLE STALL, TYP.
- 5 VAN ACCESSIBLE PARKING SIGN, TYP.
- 6 BIKE RACK TO BE DERO PART# BH-FT-EPX BIKE RACKS SURFACE MOUNT POWDER COAT FINISH
- 7 DUMPSTER LOCATION AND CONCRETE TRASH PAD
- 8 STORMWATER DRY POND
- 9 REMOVE AND REPLACE EXISTING ASPHALT PAVEMENT
- 10 EXISTING TELEPHONE UTILITY SHED TO REMAIN
- 11 EXISTING PAVEMENT EDGE SHOWN REFERENCE
- 12 REMOVE TREE
- 13 RELOCATE EXISTING GAS LINE. COORDINATE WITH GAS UTILITY
- 14 NEW 6' WIDE BY 5' HIGH GROUND SIGN
- 15 EXISTING GROUND SIGN TO REMAIN
- 16 EXISTING GROUND SIGN TO BE REMOVED
- 17 FUTURE PARKING IF NEEDED

KEY

- ASPHALT PAVEMENT
- EXISTING ASPHALT TO BE REMOVED AND REPLACED
- CONCRETE
- VEGETATIVE FILTER STRIP FOR STORMWATER MANAGEMENT



| ISSUANCE/REVISION | DATE |
|-------------------|----------|
| SITE PLAN REVIEW | 08-25-21 |

818 N Meadowbrook Ln
 Waukegan, WI 53597
 phone (608) 849-9378
 www.pe-wi.com

PROFESSIONAL ENGINEERING

FARMCO BUILDING ADDITION
SITE PLAN
 TOWN OF WESTPORT, WISCONSIN

5376 FARMCO DRIVE

C200

TOWN OF WESTPORT
DESIGN REVIEW APPLICATION
GENERAL INFORMATION

Project: FARMCO BUILDING ADDITION
Name: BSA REAL ESTATE, LLC
Address: 5376 Farmco Drive,
MADISON, WI 53704
(608) 245-1361

Applicant:


Name: BSA REAL ESTATE, LLC
Address: 5390 BLUE BILL PARK
MADISON, WI 53704
Phone: (608) 245-1361
Email: SLONGUA@GMAIL.COM

Representative:

Name: SCOTT LONGUA
Address: 5390 BLUE BILL PARK DR
MADISON, WI 53704
Phone: (608) 245-1361
Email: SLONGUA@GMAIL.COM

Date Submitted: 7/26/2021
Review Period Ends: 9/10/21
Period Extended To:
Date of Plan Commission meetings: 8/9/21
Time of meeting: 7:00 p.m.

I agree that the following information is true to the best of my knowledge, and to abide by Town of Westport Ordinance Provisions.

By: 
Date: 7/26/2021

RECEIVED

JUL 26 2021



Town of Westport GIS

DISCLAIMER: The Town of Westport does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



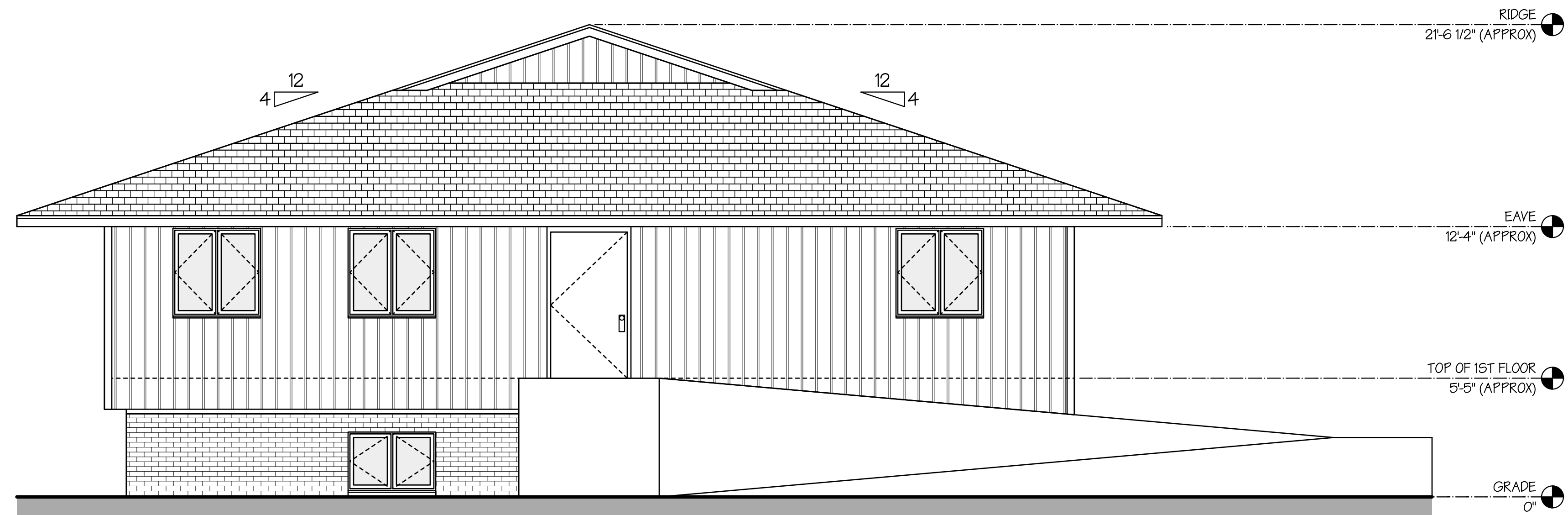
SCALE: 1 = 190'

Town of Westport
5387 Mary Lake Road
Waukegan, WI 53597
(608) 849-4372

Print Date: 7/27/2021



EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"

design/drafting services:
Building Solutionz, Inc.
CONTACT: Sean Reimer
P.O. Box 364, Waunakee, WI 53597
Phone: 608-785-9730
sean@buildingsolutionsz.com

owner:
BSA REAL ESTATE

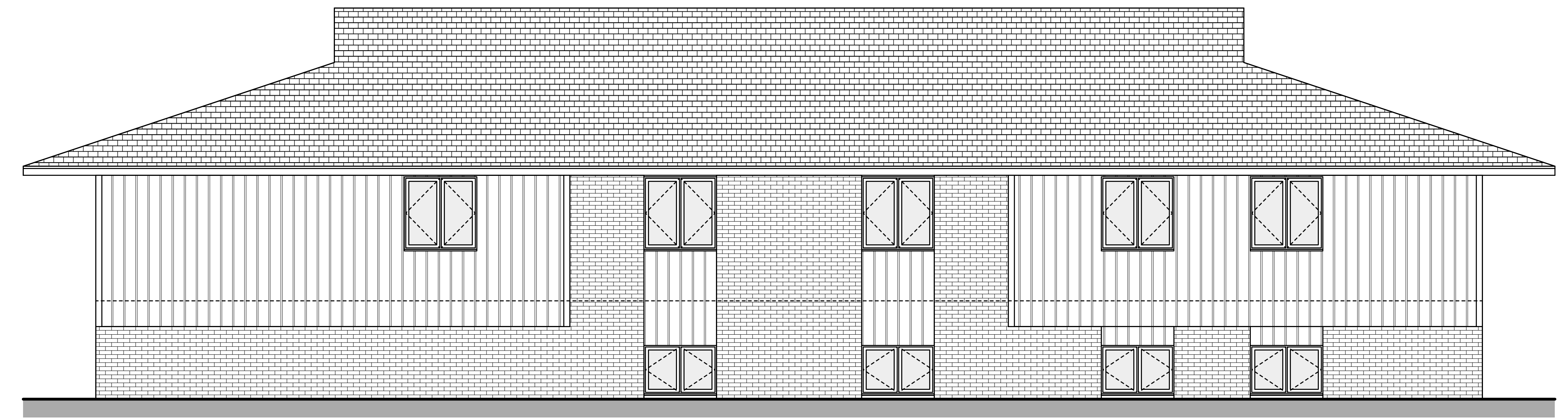
PROJECT:
Farmco Building Addition
5376 Farmco Drive, Town of Westport, WI

REVISIONS:

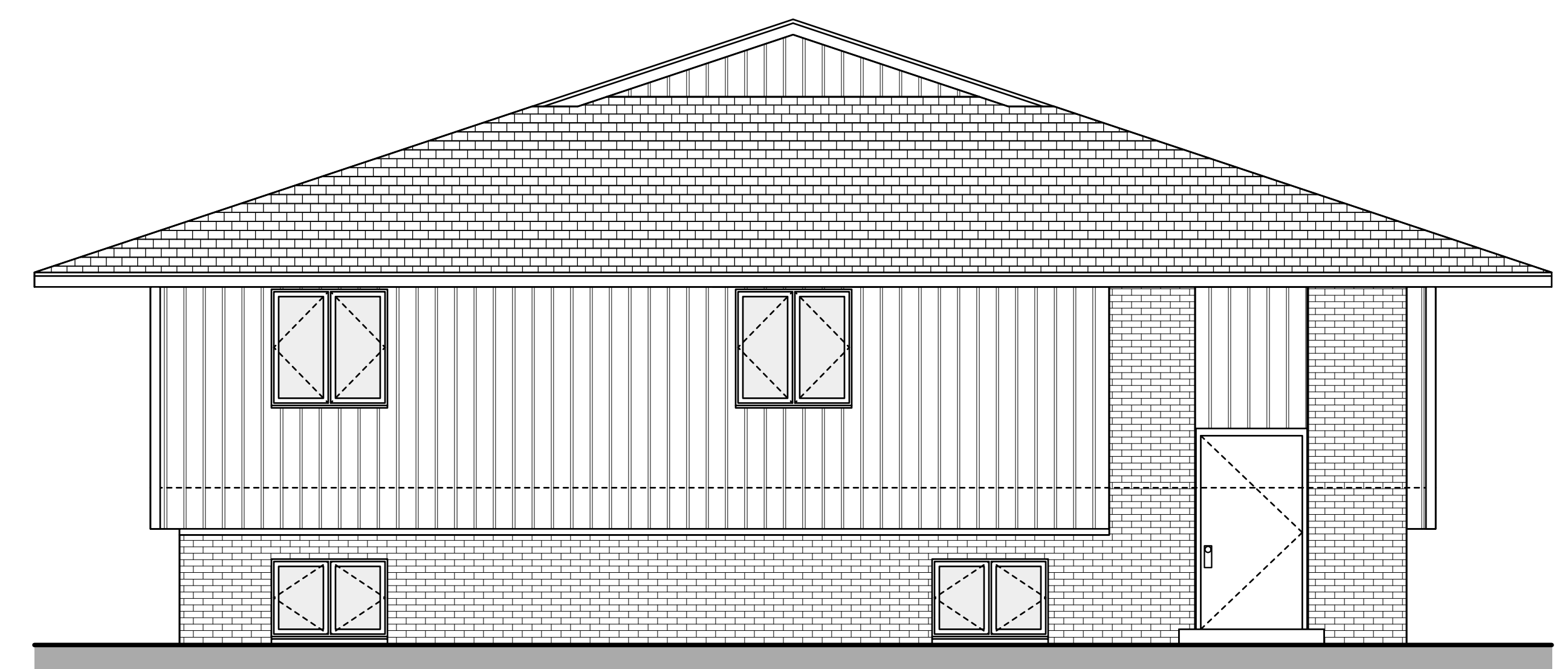
date: 09-09-21
file: 21229-Farmco Building Addition.mcd
design/build: Classic Custom Homes
drawn: SMR

project #
21229

sheet #
1
OF 9



EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

date: 09-09-21
file: 21229-Farmco Building Addition.mcd
design/build: Classic Custom Homes
drawn: SMR

project #
21229

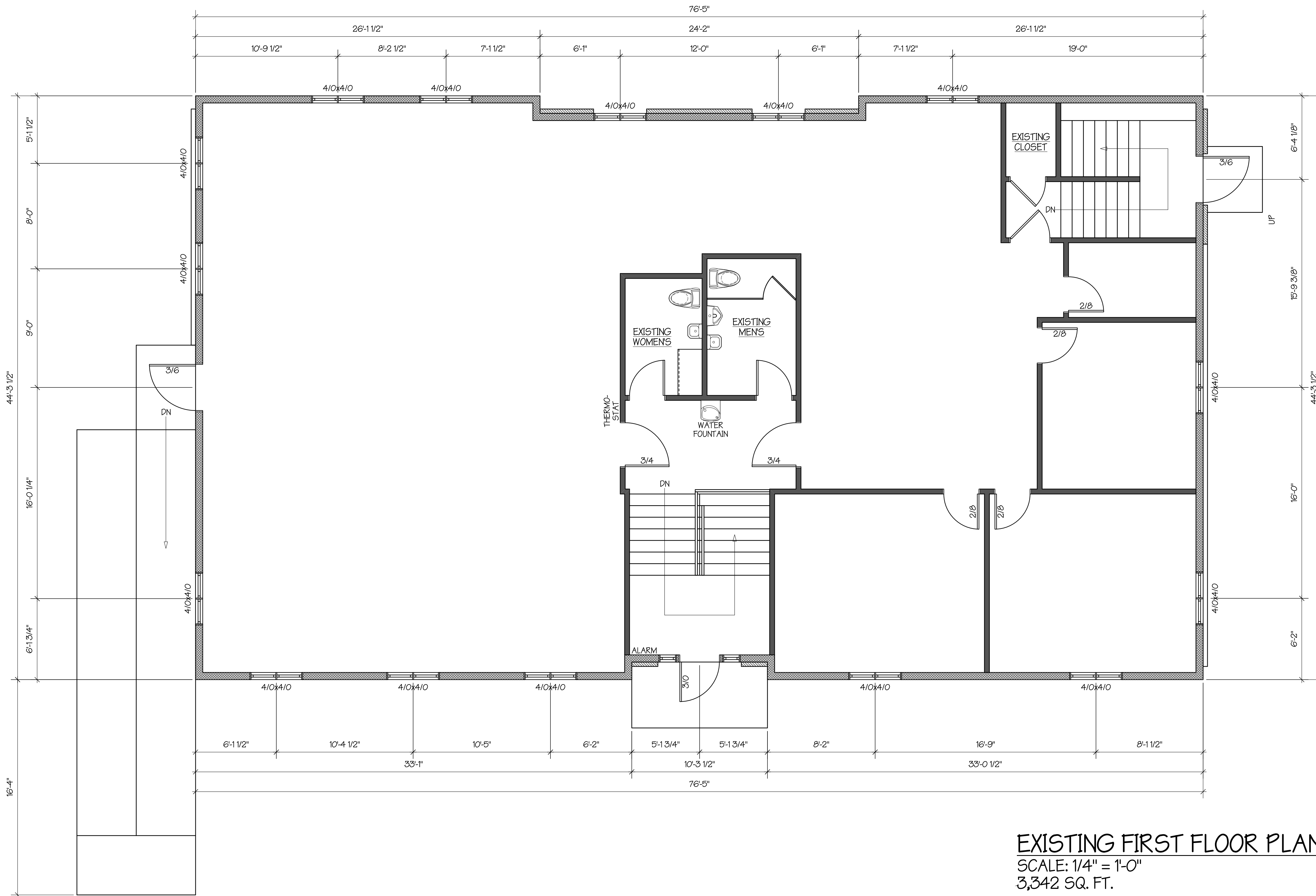
sheet #
2
OF 9

REVISIONS:

PROJECT:
Farmco Building Addition
5376 Farmco Drive, Town of Westport, WI

OWNER:
BSA REAL ESTATE

design/drafting services:
Building Solutionz, Inc.
CONTACT: Sean Reimer
P.O. Box 364, Waunakee, WI 53597
Phone: 608-785-9730
sean@buildingsolutionsz.com



EXISTING FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 3,342 SQ. FT.

design/drafting services:
Building Solutionz, Inc.
 CONTACT: Sean Reimer
 P.O. Box 364, Waukegan, WI 53597
 Phone: 847.499.7730
 sean@buildingsolutionsz.com

owner:
BSA REAL ESTATE

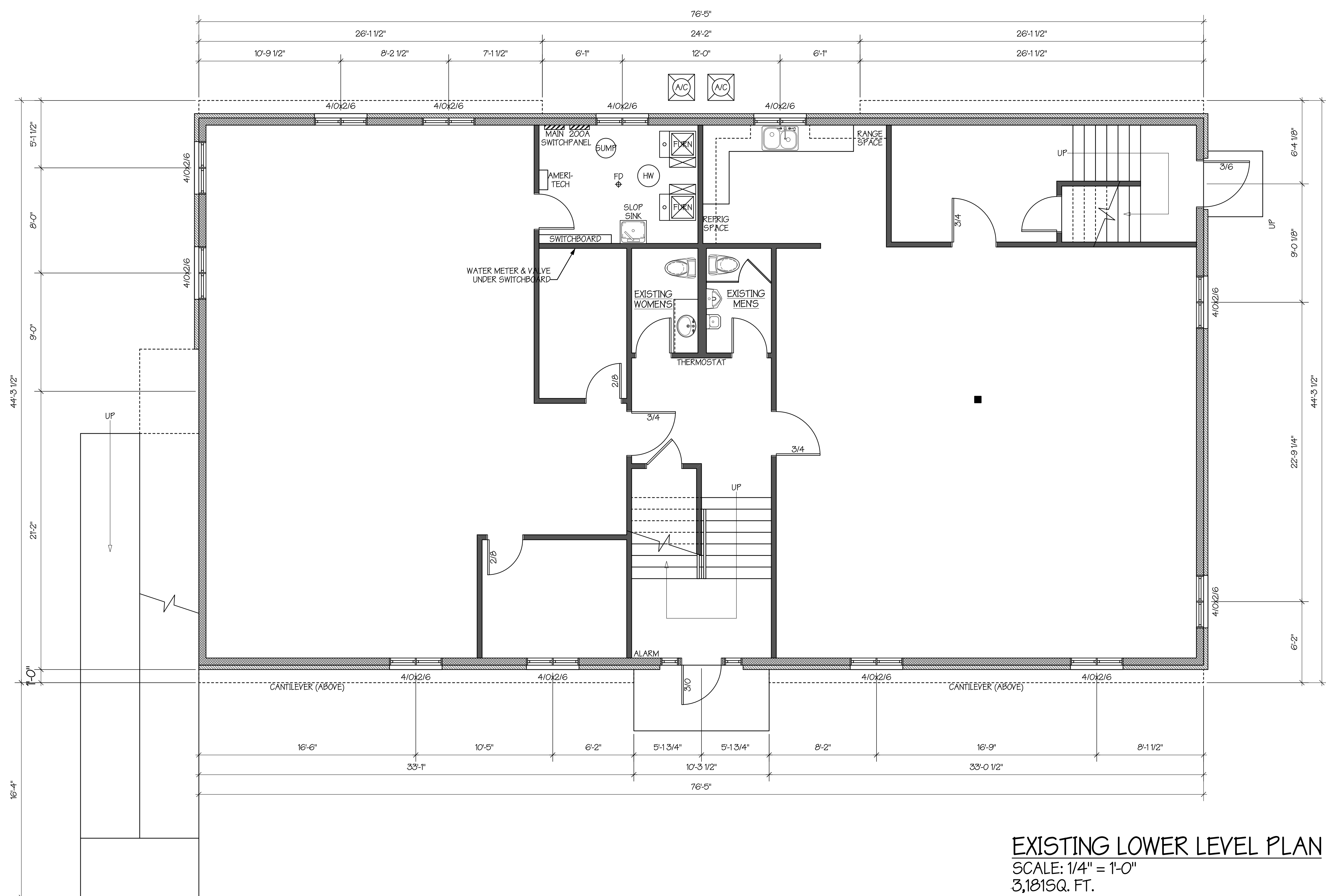
PROJECT:
Farmco Building Addition
 5376 Farmco Drive, Town of Westport, WI

REVISIONS:

Date: 09-09-21
 file: 21229-Farmco Building Addition.mxd
 Design/Build: Classic Custom Homes
 drawn: SMR

project #
 21229

sheet #
3
 OF 9



EXISTING LOWER LEVEL PLAN
 SCALE: 1/4" = 1'-0"
 3,181SQ. FT.

design/drafting services:
Building Solutionz, Inc.
 CONTACT: Sean Reimer
 P.O. Box 364, Waunakee, WI 53597
 Phone: 608-785-9730
 sean@buildingsolutionsz.com

OWNER:
BSA REAL ESTATE

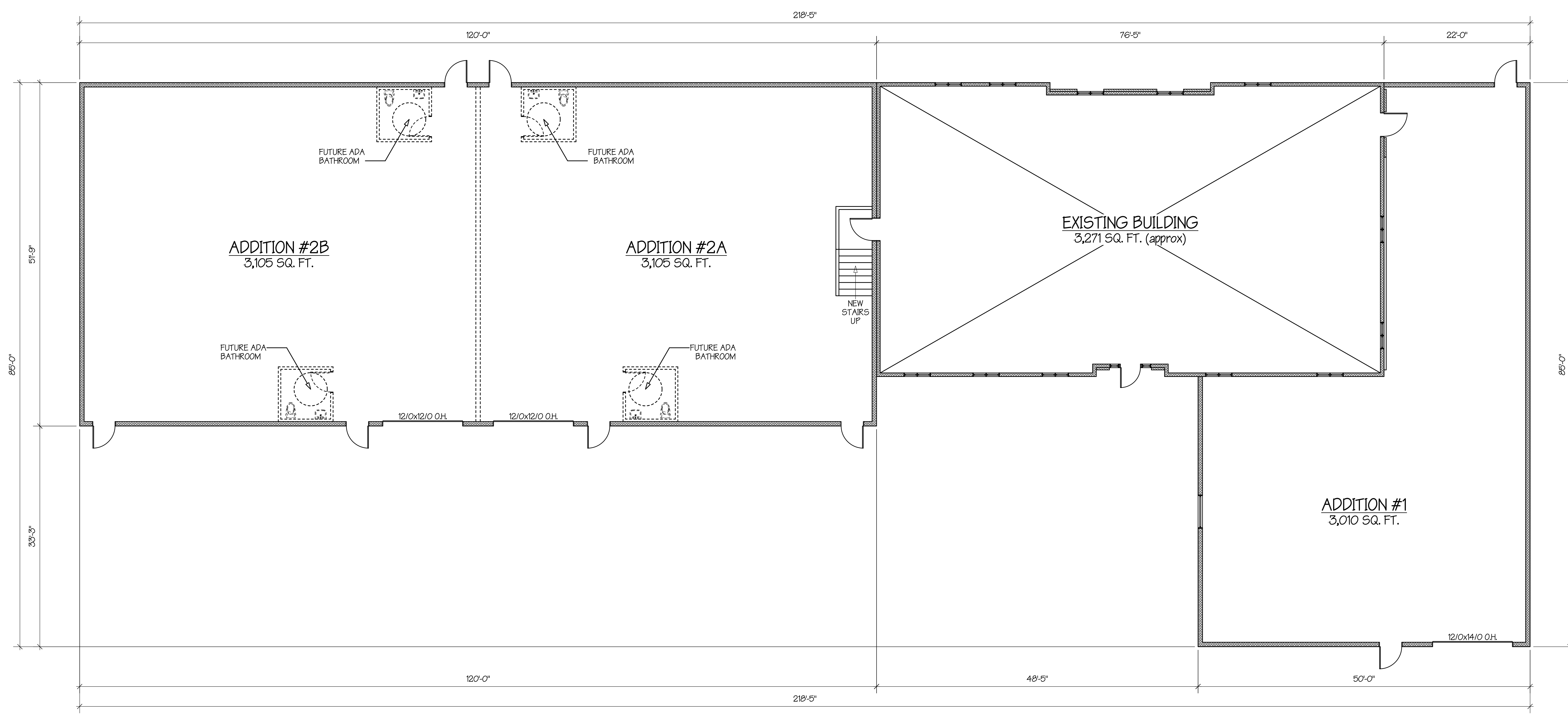
PROJECT:
Farmco Building Addition
 5376 Farmco Drive, Town of Westport, WI

REVISIONS:

Date: 09-09-21
 file: 21229-Farmco Building Addition.mxd
 Design/Build: Classic Custom Homes
 Drawn: SMR

project #
 21229

sheet #
4
 OF 9



NEW FLOOR PLAN
 SCALE: 1/8" = 1'-0"

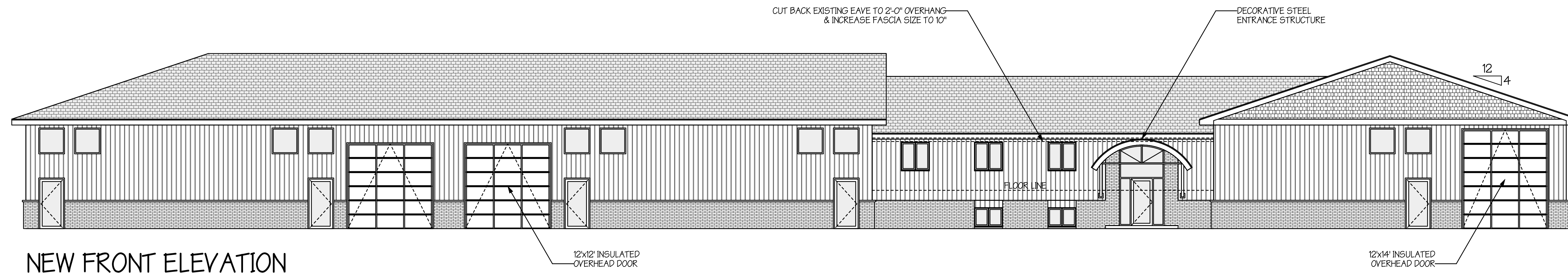
design/drafting services:
Building Solutionz, Inc.
 CONTACT: Sean Reimer
 P.O. Box 364, Waunakee, WI 53597
 Phone: 608-785-9730
 sean@buildingsolutionsz.com

owner:
BSA REAL ESTATE

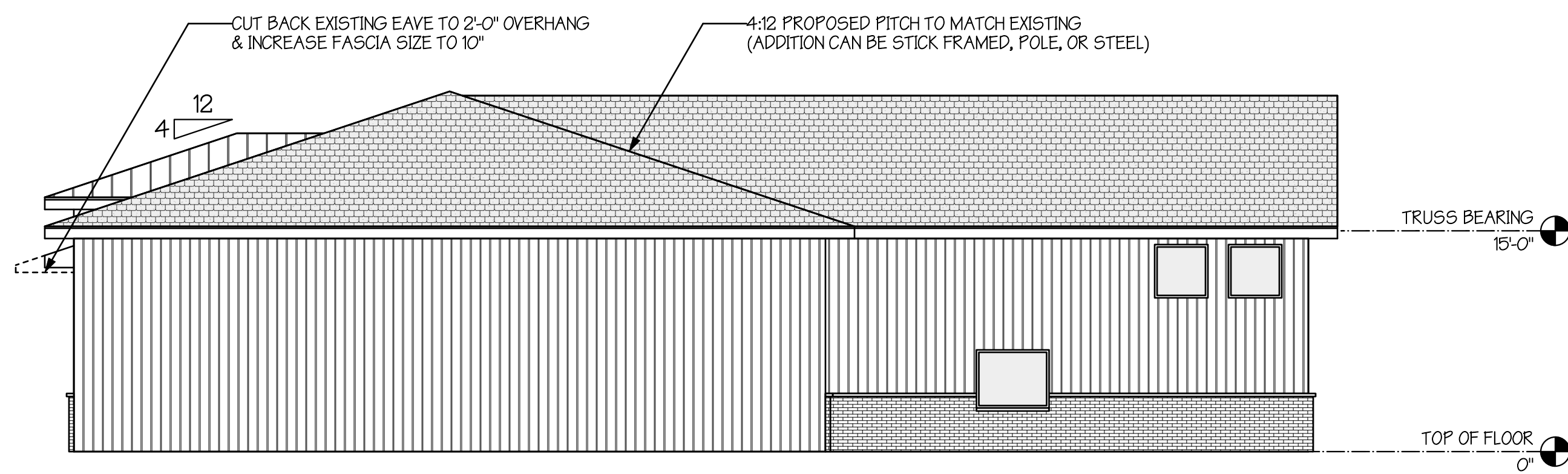
PROJECT:
Farmco Building Addition
 5376 Farmco Drive, Town of Westport, WI

REVISIONS:

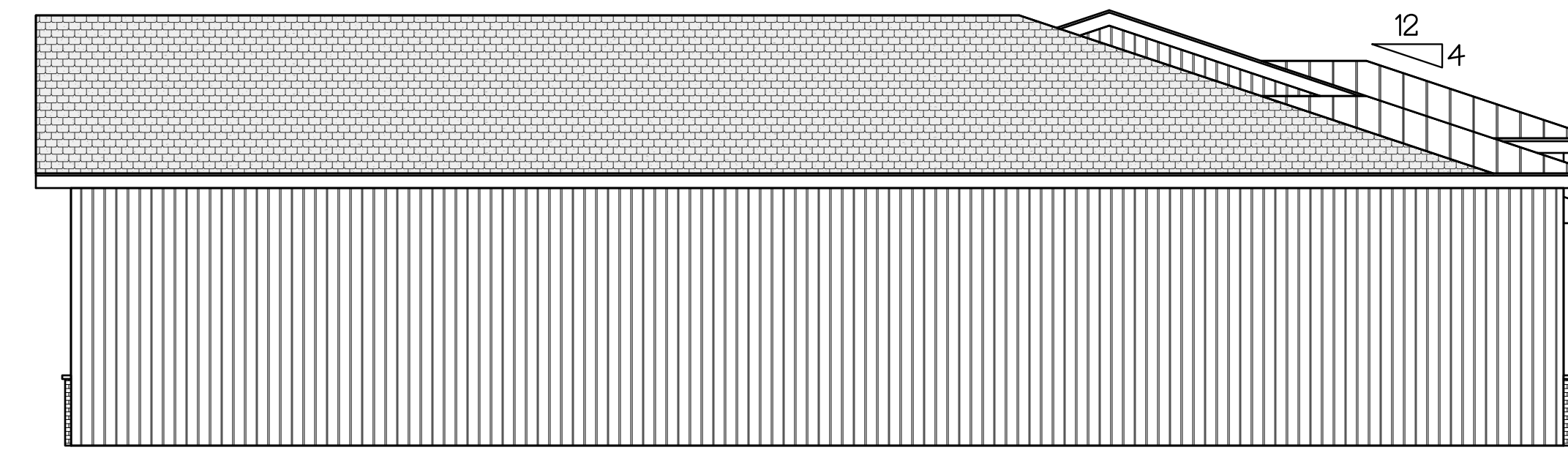
| | |
|----------------|--|
| date: 09-09-21 | file: 21229-Farmco Building Addition.mxd |
| | design/build: Classic Custom Homes |
| | drawn: SMR |
| sheet # | project # |
| 5 | 21229 |
| OF 9 | |



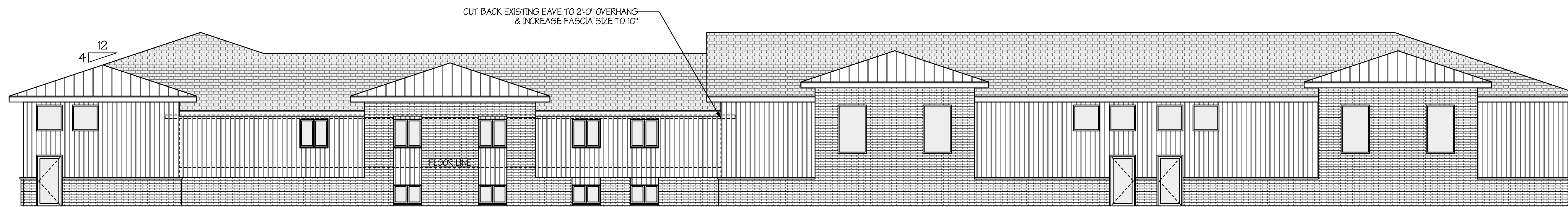
NEW FRONT ELEVATION
SCALE: 1/8" = 1'-0"



NEW LEFT ELEVATION
SCALE: 1/8" = 1'-0"



NEW RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



NEW REAR ELEVATION
SCALE: 1/8" = 1'-0"

design/drafting services:
Building Solutionz, Inc.
CONTACT: Sean Reimer
P.O. Box 364, Waunakee, WI 53597
Phone: 608-785-9730
sean@buildingsolutionsz.com

OWNER:
BSA REAL ESTATE

PROJECT:
Farmco Building Addition
5376 Farmco Drive, Town of Westport, WI

REVISIONS:

| | |
|----------------|--|
| date: 09-09-21 | file: 21229-Farmco Building Addition.mcd |
| | design/build: Classic Custom Homes |
| | drawn: SMR |

project #
21229

sheet #
6
OF 9



NEW FRONT ELEVATION
SCALE: 1/8" = 1'-0"



NEW REAR ELEVATION
SCALE: 1/8" = 1'-0"

design/drafting services:
Building SolutionZ Inc.
CONTACT: Sean Reimer
P.O. Box 364 Waunakee, WI 53597
Phone: (608)244-2678 Fax: (608)299-3730
sean@buildingsolutionsz.com

owner:
BSA REAL ESTATE

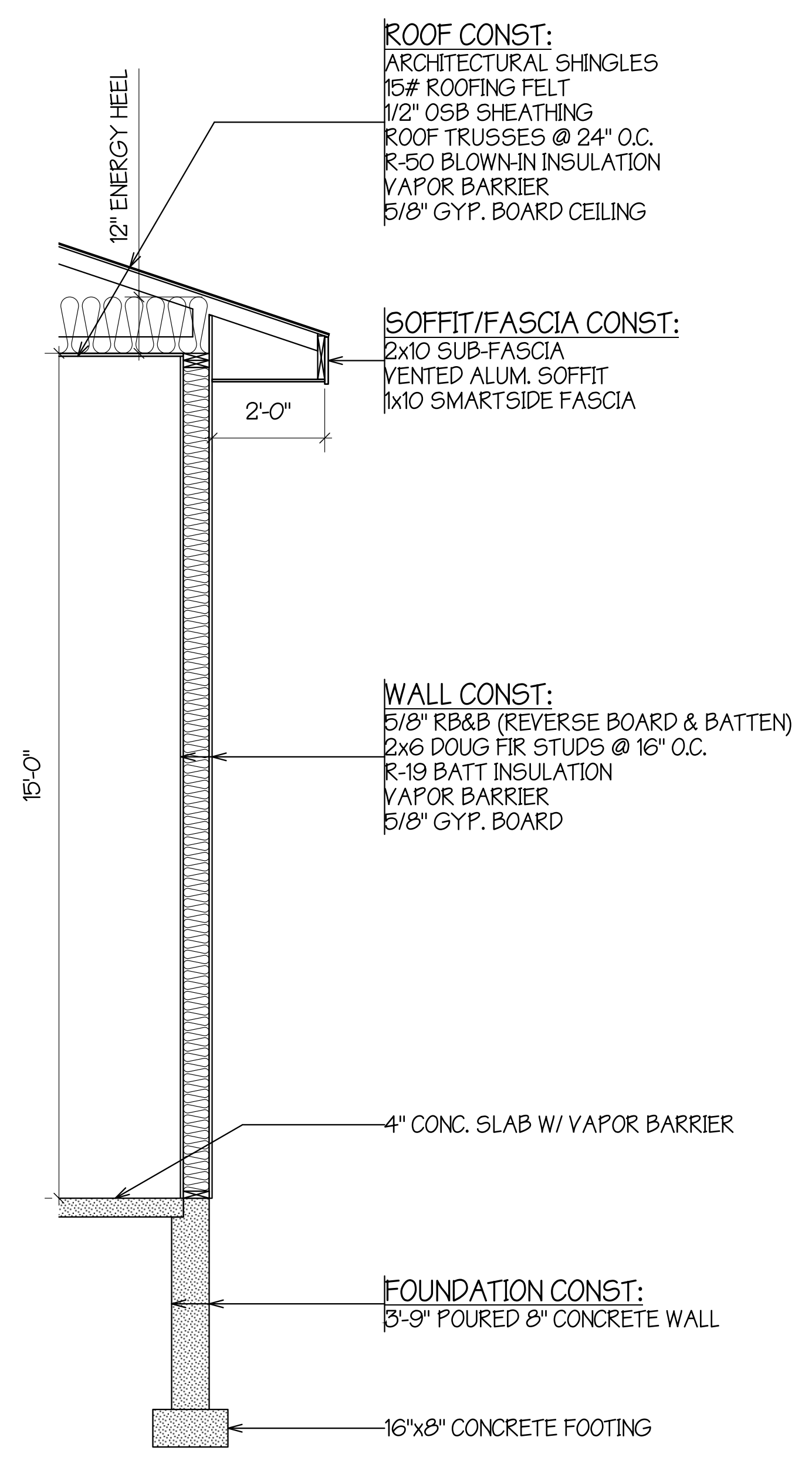
PROJECT:
Farmco Building Addition
5376 Farmco Drive, Town of Westport, WI

REVISIONS:

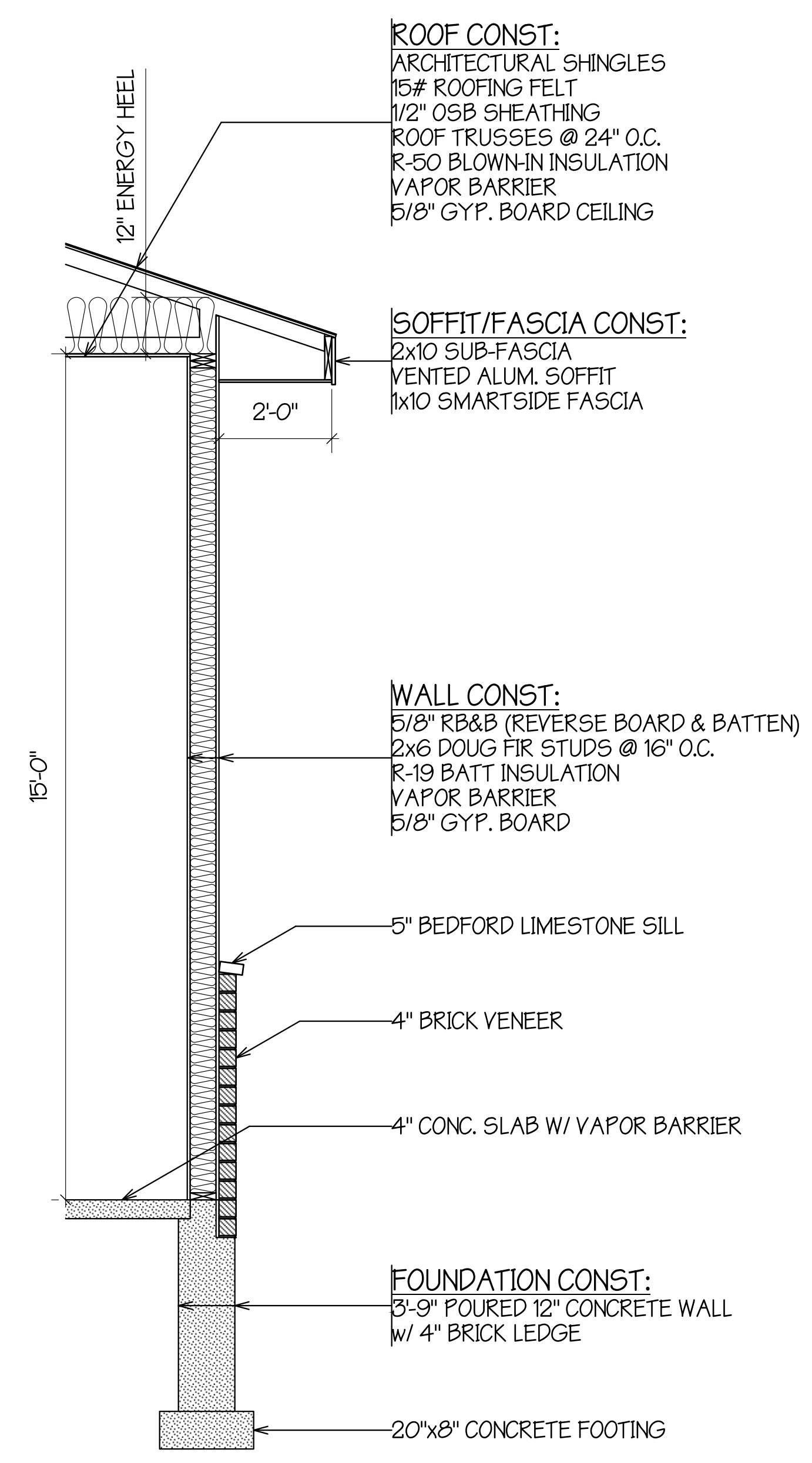
date: 09-09-21
file: 21229-Farmco Building Addition.mcd
design/build: Classic Custom Homes
drawn: SMR

project #
21229

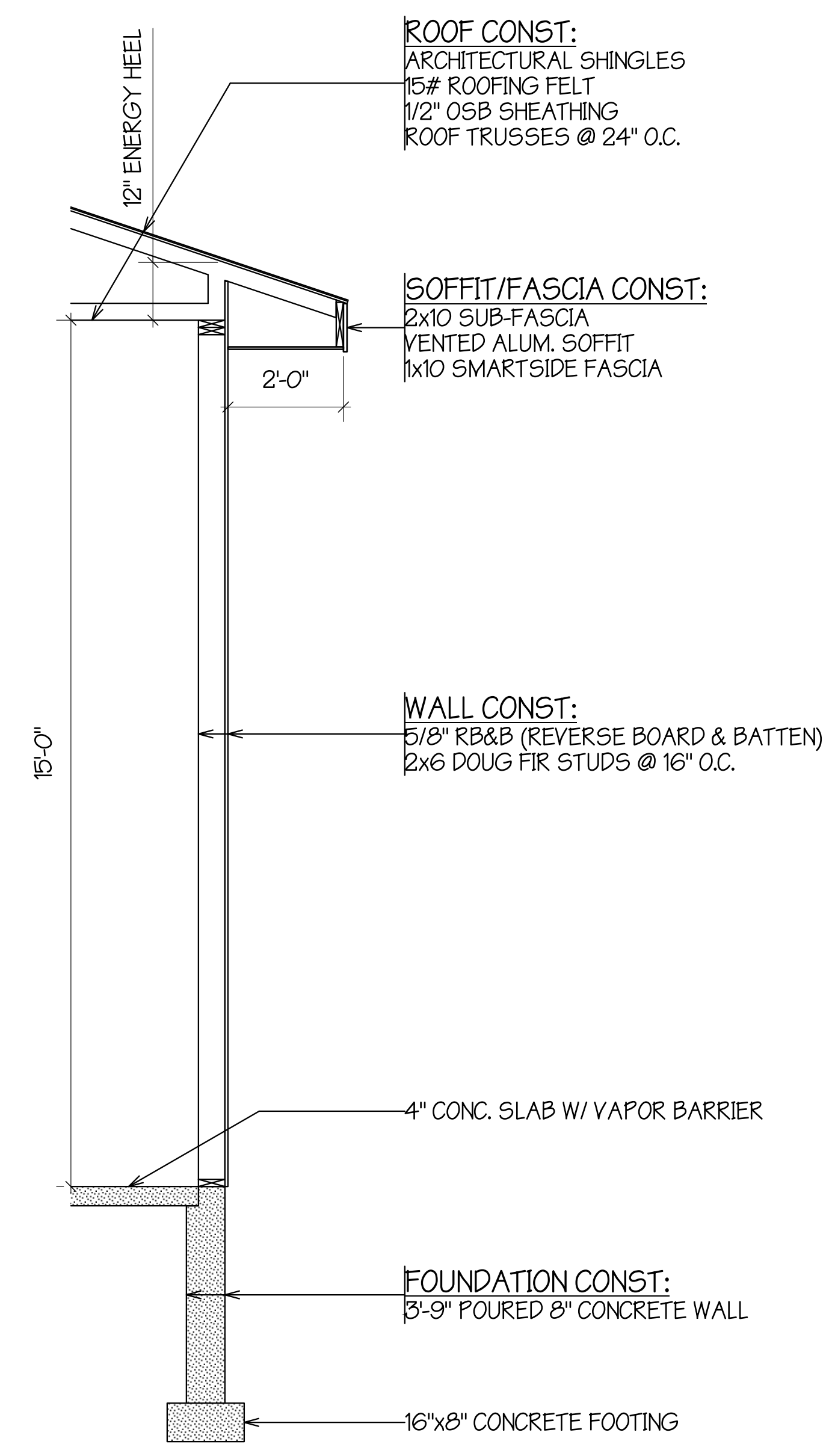
sheet #
6
OF 9



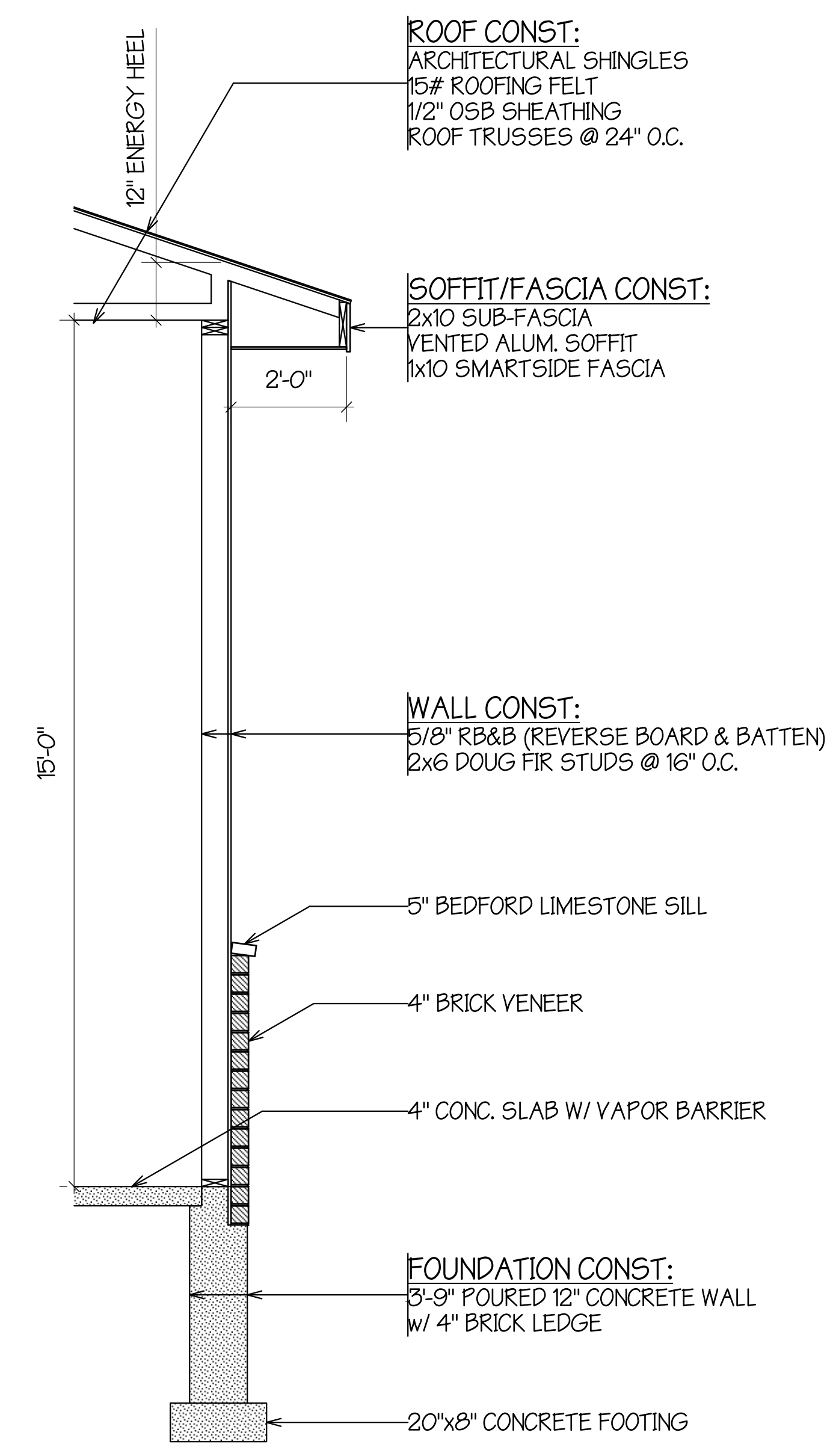
WALL SECT w/o BRICK - BLDG #1
SCALE: 1/2" = 1'-0"



WALL SECT w/ BRICK - BLDG #1
SCALE: 1/2" = 1'-0"



WALL SECT w/o BRICK - BLDG #2
SCALE: 1/2" = 1'-0"



WALL SECT w/ BRICK - BLDG #2
SCALE: 1/2" = 1'-0"

design/drafting services:
Building Solutionz, Inc.
CONTACT: Sean Reimer
P.O. Box 364, Waunakee, WI 53597
Phone: 608-785-9730
sean@buildingsolutionsz.com

OWNER:
BSA REAL ESTATE

PROJECT:
Farmco Building Addition
5376 Farmco Drive, Town of Westport, WI

REVISIONS:

| | |
|--|-----------|
| date: 09-09-21 | project # |
| file: 21229-Farmco Building Addition.mcd | 21229 |
| design/build: Classic Custom Homes | sheet # |
| drawn: SMR | 7 |
| | OF 9 |

FARMCO DRIVE

COUNTY HWY "M"

N67°08'31"W 261.33

N25°44'08"W 147.98'
AT&T EASEMENT

N25°44'08"W 161.10'

42.0' BUILDING SETBACK

EXISTING FRAME BLDG
76' x 42'

EXISTING BITUMINOUS

EXISTING 16'x8'
GROUND SIGN
(LOCATION APPROX)



EXISTING SITE PLAN
SCALE: 1:150

design/drafting services:

Building Solutionz, Inc.
CONTACT: Sean Reimer
P.O. Box 364, Waunakee, WI 53597
Phone: 608-785-9730
sean@buildingsolutionsz.com

owner:

BSA REAL ESTATE

PROJECT:

Farmco Building Addition
5376 Farmco Drive, Town of Westport, WI

REVISIONS:

Date: 09-09-21
file: 21229-Farmco Building Addition.mxd
design/build: Classic Custom Homes
drawn: SMR

project #

21229

sheet #

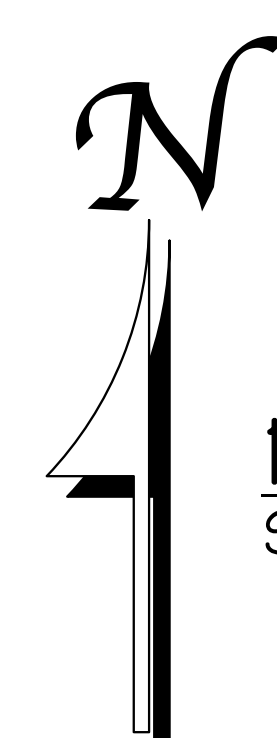
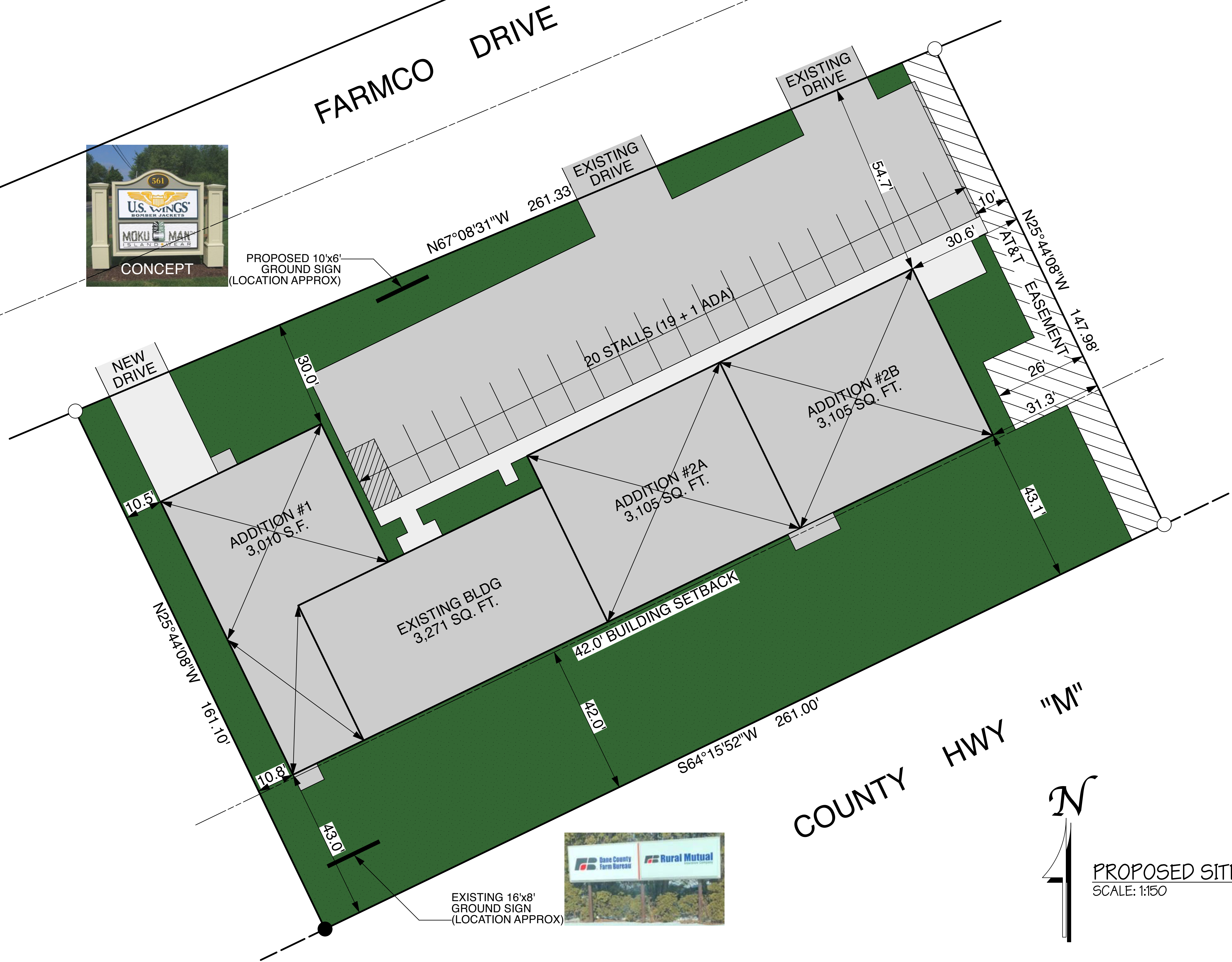
8
OF 9



PROPOSED 10'x6'
GROUND SIGN
(LOCATION APPROX)



EXISTING 16'x8'
GROUND SIGN
(LOCATION APPROX)



PROPOSED SITE PLAN
SCALE: 1:150

design/drafting services:
Building Solutionz, Inc.
CONTACT: Sean Reimer
P.O. Box 364, Waunakee, WI 53597
Phone: 608-785-9730
sean@buildingsolutionsz.com

owner:
BSA REAL ESTATE

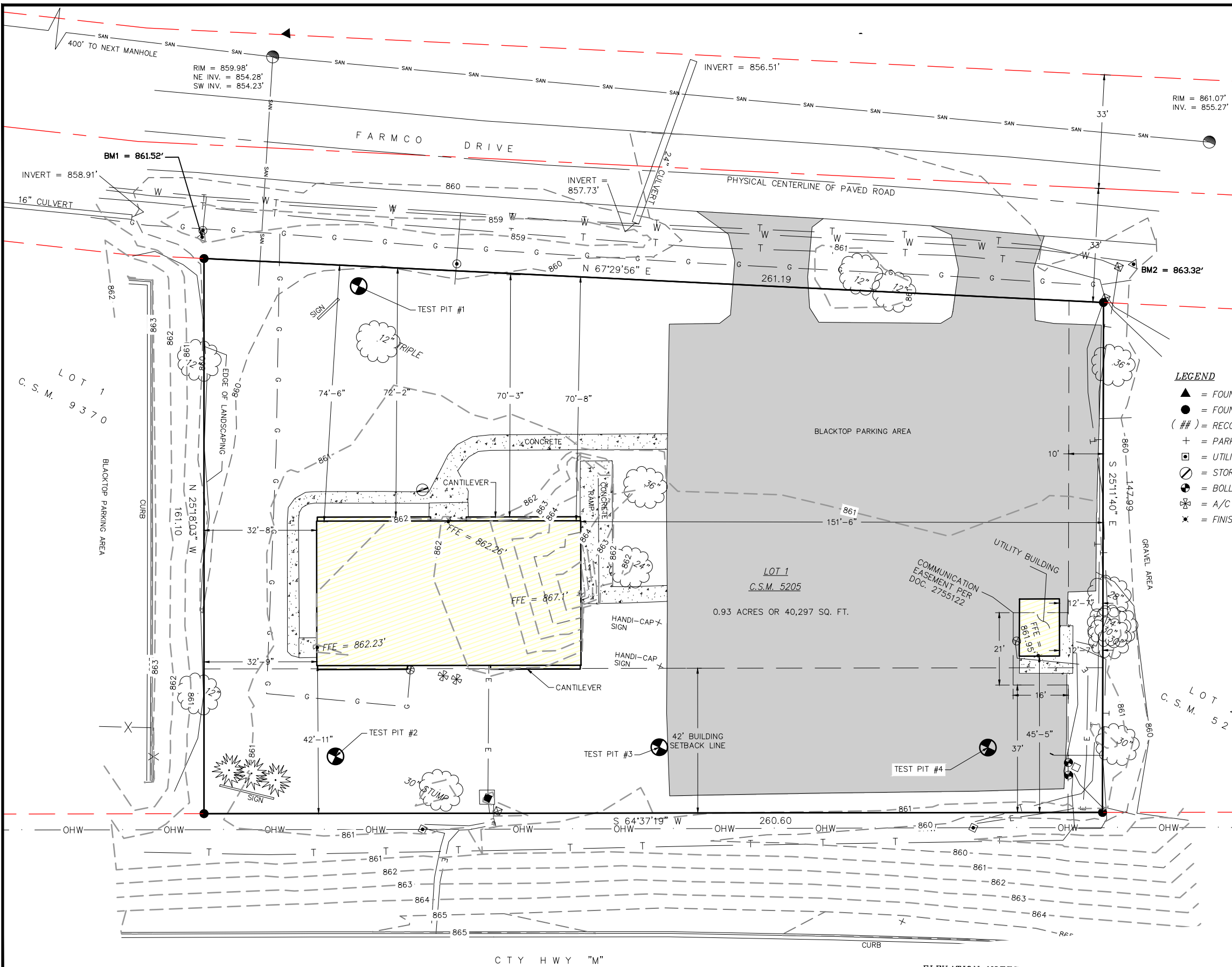
PROJECT:
Farmco Building Addition
5376 Farmco Drive, Town of Westport, WI

REVISIONS:

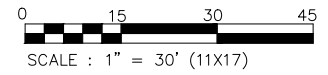
date: 09-09-21
file: 21229-Farmco Building Addition.mxd
design/build: Classic Custom Homes
drawn: SMR

project #
21229

sheet #
9 OF 9



W.C.C.S. - DANE CO.
 BEARINGS ARE REFERENCED TO THE WEST CO.
 LINE OF THE SE 1/4 OF SECTION 22
 LINE TO BEAR S 01°09'30" W



LEGEND

- ▲ = FOUND SURVEY SPIKE
- = FOUND 3/4" REBAR
- (##) = RECORDED AS
- + = PARKING OR STREET SIGN
- = UTILITY POLE
- ⊙ = STORM CATCH BASIN
- ⊙ = BOLLARD
- ✱ = A/C UNIT
- ✱ = FINISHED FLOOR ELEVATION
- ⊙ = MANHOLE
- ▲ = FIRE HYDRANT
- ⊕ = UTILITY METER
- ⊙ = WATER VALVE
- ⊠ = UTILITY PEDESTAL
- = UTILITY TRANSFORMER
- = UTILITY VAULT
- ☼ = 24" ARBOR VATEA
- ☼ = DECIDUOUS TREE (SIZE NOTED)

LINE LEGEND

- G — G — GAS UNDERGROUND
- OHW — OHW — OVERHEAD WIRES
- SAN — SAN — SANITARY SEWER
- W — W — WATER
- E — E — UNDERGROUND ELECTRIC
- T — T — COMMUNICATION

GENERAL NOTES:

- 1.) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJAINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
- 2.) FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.
- 3.) WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- 4.) FIELD WORK WAS PERFORMED ON MARCH 23, 2021.
- 5.) ALL OVERHEAD AND UNDERGROUND UTILITIES SHOWN ON THE MAP ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKINGS PLACED BY THE UTILITY COMPANIES OR THEIR AGENTS OR ESTABLISHED FROM PLANS PROVIDED BY UTILITY COMPANIES OR CITY ENGINEERS. THE SURVEYOR CAN CERTIFY ONLY TO THE LOCATION OF UTILITIES AS PROVIDED BY OTHERS.
 DIGGERS HOTLINE TICKET #'s: 20211201184 & 20211201213 BEFORE CONSTRUCTION CALL DIGGERS HOTLINE FOR EXACT LOCATION OF UNDERGROUND UTILITIES. 1-800-242-8511
- 6.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR/ENGINEER TO FIELD VERIFY ALL ELEVATIONS AND MEASUREMENTS FOR ANY PROPOSED CONNECTIONS TO EXISTING STRUCTURES/SEWER PRIOR TO FINALIZING ANY PLANS FOR CONSTRUCTION. THE SURVEYOR ASSUMES NO LIABILITY FOR SAID CONNECTIONS IF THIS VERIFICATION IS IGNORED.

ELEVATION NOTES:

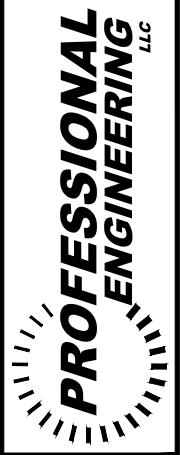
ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM. BENCHMARK UTILIZED IS A FOUND BRASS CAP MONUMENT AT THE MEANDER CORNER TO THE CENTER OF SECTION 22, T8N, R9E. ELEVATION = 856.42'
 SITE BENCHMARKS ARE TOP NUT OF FIRE HYDRANT
 BM1 = 861.52'
 BM2 = 863.32'

DESCRIPTION:

LOT 1, CERTIFIED SURVEY MAP NO. 5205, RECORDED IN VOLUME 23, PAGE 289-290, AS DOCUMENT NO. 2008537, LOCATED IN THE NE 1/4 AND NW 1/4 OF THE SE 1/4 OF SECTION 22, T8N, R9E, TOWN OF WESTPORT, DANE COUNTY, WISCONSIN.

| ISSUANCE/REVISION | DATE |
|-------------------|----------|
| SITE PLAN REVIEW | 09-07-21 |

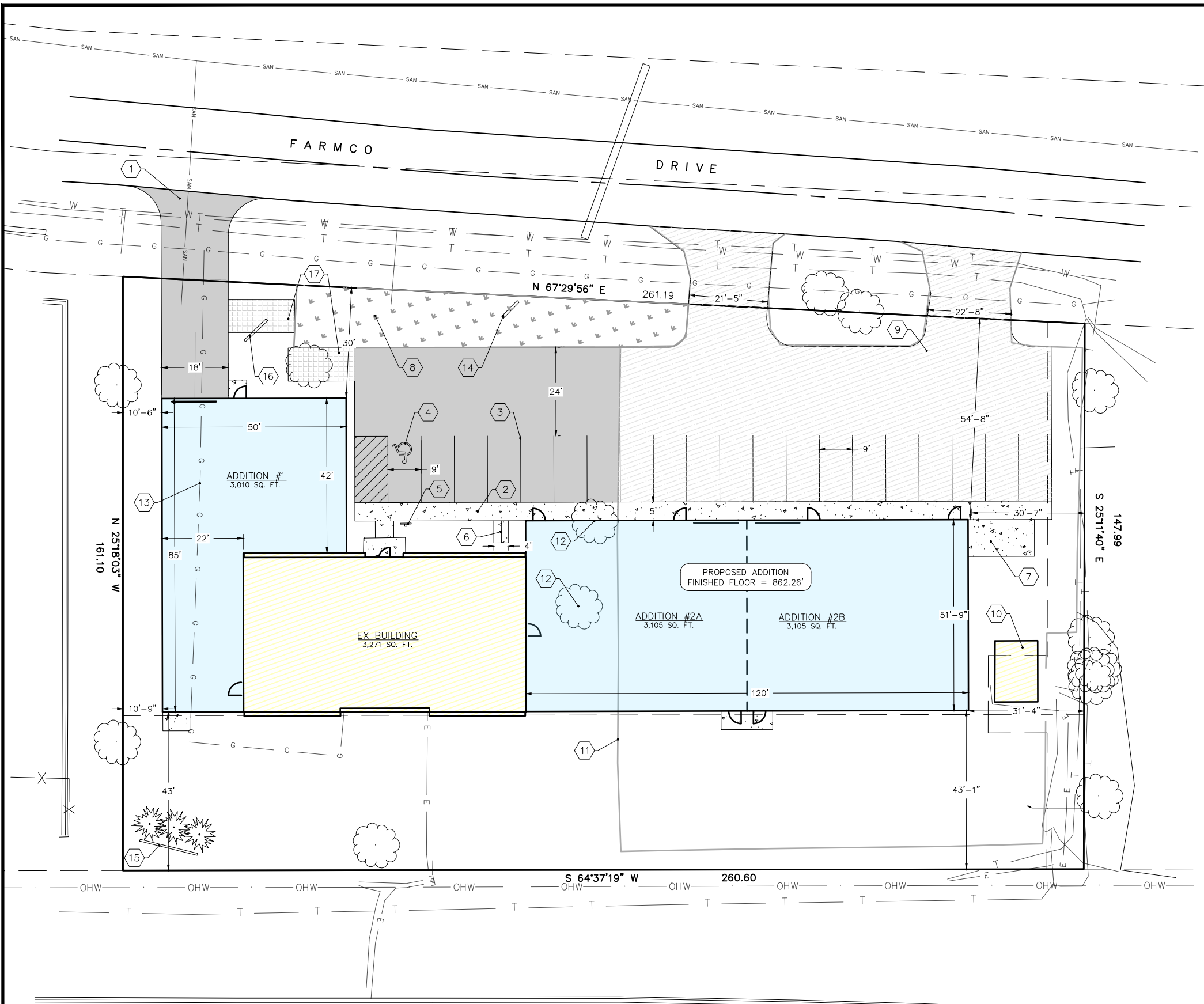
818 N Meadowbrook Ln
 Waunakee, WI 53597
 phone (608) 849-9378
 www.pe-wi.com



**FARMCO BUILDING ADDITION
 EXISTING CONDITIONS**

TOWN OF WESTPORT, WISCONSIN
 5376 FARMCO DRIVE

C100



SITE INFORMATION

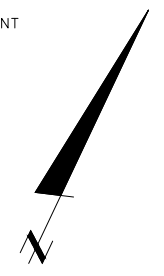
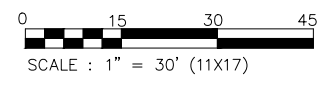
SITE ADDRESS: 5376 FARMCO DRIVE
 SITE ACREAGE TOTAL: 40,297 SF (0.93 ACRES)
 EXISTING IMPERVIOUS AREA = 21,503 SF
 EXISTING IMPERVIOUS SURFACE % = 53.4%
 PROPOSED IMPERVIOUS AREA = 23,057 SF
 IMPERVIOUS SURFACE % = 57.2%
 NUMBER OF PARKING STALLS: 24 (1 HC), INCLUDES 2 FUTURE STALLS IF NEEDED
 TOTAL BIKE PARKING: 2 STALLS

PLAN KEY

- 1 NEW DRIVEWAY
- 2 SIDEWALK
- 3 4" PAVEMENT STRIPING WITH TWO COATS OF TRAFFIC GRADE LATEX PAINT, TYP
- 4 VAN ACCESSIBLE STALL, TYP.
- 5 VAN ACCESSIBLE PARKING SIGN, TYP.
- 6 BIKE RACK TO BE DERO PART# BH-FT-EPX BIKE RACKS SURFACE MOUNT POWDER COAT FINISH
- 7 DUMPSTER LOCATION AND CONCRETE TRASH PAD
- 8 STORMWATER DRY POND
- 9 REMOVE AND REPLACE EXISTING ASPHALT PAVEMENT
- 10 EXISTING TELEPHONE UTILITY SHED TO REMAIN
- 11 EXISTING PAVEMENT EDGE SHOWN REFERENCE
- 12 REMOVE TREE
- 13 RELOCATE EXISTING GAS LINE. COORDINATE WITH GAS UTILITY
- 14 NEW 6' WIDE BY 5' HIGH GROUND SIGN
- 15 EXISTING GROUND SIGN TO REMAIN
- 16 EXISTING GROUND SIGN TO BE REMOVED
- 17 FUTURE PARKING IF NEEDED

KEY

- ASPHALT PAVEMENT
- EXISTING ASPHALT TO BE REMOVED AND REPLACED
- CONCRETE
- VEGETATIVE FILTER STRIP FOR STORMWATER MANAGEMENT



| ISSUANCE/REVISION | DATE |
|-------------------|----------|
| SITE PLAN REVIEW | 09-07-21 |

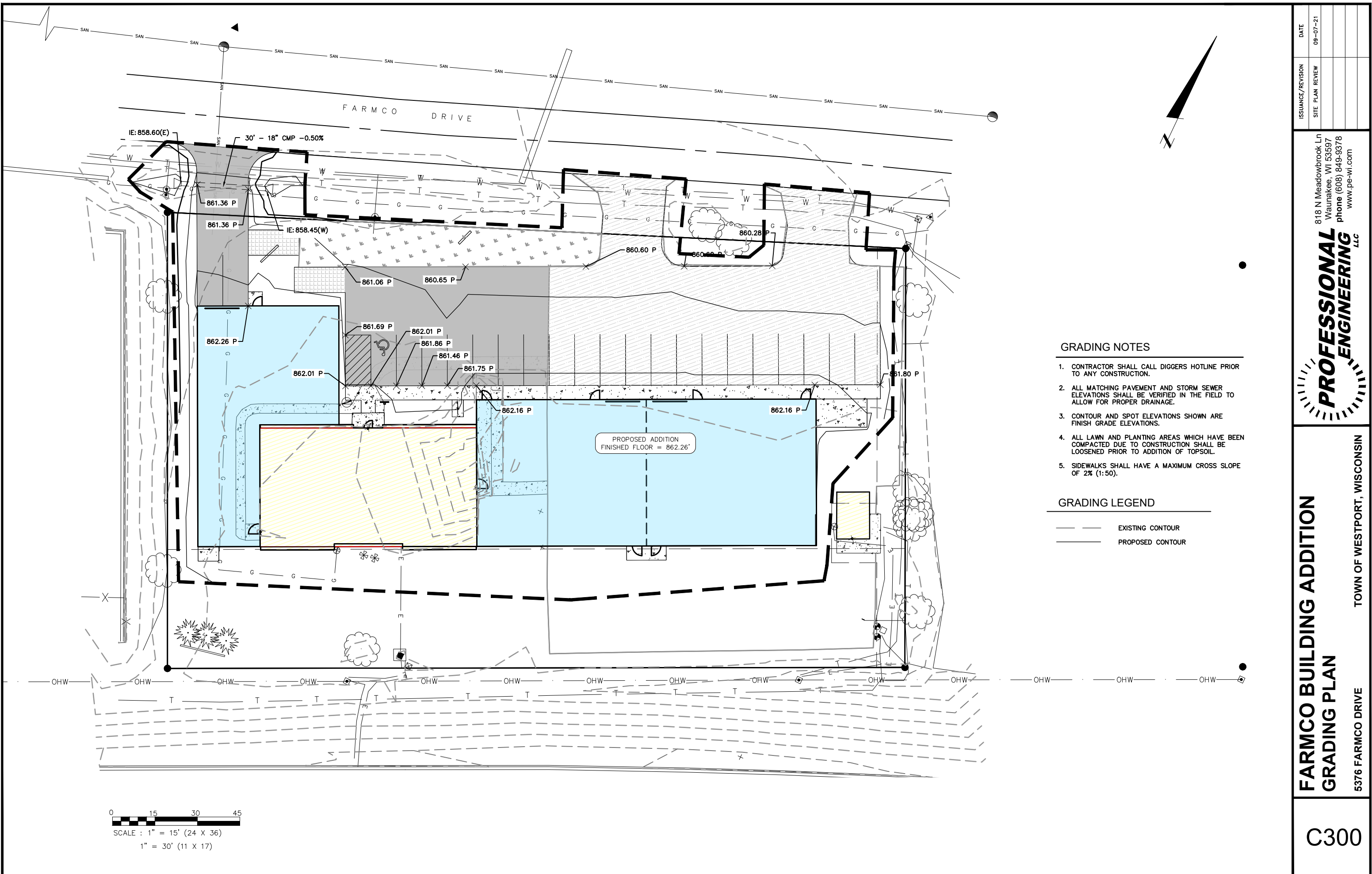
818 N Meadowbrook Ln
 Waukegan, WI 53597
 phone (608) 849-9378
 www.pe-wi.com

PROFESSIONAL ENGINEERING

FARMCO BUILDING ADDITION
SITE PLAN
 TOWN OF WESTPORT, WISCONSIN

5376 FARMCO DRIVE

C200

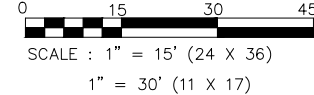


GRADING NOTES

1. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
2. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
3. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
4. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPACTED DUE TO CONSTRUCTION SHALL BE LOOSENEED PRIOR TO ADDITION OF TOPSOIL.
5. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% (1:50).

GRADING LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR



| ISSUANCE/REVISION | DATE |
|-------------------|----------|
| SITE PLAN REVIEW | 09-07-21 |

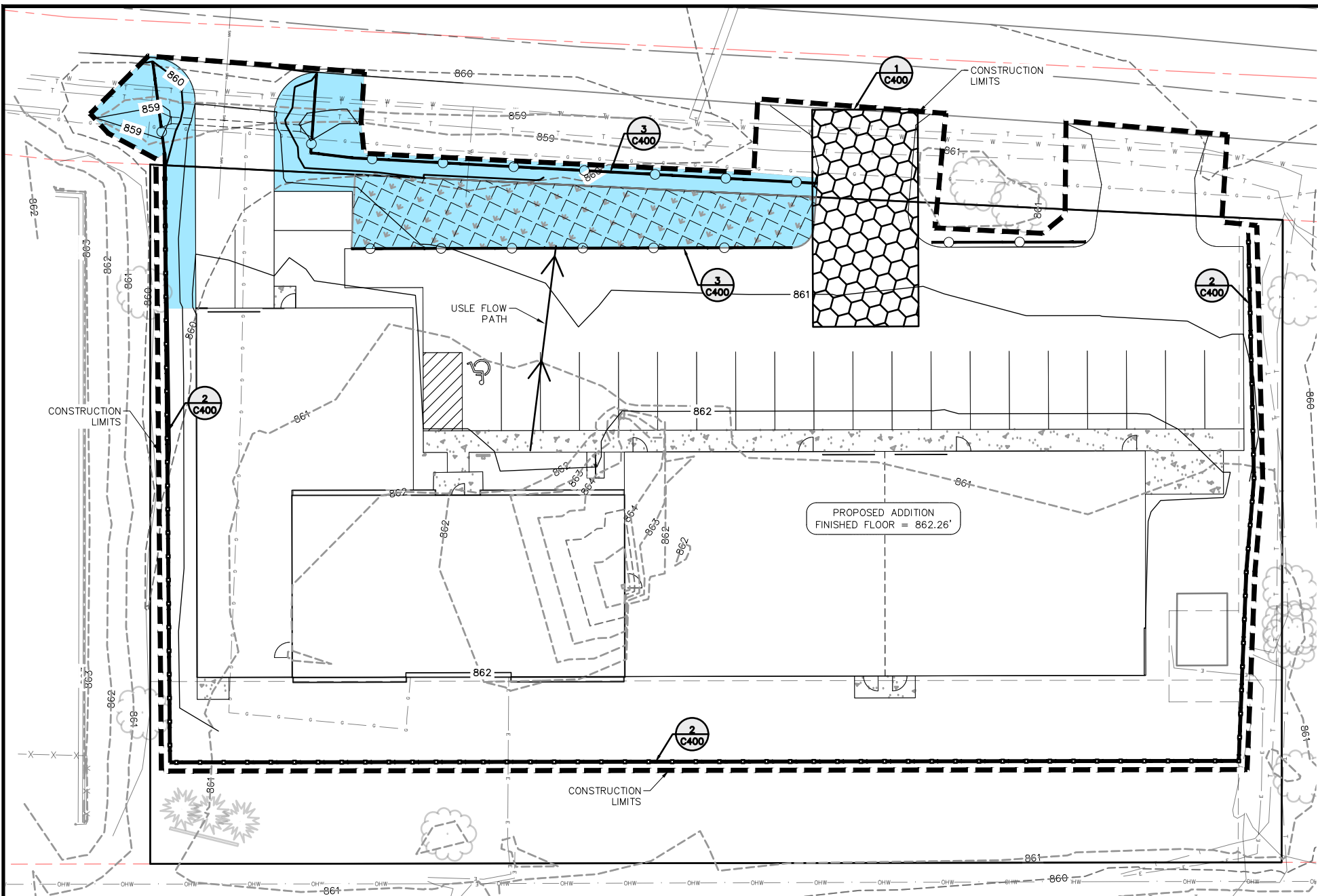
818 N Meadowbrook Ln
Waukegan, WI 53597
phone (608) 849-9378
www.pe-wi.com

PROFESSIONAL ENGINEERING LLC

FARMCO BUILDING ADDITION GRADING PLAN

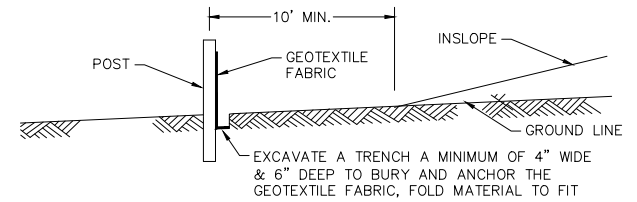
5376 FARMCO DRIVE TOWN OF WESTPORT, WISCONSIN

C300

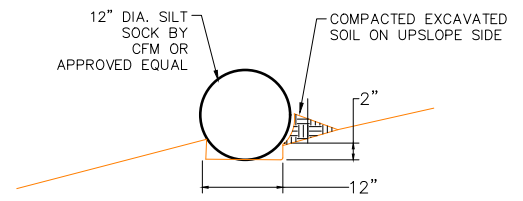


EROSION CONTROL NOTES

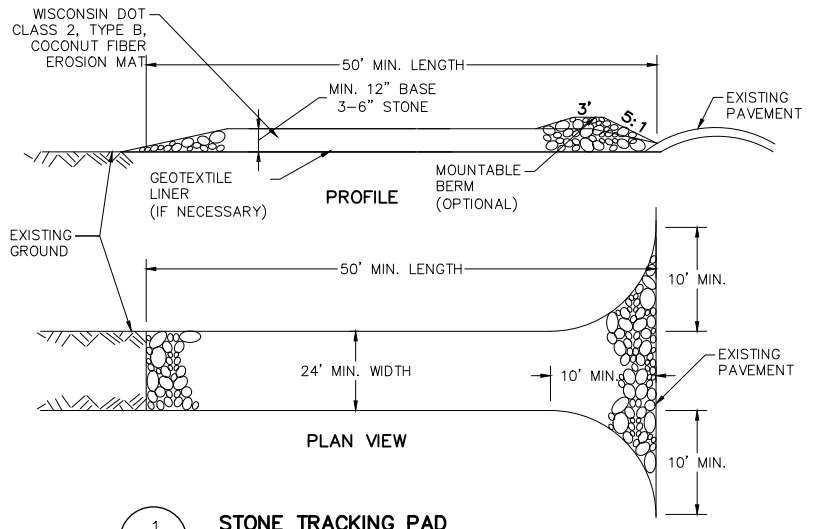
1. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF LAND DISTURBING CONSTRUCTION ACTIVITIES UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE COUNTY RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
3. CLEANING. RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY.
4. RESTORATION. RESTORATION SHALL BE COMPLETED AS NOTED IN THE CONSTRUCTION SCHEDULE UNLESS OTHERWISE AUTHORIZED BY THE COUNTY.
5. INSPECTION. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND A DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
6. STONE TRACKING PAD. BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD AT EACH POINT WHERE VEHICLES ENTERS/EXITS THE CONSTRUCTION SITE. STONE TRACKING PADS SHOULD BE AT LEAST 24 FEET WIDE AND 50 FEET LONG, AND CONSTRUCTED OF 3-6 INCH WASHED STONE WITH A DEPTH OF AT LEAST 12 INCHES. ON SITES WITH CLAY SOILS, STONE TRACKING PADS MUST BE UNDERLAIN WITH A GEOTEXTILE LINER TO PREVENT THE STONE FROM SINKING INTO THE SOIL.
7. INLET PROTECTION. ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH FRAMED INLET PROTECTION MEETING ASTM D8057-17 REQUIREMENTS. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT.
8. EROSION MAT. AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 4H:1V SHALL BE STABILIZED WITH WISCONSIN DOT CLASS 1, URBAN, TYPE A, EROSION MAT OR WISCONSIN DOT CLASS 2, TYPE B, COCONUT FIBER EROSION MAT AS NOTED.
9. TEMPORARY EROSION CONTROL. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
10. STABILIZATION. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 14 DAYS OF LAST ACTIVITY. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 7 DAYS OF REACHING FINAL GRADING.
11. TOPSOIL. A MINIMUM OF 6 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEED OR SODDED.
12. SEEDING. LAWN AREAS SHALL BE FINISH GRADED AND SEED AT A RATE OF 4 LBS. PER 1,000 SQ. FT. BASIS OF DESIGN: MADISON PARKS LAWN SEED MIX. EARTHCARPET CORPORATION. (WWW.SEEDSOLUTIONS.COM). ALL STRAW MULCH MUST BE CRIMPED IN.
13. STOCKPILES. ALL STOCKPILES MUST BE TEMPORARILY STABILIZED WITHIN 7 DAYS OF LAST ACTIVITY AND PROTECTED WITH PERIMETER CONTROL INSTALLED 5' FROM THE TOE OF THE PILE.



2 SILT FENCE
C400 NTS



3 SILT SOCK
C400 NTS

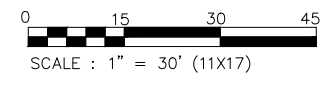
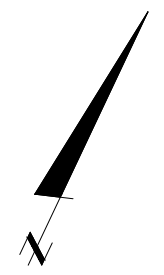


1 STONE TRACKING PAD
C400 NTS

- KEY**
- WISCONSIN DOT CLASS 1, URBAN, TYPE A, EROSION MAT
 - WISCONSIN DOT CLASS 2, TYPE B, COCONUT FIBER EROSION MAT

CONSTRUCTION SCHEDULE

INSTALL EROSION CONTROL MEASURES: SEPTEMBER 20, 2021
 BEGIN SITE GRADING: SEPTEMBER 20, 2021
 SEED & MULCH LANDSCAPE AREAS: NOVEMBER 1, 2021
 TOUCH UP ANY REMAINING LANDSCAPE AREAS: MAY 1, 2022
 SEED & MULCH ANY REMAINING LANDSCAPE AREAS: JULY 14, 2022
 VEGETATION ESTABLISHED: SEPTEMBER 14, 2022



| ISSUANCE/REVISION | DATE |
|-------------------|----------|
| SITE PLAN REVIEW | 09-07-21 |

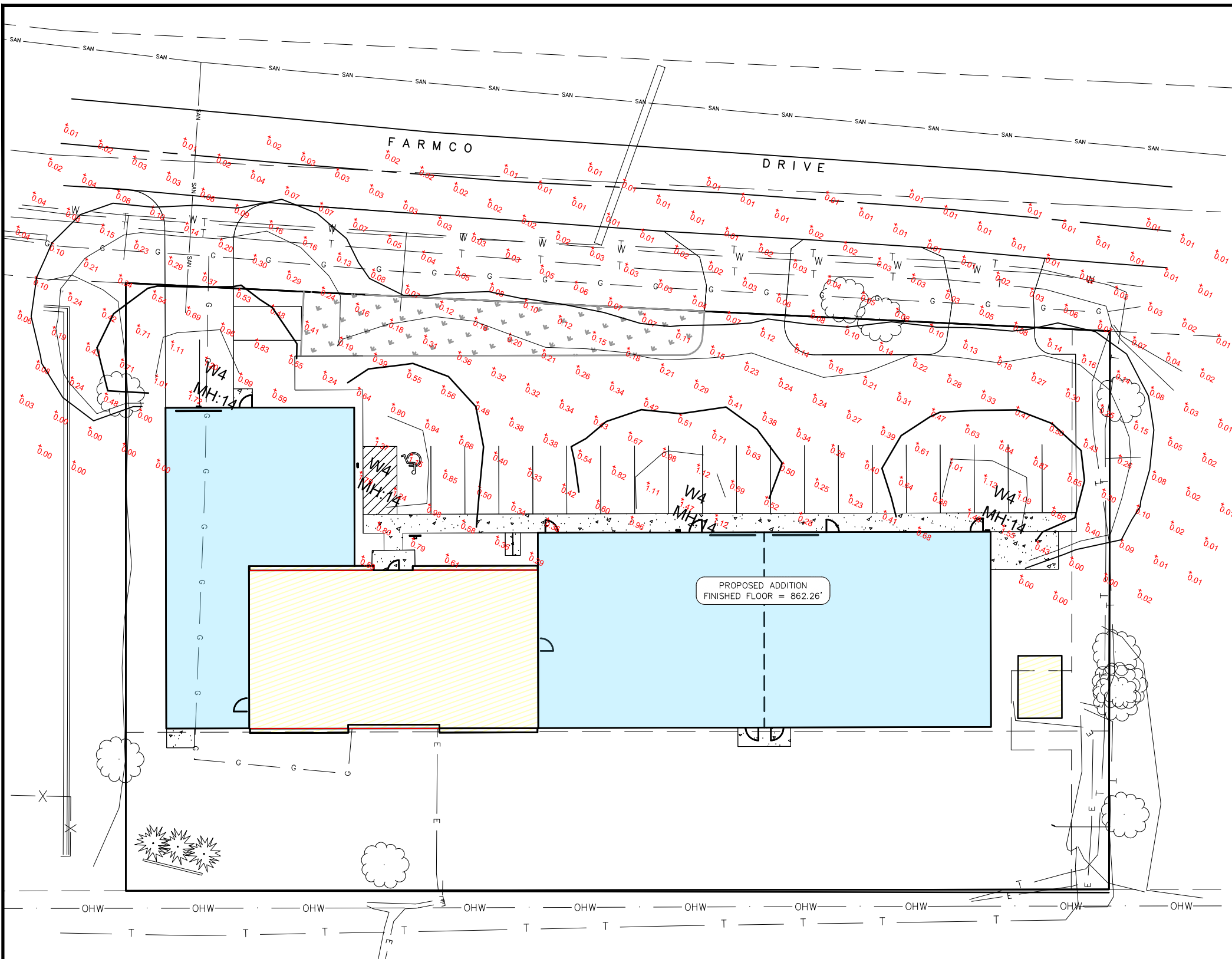
818 N Meadowbrook Ln
 Waunakee, WI 53597
 phone (608) 849-9378
 www.pe-wi.com

PROFESSIONAL ENGINEERING L7C

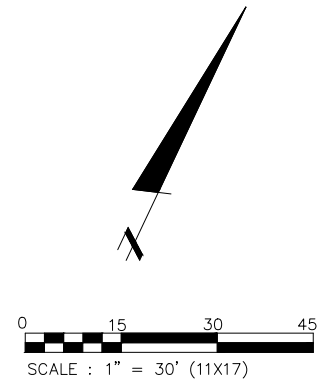
**FARMCO BUILDING ADDITION
 EROSION CONTROL PLAN**

TOWN OF WESTPORT, WISCONSIN
 5376 FARMCO DRIVE

C400



| Luminaire Schedule | | | | | | |
|--------------------|------|----------|---|-------|------------|-------------|
| QTY | TYPE | MFR | PART NUMBER | LLF | Lum. Watts | Total Watts |
| 4 | W4 | Lithonia | DSXW1 LED 10C 700 xxK TFTM MVOLT (mount) (finish) | 0.950 | 26 | 104 |



| ISSUANCE/REVISION | DATE |
|-------------------|----------|
| SITE PLAN REVIEW | 09-07-21 |

818 N Meadowbrook Ln
 Waunakee, WI 53597
 phone (608) 849-9378
 www.pe-wi.com

PROFESSIONAL ENGINEERING LLC

FARMCO BUILDING ADDITION LIGHTING PLAN

5376 FARMCO DRIVE TOWN OF WESTPORT, WISCONSIN

C600

AGENDA ITEM #5:

Rezone/Lot Line Adjustment/Design Review, Commercial
Building Addition, Advanced Concrete/Ziegler, 6075 CTH K
(Middleton ETZ), Discussion/Recommendation/Action



Town of Westport GIS

DISCLAIMER: The Town of Westport does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1 = 380'

Town of Westport
5387 Mary Lake Road
Wauaukee, WI 53597
(608) 849-4372

Print Date: 7/29/2021

TOWN OF WESTPORT
CSM APPLICATION
GENERAL INFORMATION

Project: ADVANCED CONCRETE, INC. CSM
Name: WALTER S. JANKOWSKI, V.P.
Address: 6075 COUNTY RD K
WAUNAKEE, WI 53597

Applicant:

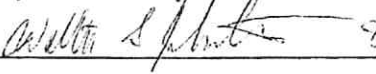
Name: ADVANCED CONCRETE, INC.
Address: 6075 COUNTY RD K
WAUNAKEE, WI 53597
Phone: 608-849-8868
Email: Wally@advanced-concreteinc.com

Representative:

Name: MICHELLE L. BURSE, PLS
Address: 2801 INTERNATIONAL LANE, Suite 101
MADISON, WI 53704
Phone: 608-250-9263
Email: mburse@bse-inc.net

Date Submitted: 8/25/21
Review Period Ends: 10/25/21
Period Extended To: _____
Date of Plan Commission meetings: 9/13/21 or Administrative Review
Time of meeting: 7:00 p.m.

I agree that the following information is true to the best of my knowledge, and to abide by Town of Westport Ordinance Provisions.

By:  8-25-21
Date: _____

RECEIVED

AUG 25 2021

TOWN OF WESTPORT
CHECKLIST FOR LAND DIVISIONS BY CERTIFIED SURVEY MAP

DATE RECEIVED (TOWN) 8/25/21
DATE RECEIVED (ENGINEER) 9/8/21
CHECKED BY BA
DATE 8/25/21

NAME OF CSM ADVANCED CONCRETE 2-LOT CSM
OWNER KAREN A. Ziegler DIVIDER ADVANCED CONCRETE, INC.
KAZ LIVING TRUST
ADDRESS 6039 County Rd K ADDRESS 6075 County Rd K
TELEPHONE NO. 608-209-4192 TELEPHONE NO. 608-849-8868

ENGINEER/SURVEYOR BURSE SURVEYING AND ENGINEERING, INC.
ADDRESS 2801 INTERNATIONAL LANE, SUITE 101
MADISON, WI 53704
TELEPHONE NO. 608-250-9263

NOTES: ACTION ON MAP MUST BE TAKEN WITHIN NINETY (90) DAYS AFTER RECEIVED BY TOWN

THE TOWN OF WESTPORT RESERVES THE RIGHT TO REFUSE SUBMISSION OF A MAP FOR NONCOMPLIANCE OF ANY OF THE FOLLOWING PROVISIONS

- ___ 1. The Certified Survey Map shall show correctly on its face, in addition to the information required by Section 236.34, Wis. Stats., the following:
- (a) All Existing Buildings, watercourses, drainage ditches and other features pertinent to property division.
 - ~~SHOW~~ ^{NOT} (b) Setbacks or Building Lines required by the Town's ordinances and the Dane County Zoning Code.
 - NA (c) All Lands Reserved for future acquisition.

- (d) Date of the Map
- (c) Graphic Scale
- (f) Name and Address of the owner, subdivider and surveyor.
- (g) Square Footage of each parcel.
- (h) Present Zoning for the parcels.

- 2. State Plane ~~Coordinate System~~ **WE USED COUNTY COORDINATES**. Where the map is located within a quarter section the corners of which have been relocated, monumented and coordinated by the Town, the map shall be tied directly to one of the section or quarter corners so relocated, monumented and coordinated. The exact grid bearing and distance of such tie shall be determined by field measurements, and the material and Wisconsin state plane coordinate of the monument marking the relocated section or quarter corner to which the map is tied shall be indicated on the map. All distances and bearings shall be referenced to the Wisconsin Coordinate System, South Zone and adjusted to the Town's control survey.
- 3. Street Dedication. Dedication of streets and other public areas shall require the owner's certificate and mortgagee's certificate in substantially the same form as required by Section 236.21 (2)(a) of the Wisconsin Statutes.
- 4. Recordation. The divider shall record the map with the Dane County Register of Deeds within thirty (30) days of its approval by the Town Board and any other approving agencies. Failure to do so shall necessitate a new review and re-approval of the map by the Town Board.
- 5. Requirements. To the extent reasonably practicable, the certified survey shall comply with the provisions of the Town of Westport's ordinances relating to the general requirements, design standards and required improvements. Conveyance by metes and bounds shall be prohibited where the lot(s) involved is less than one and one-half (1-1/2) acres or three hundred (300) feet in width.
- 6. Complete Preliminary Plat Checklist as well (applicable provisions), and attach hereto.

The Owner/Divider understands that if any of the above-required information is not submitted and an acceptable explanation is not given in an attached letter of intent as to why the required information is not submitted, the CSM and related information will be returned to the Owner/Divider for re-submittal.

[Signature]
OWNER

8-25-21
DATE

OWNER

DATE

TOWN OF WESTPORT
 ENVIRONMENTAL ASSESSMENT CHECKLIST
 FOR SUBDIVISIONS AND LAND DIVISIONS BY CERTIFIED SURVEY

All yes answers must be explained in detail by attaching maps and supportive documentation describing the impacts of the proposed development.

| (a) Land Resources | <u>Yes</u> | <u>No</u> |
|---|------------|-------------------------------------|
| Does the project site involve: | | |
| (1) Changes in relief and drainage patterns | — | <input checked="" type="checkbox"/> |
| (2) A landform or topographical feature of local or regional interest | — | <input checked="" type="checkbox"/> |
| (3) An area having importance for wild plants and animals of community interest | — | <input checked="" type="checkbox"/> |
| (4) An area of soil instability— greater than 12% slope or organic soils, peats or mucks at or near the surface | — | <input checked="" type="checkbox"/> |
| (5) An area of bedrock within 6 feet of the soil surface | — | <input checked="" type="checkbox"/> |
| (6) An area with the groundwater table within 10 feet of the soil surface | — | <input checked="" type="checkbox"/> |
| (7) An area with fractured bedrock within 10 feet of the soil surface | — | <input checked="" type="checkbox"/> |
| (8) A drainage way for 5 or more acres of land | — | <input checked="" type="checkbox"/> |
| (9) More than 50% impermeable surface | — | <input checked="" type="checkbox"/> |
| (10) Prime agricultural land | — | <input checked="" type="checkbox"/> |
| (11) Wetlands and marshes | — | <input checked="" type="checkbox"/> |
| (12) Removal of over 25% of the present trees | — | <input checked="" type="checkbox"/> |

Land Division and Subdivision Code

Ref. 10-2-30(b)

(b) **Water Resources**

Does the proposed project involve:

- | | | | | |
|-----|---|----------|----------|-------------|
| (1) | Location within and area traversed by a navigable stream or dry run. | — | <u>✓</u> | |
| (2) | Greater than 10% change in the capacity of a water storage facility or flow of a waterway within one mile | — | <u>✓</u> | |
| (3) | The use of septic tank-soil absorption fields for on-site waste disposal | <u>✓</u> | — | SHOW ON CSM |
| (4) | Lowering of water table by pumping or drainage | — | <u>✓</u> | |
| (5) | Raising of water table by altered drainage patterns | — | <u>✓</u> | |
| (6) | Lake frontage | — | <u>✓</u> | |

(c) **Biological Resources**

Does the project site involve:

- | | | | | |
|-----|---|---|----------|--|
| (1) | Critical habitat for plants and animals of community interest | — | <u>✓</u> | |
| (2) | Endangered, unusual, or rare species of: | | | |
| | a. Land animals | — | <u>✓</u> | |
| | b. Birds | — | <u>✓</u> | |
| | c. Plants | — | <u>✓</u> | |

(d) **Human and Scientific Interest**

Does the project site involve:

- | | | | | |
|-----|------------------------------------|---|----------|--|
| (1) | An area of archaeological interest | — | <u>✓</u> | |
| (2) | An area of geological interest | — | <u>✓</u> | |
| (3) | An area of hydrological interest | — | <u>✓</u> | |

Land Division and Subdivision Code

Ref. 10-2-30(b)

- (4) An area of historical interest
 - a. Historic buildings or monuments
 - b. Buildings or monuments of unique architecture
- (5) An area of identified community recreational use
- (e) **Energy, Transportation and Communications**
 - (1) Does the development increase the traffic flow in any collector system by more than 10%?
 - (2) Is the development traversed by an existing or planned utility corridor (gas, electricity, water, sewer interceptor, communications, storm sewer)?
 - (3) Is safe exit and access provided for?
- (f) **Population**
 - (1) Does the development increase by more than 10% the school population of any school serving the development?
- (g) **Comments.** Comments on any of the above which may have a significant environmental impact:
- (h) **Appendices and Supporting Material.**
 - _____ 15. Surety.

Land Division and Subdivision Code

Ref. 10-2-30(b)

The Owner/Subdivider understands that if any of the above-required information is not submitted and an acceptable explanation is not given in an attached letter of intent as to why the required information is not submitted, the final plat and related information will be returned to the Owner/Subdivider for resubmittal.

Walter J. Jones
OWNER

8-25-21
DATE

"
SUBDIVIDER

"
DATE

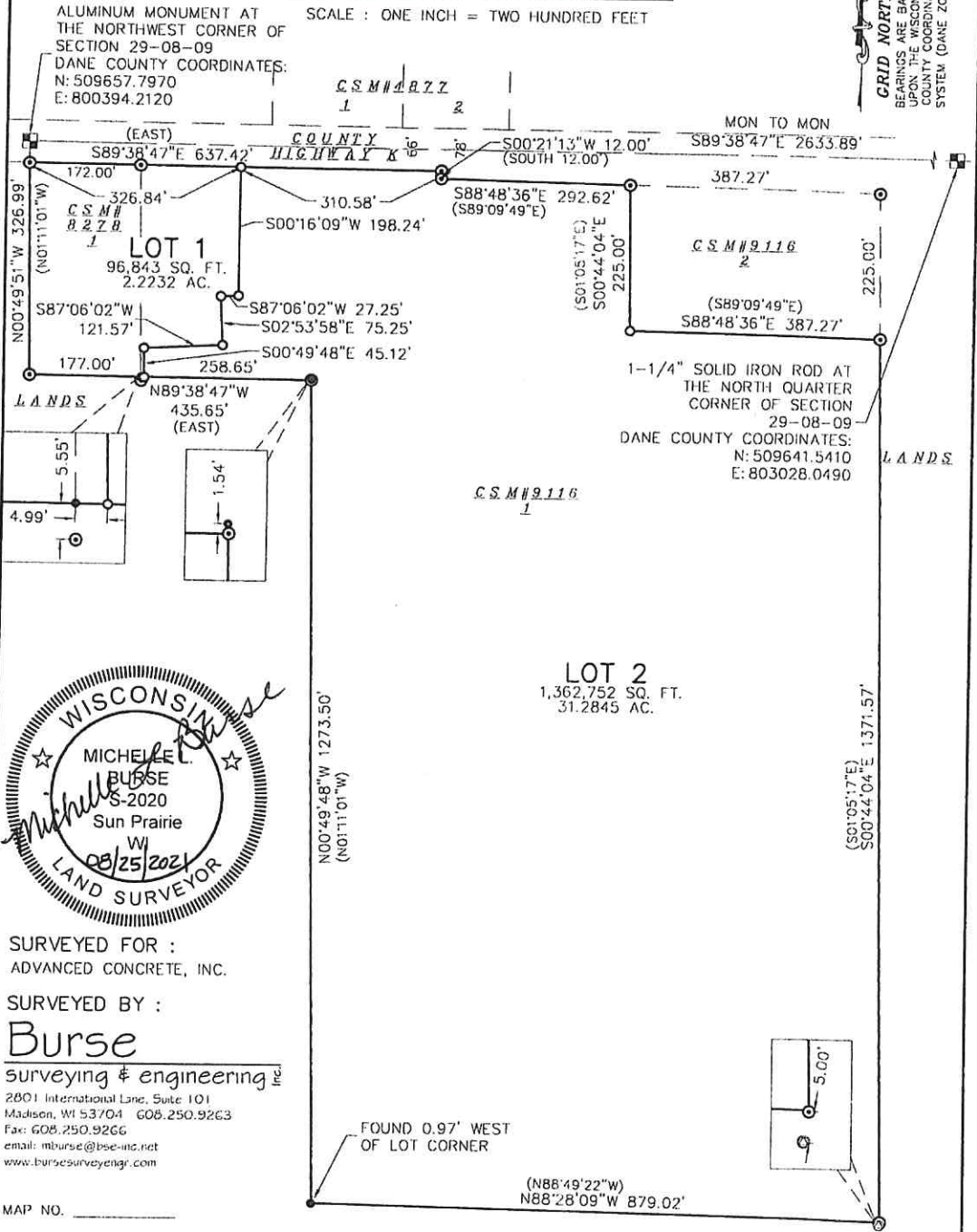
CERTIFIED SURVEY MAP No. _____

LOT 1, CERTIFIED SURVEY MAP NUMBER 8278, AND LOT 1, CERTIFIED SURVEY MAP NUMBER 9116, AS RECORDED IN DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST AND SOUTHWEST QUARTERS OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 08 NORTH, RANGE 09 EAST, TOWN OF WESTPORT, DANE COUNTY, WISCONSIN



SCALE : ONE INCH = TWO HUNDRED FEET

GRID NORTH
BEARINGS ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (DANE ZONE)



SURVEYED FOR :
ADVANCED CONCRETE, INC.

SURVEYED BY :
Burse
surveying & engineering llc

2801 International Lane, Suite 101
Madison, WI 53704 608.250.9263
Fax: 608.250.9266
email: mburse@bse-inc.net
www.bursesurveyengr.com

MAP NO. _____

DOCUMENT NO. _____

VOLUME _____ PAGES _____

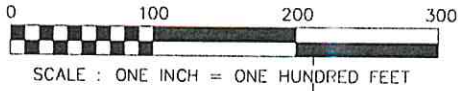
Date: August 25, 2021
Plot View: CSM
\\BSE2452\dwg\Survey\BSE2452v18.dwg

- NOTES:**
- 1) SEE SHEET 3 FOR LEGEND.
 - 2) SEE SHEET 2 FOR BUILDING DETAILS.
 - 3) SEE SHEET 2 FOR EASEMENTS.

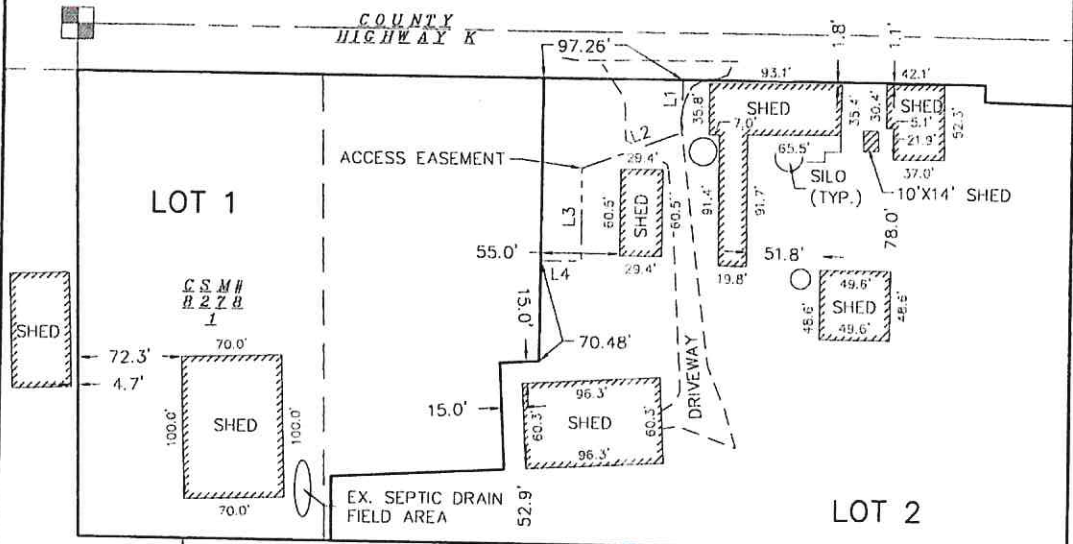
CERTIFIED SURVEY MAP No. _____

LOT 1, CERTIFIED SURVEY MAP NUMBER 8278, AND LOT 1, CERTIFIED SURVEY MAP NUMBER 9116, AS RECORDED IN DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST AND SOUTHWEST QUARTERS OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 08 NORTH, RANGE 09 EAST, TOWN OF WESTPORT, DANE COUNTY, WISCONSIN

GRID NORTH
BEARINGS ARE BASED
ON THE WISCONSIN
COUNTY COORDINATE
SYSTEM (DANE ZONE)



C.S.M.# 8278



| Easement Line Table | | |
|---------------------|-------------|--------|
| Number | Direction | Length |
| L1 | S00°00'00"E | 36.85 |
| L2 | S70°00'00"W | 74.03 |
| L3 | S00°00'00"E | 65.00 |
| L4 | N90°00'00"W | 28.29 |

SURVEYED BY :
Burse
 surveying & engineering inc.
 2801 International Lane, Suite 101
 Madison, WI 53704 GOB.250.9263
 Fax: GOB.250.9266
 email: mburse@bse-inc.net
 www.bursesurveyengr.com

MAP NO. _____
 DOCUMENT NO. _____
 VOLUME _____ PAGES _____
 Date: August 25, 2021
 Plot View: CSM
 \BSE2452\dwg\Survey\BSE2452v18.dwg



CERTIFIED SURVEY MAP No. _____

LOT 1, CERTIFIED SURVEY MAP NUMBER 8278, AND LOT 1, CERTIFIED SURVEY MAP NUMBER 9116, AS RECORDED IN DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST AND SOUTHWEST QUARTERS OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 08 NORTH, RANGE 09 EAST, TOWN OF WESTPORT, DANE COUNTY, WISCONSIN

TOWN OF WESTPORT APPROVAL

Resolved, that this Certified Survey Map located on the Town of Westport was hereby approved by the Town Board of the Town of Westport as required by Chapter 236, Wisconsin Statutes.

Dated this ____ of _____, 202__.

Town of Westport

Town Clerk

VILLAGE OF WAUNAKEE APPROVAL

Approved for recording per the Village of Waunakee, Dane County Wisconsin, action of _____ day of _____, 202__.

Village Clerk, Village of Waunakee

COUNTY PLANNING AGENCY APPROVAL

This Certified Survey Map is hereby approved by the Dane County Zoning and Land Regulation Committee this _____ day of _____, 202__.

Daniel Everson, Authorized Representative

NOTES

Refer to building site information contained in the Dane County Soil Survey.

LEGAL DESCRIPTION:

LOT 1, CERTIFIED SURVEY MAP NUMBER 8278, AND LOT 1, CERTIFIED SURVEY MAP NUMBER 9116, AS RECORDED IN DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST AND SOUTHWEST QUARTERS OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 08 NORTH, RANGE 09 EAST, TOWN OF WESTPORT, DANE COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, Michelle L. Burse, Professional Land Surveyor No. 2020, hereby certify that I have surveyed, divided, and mapped the above described lands under the direction of Advanced Concrete Properties Waunakee, LLC and , owners of said land. I further certify that the map on sheet one (1) is a correct representation of the exterior boundaries of the lands surveyed, and that I have fully complied with the provisions of Chapter 236.34 of the State Statutes, and the Land Division Ordinance of the Town of Westport in surveying, dividing, and mapping the same.

Dated this 25 day of August, 2021.

Signed: Michelle L. Burse
Michelle L. Burse, P.L.S. No. 2020



SURVEYED BY :

Burse

surveying & engineering llc

2801 International Lane, Suite 101
Madison, WI 53704 608.250.9263

Fax: 608.250.9266
email: mburse@bse-inc.net
www.bursesurveyengr.com

MAP NO. _____

DOCUMENT NO. _____

VOLUME _____ PAGES _____

Date: August 25, 2021

Plot View: CSM

\\BSE2452\dwg\Survey\BSE2452v18.dwg

LEGEND

- 1" IRON PIPE FOUND
- 3/4" SOLID IRON ROD FOUND
- ⊙ 1-1/4" IRON PIPE FOUND
- 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.

() INDICATES RECORDED AS

DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

CERTIFIED SURVEY MAP No. _____

LOT 1, CERTIFIED SURVEY MAP NUMBER 8278, AND LOT 1, CERTIFIED SURVEY MAP NUMBER 9116, AS RECORDED IN DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST AND SOUTHWEST QUARTERS OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 08 NORTH, RANGE 09 EAST, TOWN OF WESTPORT, DANE COUNTY, WISCONSIN

OWNER'S CERTIFICATE

Advanced Concrete Properties Waunakee, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this Certified Survey Map to be surveyed, divided and mapped as represented on this Certified Survey Map.

Advanced Concrete Properties Waunakee, LLC does further certify that this Certified Survey Map is required by S.236.34, Wisconsin Statutes and S.75.17(1)(a), Dane County Code of Ordinances to be submitted to the following for approval or objection:

Town of Westport

IN WITNESS WHEREOF, the said _____ has caused these presents to be signed by _____, its managing member on this _____ day of _____, 202__.

Advanced Concrete Properties Waunakee, LLC

By: _____
managing member

STATE OF WISCONSIN)
)ss
County of Dane)

Personally came before me this _____ day of _____, 202__, _____, managing member of the above named Limited Liability Company to me known to be the person who executed the foregoing instrument, and to me known to be such managing member of said Limited Liability Company, and acknowledged that they executed the foregoing instrument as such officers and the deed of said corporation, by its authority.

Notary Public, Wisconsin _____

My commission expires _____

OWNER'S CERTIFICATE

KAZ Living Trust, as owner, do hereby certify that I caused the land described on this Certified Survey Map to be surveyed, divided, mapped, and dedicated as represented on sheet 1. I also certify that this Certified Survey Map is required by s.236.34 to be submitted to the following for approval or objection.

Town of Westport

WITNESS the hand and seal of said owners, this _____ day of _____, 202__.

KAZ Living Trust

State of Wisconsin)
)ss.
County of Dane)

Personally came before me this _____ day of _____, 202__, the above named KAZ Living Trust, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public: _____

My commission expires/is permanent: _____

SURVEYED BY :

Burse
surveying & engineering ^{LLC}

2801 International Lane, Suite 101
Madison, WI 53704 608.250.9263
Fax: 608.250.9266
email: mburse@bse-inc.net
www.bursesurveyengr.com

MAP NO. _____

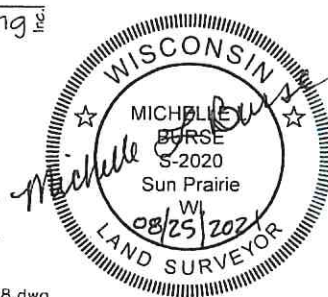
DOCUMENT NO. _____

VOLUME _____ PAGES _____

Date: August 25, 2021

Plot View: CSM

\\BSE2452\dwg\Survey\BSE2452v18.dwg



Office of the Register of Deeds

_____ County, Wisconsin

Received for Record

_____ 20__ at _____

_____ o'clock __M as

Document No. _____

in _____

Register of Deeds

AGENDA ITEM #6:

Cherokee Golf Course Wetland and Drainage Permits
Supplemental Review, 5000 N Sherman Avenue,
Discussion/Recommendation

From: Jeffrey Kraemer <jeff@heartlandecological.com>

Sent: Friday, September 10, 2021 10:22 AM

To: Tom Wilson <twilson@townofwestport.org>

Cc: Dave Olesczuk <doleszczuk@cherokeecountryclub.net>; Buck Sweeney (csweeney@axley.com) <csweeney@axley.com>; Dennis Tiziani <dtiziani@cherokeecountryclub.net>

Subject: RE: FYI re Cherokee Golf proposal, requested response please

Tom -

Cherokee has made revisions to their proposed project to further minimize wetland and waterway impacts. Wetland impacts have been reduced from nearly 10 acres to approximately 2 acres and all impacts to waterways through filling (1.33 acres) have been eliminated. Cherokee still proposes dredging of waterways for maintenance and water quality improvements; deep excavation and enlargement of a few of the existing ponds for water quality and obtaining construction fill material; and will be replacing undersized/perched culverts with appropriately sized and placed culverts while incorporating many clear span bridges and boardwalks to minimize wetland impacts. Cherokee is also proposing to restore all the wetlands on their property (33.5 acres) plus will create wetlands on-site to offset the wetland loss while also purchasing wetland mitigation credits.

Below is the information that was recently provided to WDNR with updated plans and a narrative of the project.

Application Narrative & Attachments: <https://heartlandecological-my.sharepoint.com/:b:/p/jeff/EcXkMKXDoJBJnc5vVdnFm2IBXPXmJL8XOvK>

[hzqK7cU3nKg?e=AEIOxy](https://heartlandecological-my.sharepoint.com/:u:/p/jeff/EZfTjFePn8dHqG4AhzMvXF8BJqNAPeK6sOxad9qU_VOMqQ?e=4sUCEc)

Engineering Plans & Specs: https://heartlandecological-my.sharepoint.com/:u:/p/jeff/EZfTjFePn8dHqG4AhzMvXF8BJqNAPeK6sOxad9qU_VOMqQ?e=4sUCEc

Our response to the Friends of the Cherokee Marsh questions are as follows:

1. "The Cherokee Marsh wetlands provide crucial flood control and filtering of stormwater for Lake Mendota, the other downstream lakes in the Yahara chain, and their residents. Any loss of wetlands reduces the wetlands' capability to provide these functions. We understand that the

proposed 9.82 acres of wetland loss would be offset with wetland mitigation credits, but if the mitigation occurs in another watershed as expected, Cherokee Marsh and its downstream waters receive no benefit to offset the wetland loss." Please describe where might the mitigation credits be used and how might the mitigation enhance the Marsh.

- Cherokee's revised plans have further minimized wetland impacts from 9.82 acres to 2.06 acres. Of the proposed wetland impacts, 1.31 acres will result in a wetland loss through conversion to uplands, while 0.75 acres of wetland impacts will result from excavation activities and will result in a conversion of wetland type but not a loss. Cherokee's on-site wetland mitigation plan is as follows and is detailed in a wetland restoration plan as part of the material at the link above:

| On-Site Wetland Restoration Methodology | Acreage |
|--|----------------|
| Establish Native Shoreline/Littoral Vegetation on Enlarged Waterbodies | 1.31 |
| Meander Channel Abandonment Restoration | 1.45 |
| Wetland Creation Within Uplands | 1.64 |
| Enhancement of Degraded Wetlands | 33.52 |
| Total Wetland Restoration and Enhancement | 37.92 |

As indicated, 1.64 acres of wetlands will be created on-site which will off-set the 1.31 acres of proposed wetland loss, while the restoration and enhancement of 36.28 acres of degraded wetlands and littoral zones will result in a significant overall beneficial impact to the ecological functional and values of the wetlands on-site. Furthermore, Cherokee will be required to purchase wetland mitigation credits at a likely ratio of 1.2:1 from a mitigation bank located within the Rock River watershed. This credits will be purchased from a private mitigation bank where the wetlands have already been restored.

2. "The application also requests to convert 1.3 acres of shallow open water to upland. The Wisconsin Department of Natural Resources (WDNR) strongly discourages the conversion of open water to upland as it is likely to be detrimental to the public interests of navigable waterways." Please describe the shallow open water being converted and how the conversion might actually enhance the Marsh.

- Waterway conversion to uplands has been eliminated from the proposed plan. Further efforts have been proposed to avoid impacts to waterways through the use of clear span bridges and replacement of undersized and perched culverts. Maintenance dredging throughout the waterway channels are proposed to removed unconsolidated sediment that has accumulated overtime, which will

limit the movement of this material downstream into the Yahara River, while improving fish passage and aquatic habitat.

3. "The WDNR's Endangered Resource Review identified two species potentially present within proximity to the project area and provided required actions to comply with federal/state endangered species laws. Several other special concern, species of concern, and threatened species were identified as potentially being present, and recommended actions were presented to avoid impacts to these species. We urge consideration of these actions when evaluating the permit application." Please describe steps Cherokee will be taken to address endangered resources in the project area to relieve the fears of the public in any potential loss of these species.

- Cherokee has coordinated directly with the WDNR Endangered Resources program staff and they have determined that the proposed project will not impact any known or potential rare species. WDNR has provided mitigation measures that Cherokee must adhere to during construction to avoid any potential impacts. Overall, Cherokee will be improving habitat, both wetland and aquatic, including habitats that support species of special concern, threatened and endangered with their proposed project. The information provided by WDNR specific to threatened and endangered species is confidential and unfortunately Cherokee is unable to provide specific details, but the WDNR determined that by using appropriate construction practices and timing no impacts would be expected.

Cherokee and the project team would be happy to meet with representatives of the Friends of Cherokee Marsh to answer any additional questions they may have.

Thanks,

Jeff Kraemer, Principal
Office: 608.490.2450 Ext. 2
Cell: 608.575.5783
www.heartlandecological.com

-----Original Message-----

From: Dave Olesczuk <dolesczuk@cherokeecountryclub.net>
Sent: Tuesday, September 7, 2021 2:59 PM
To: Tom Wilson <twilson@townofwestport.org>
Cc: Jeffrey Kraemer <jeff@heartlandecological.com>
Subject: RE: FYI re Cherokee Golf proposal, requested response please

Hi Tom,

We do have the plans on version 9 finalized and submitted to the DNR. I

copied Jeff Kraemer on this from Heartland Ecological. He was out a Cherokee today for a meeting related to the project coincidentally when your email came in. He said he would reply back to you with the info you needed.

Thanks

Dave Olesczuk
Vice President Operations
(608)707-0701
Cherokee Country Club

-----Original Message-----

From: Tom Wilson <twilson@townofwestport.org>
Sent: Tuesday, September 7, 2021 9:44 AM
To: Dave Olesczuk <doleszczuk@cherokeecountryclub.net>
Subject: RE: FYI re Cherokee Golf proposal, requested response please

Any update at all Dave??

-----Original Message-----

From: Dave Olesczuk <doleszczuk@cherokeecountryclub.net>
Sent: Thursday, August 26, 2021 5:03 PM
To: Tom Wilson <twilson@townofwestport.org>
Cc: Robert Anderson <banderson@townofwestport.org>; Jessica Duffrin <jduffrin@townofwestport.org>
Subject: RE: FYI re Cherokee Golf proposal, requested response please

Hi Tom,

I have not forgotten about you. We have made some revisions to our course design that changed wetland impacts from approximately 9 1/2 acres to 1 1/2 acres. The DNR has been out and likes the new plan. We had a follow up Zoom call with them last week and there is still some additional conversation going on with the DNR and Army Corps of Engineers. The environmental team we have working on this tells me plans will be more final next week.

The team wanted to wait until the updated plans were more finalized before sending you responses for the questions below to provide to your Plan Commissioners. More to come.

Thanks,
Dave

Dave Olesczuk
Vice President Operations

(608)707-0701
Cherokee Country Club

-----Original Message-----

From: Tom Wilson <twilson@townofwestport.org>

Sent: Wednesday, August 11, 2021 8:49 AM

To: Dave Olesczuk <dolesczuk@cherokeecountryclub.net>

Cc: Tom Wilson <twilson@townofwestport.org>; Robert Anderson <banderson@townofwestport.org>; Jessica Duffrin <jduffrin@townofwestport.org>

Subject: FW: FYI re Cherokee Golf proposal, requested response please

Dave,

If you recall, the Town of Westport previously submitted its approval of your applications regarding the golf course improvements as requested. One of the Plan Commissioners has now raised some issues brought up by the Friends of Cherokee Marsh. The Plan Commission directed me to contact Cherokee and obtain your response to the concerns raised. They felt it important to get your response before even thinking about reconsidering a supplemental response. I am hoping you can get me information responding to three aspects of the communication below.

1. "The Cherokee Marsh wetlands provide crucial flood control and filtering of stormwater for Lake Mendota, the other downstream lakes in the Yahara chain, and their residents. Any loss of wetlands reduces the wetlands' capability to provide these functions. We understand that the proposed 9.82 acres of wetland loss would be offset with wetland mitigation credits, but if the mitigation occurs in another watershed as expected, Cherokee Marsh and its downstream waters receive no benefit to offset the wetland loss." Please describe where might the mitigation credits be used and how might the mitigation enhance the Marsh.

2. "The application also requests to convert 1.3 acres of shallow open water to upland. The Wisconsin Department of Natural Resources (WDNR) strongly discourages the conversion of open water to upland as it is likely to be detrimental to the public interests of navigable waterways." Please describe the shallow open water being converted and how the conversion might actually enhance the Marsh.

3. "The WDNR's Endangered Resource Review identified two species potentially present within proximity to the project area and provided required actions to comply with federal/state endangered species laws. Several other special concern, species of concern, and threatened species were identified as potentially being present, and recommended actions were presented to avoid impacts to these species. We urge consideration

of these actions when evaluating the permit application." Please describe steps Cherokee will be taken to address endangered resources in the project area to relieve the fears of the public in any potential loss of these species.

Please provide the information requested above or any communication you may have provided directly responding to the concerns of the Friends. I suspect that Cherokee has taken or will take steps to address the issues raised, but need to provide them to our Plan Commissioners to address the issues. Thank you so much and best of luck to you in your endeavors to improve this great facility.

Tom

Thomas G. Wilson
Attorney/Administrator/Clerk-Treasurer
Town of Westport (Dane County, WI)
Population 4,102

5387 Mary Lake Road
Waunakee, WI 53597
twilson@townofwestport.org
www.townofwestport.org
<http://twitter.com/TownofWestport>
<http://www.facebook.com/pages/Town-of-Westport-Dane-County-Wisconsin/115029421892435?v=wall>
(608) 849-4372
(608) 849-9657 FAX

The information contained in this transmission is intended only for the personal and confidential use of the recipient(s) designated above. This transmission may be an attorney-client communication and, as such, is a privileged and confidential communication. If any recipient of this transmission is not a designated recipient, or an agent responsible for delivering this transmission to a designated recipient, such recipient is hereby notified that this transmission has been received in error, and that any review, dissemination, distribution or copying of this transmission is strictly prohibited. If you have received this transmission and are not designated above as a recipient, please immediately call (608) 849-4372 and delete this transmission from your system.

All e-mail sent to the Town of Westport is subject to the Wisconsin open records law.

IF THIS MESSAGE IS TO THE ENTIRE MEMBERSHIP OF A GOVERNMENTAL BODY, you are advised that this email should be treated as a one-way

communication and that responses "to all" should be avoided because those responses could create a "walking quorum" of the body in violation of the open meetings law (Office of the Wisconsin Attorney General Letter of 3/19/2010).

I acknowledge that the Town of Westport is located in Teejop, Four Lakes, the ancestral land of the Ho-Chunk Nation.

-----Original Message-----

From: Mary Manering <manering@tds.net>

Sent: Saturday, July 24, 2021 3:16 PM

To: Tom Wilson <twilson@townofwestport.org>

Subject: FYI re Cherokee Golf proposal

Hello Tom,

I would like you to have a copy of the letter written by Friends of Cherokee Marsh re the Cherokee Golf Course proposal. I am including it in this email for your review and recommendations regarding its distribution. Thank you.

Best,
Mary

Re: 2020-02449-SJW (Dane County, WI) Cherokee Country Club Golf Course Renovation Project

The Friends of Cherokee Marsh is a nonprofit organization whose focus is the protection of Cherokee Marsh wetlands and their plant communities and wildlife. It is from that perspective that we are commenting on the application for improvements and a total reconfiguration of the Cherokee Country Club.

We appreciate and applaud the stated intent of Cherokee Park, Inc. (CPI) to replace invasive species with native species and to reduce runoff that harms waterways, wetlands, and shoreline properties as part of the proposed golf course reconfiguration.

For the reasons stated below, we do not support the application for permit to permanently discharge fill material into 9.82 acres of wetland and to convert 1.3 acres of shallow open water to upland.

The Cherokee Marsh wetlands provide crucial flood control and filtering of stormwater for Lake Mendota, the other downstream lakes in the Yahara

chain, and their residents. Any loss of wetlands reduces the wetlands' capability to provide these functions. We understand that the proposed 9.82 acres of wetland loss would be offset with wetland mitigation credits, but if the mitigation occurs in another watershed as expected, Cherokee Marsh and its downstream waters receive no benefit to offset the wetland loss.

The application also requests to convert 1.3 acres of shallow open water to upland. The Wisconsin Department of Natural Resources (WDNR) strongly discourages the conversion of open water to upland as it is likely to be detrimental to the public interests of navigable waterways.

We agree with the WDNR that the proposed modifications of existing shallow, ephemeral flooded marshes and wetlands into deeper ponds with more open and deeper water could negatively impact spawning and nursery areas for northern pike in the project area. Panfish and other species that live only in ephemeral pools could also suffer negative impacts.

To guard against unnecessary, permanent wetland loss, before permitting is considered, CPI should comply with the WDNR's request to evaluate practicable alternatives for each impact.

The WDNR's Endangered Resource Review identified two species potentially present within proximity to the project area and provided required actions to comply with federal/state endangered species laws. Several other special concern, species of concern, and threatened species were identified as potentially being present, and recommended actions were presented to avoid impacts to these species. We urge consideration of these actions when evaluating the permit application.

We are concerned that the public notice for the application for permit received little publicity. The Friends of Cherokee Marsh, who have been involved with protecting the Cherokee Marsh wetlands for 15 years, learned of the permit only by chance from one of our members who lives adjacent to the golf course and received information by postal mail. We request a public hearing with generous advance notice and wide publicity to help ensure that all who would like to comment on the project have a chance to do so.

Jan Axelson
President, Friends of Cherokee Marsh

From: [Dave Olesczuk](#)
To: [Tom Wilson](#)
Cc: [Robert Anderson](#); [Jessica Duffrin](#)
Subject: RE: FYI re Cherokee Golf proposal, requested response please
Date: Thursday, August 26, 2021 5:03:14 PM

Hi Tom,

I have not forgotten about you. We have made some revisions to our course design that changed wetland impacts from approximately 9 1/2 acres to 1 1/2 acres. The DNR has been out and likes the new plan. We had a follow up Zoom call with them last week and there is still some additional conversation going on with the DNR and Army Corps of Engineers. The environmental team we have working on this tells me plans will be more final next week.

The team wanted to wait until the updated plans were more finalized before sending you responses for the questions below to provide to your Plan Commissioners. More to come.

Thanks,
Dave

Dave Olesczuk
Vice President Operations
(608)707-0701
Cherokee Country Club

-----Original Message-----

From: Tom Wilson <twilson@townofwestport.org>
Sent: Wednesday, August 11, 2021 8:49 AM
To: Dave Olesczuk <dolesczuk@cherokeecountryclub.net>
Cc: Tom Wilson <twilson@townofwestport.org>; Robert Anderson <banderson@townofwestport.org>; Jessica Duffrin <jduffrin@townofwestport.org>
Subject: FW: FYI re Cherokee Golf proposal, requested response please

Dave,

If you recall, the Town of Westport previously submitted its approval of your applications regarding the golf course improvements as requested. One of the Plan Commissioners has now raised some issues brought up by the Friends of Cherokee Marsh. The Plan Commission directed me to contact Cherokee and obtain your response to the concerns raised. They felt it important to get your response before even thinking about reconsidering a supplemental response. I am hoping you can get me information responding to three aspects of the communication below.

1. "The Cherokee Marsh wetlands provide crucial flood control and filtering of stormwater for Lake Mendota, the other downstream lakes in the Yahara chain, and their residents. Any loss of wetlands reduces the wetlands' capability to provide these functions. We understand that the proposed 9.82 acres of wetland loss would be offset with wetland mitigation credits, but if the mitigation occurs in another watershed as expected, Cherokee Marsh and its downstream waters receive no benefit to offset the wetland loss." Please describe where might the mitigation credits be used and how might the mitigation enhance the Marsh.
2. "The application also requests to convert 1.3 acres of shallow open water to upland. The Wisconsin Department of Natural Resources (WDNR) strongly discourages the conversion of open water to upland as it is likely to be detrimental to the public interests of navigable waterways." Please describe the shallow open water being converted and how the conversion might actually enhance the Marsh.
3. "The WDNR's Endangered Resource Review identified two species potentially present within proximity to the

project area and provided required actions to comply with federal/state endangered species laws. Several other special concern, species of concern, and threatened species were identified as potentially being present, and recommended actions were presented to avoid impacts to these species. We urge consideration of these actions when evaluating the permit application." Please describe steps Cherokee will be taken to address endangered resources in the project area to relieve the fears of the public in any potential loss of these species.

Please provide the information requested above or any communication you may have provided directly responding to the concerns of the Friends. I suspect that Cherokee has taken or will take steps to address the issues raised, but need to provide them to our Plan Commissioners to address the issues. Thank you so much and best of luck to you in your endeavors to improve this great facility.

Tom

Thomas G. Wilson
Attorney/Administrator/Clerk-Treasurer
Town of Westport (Dane County, WI)
Population 4,102

5387 Mary Lake Road
Waunakee, WI 53597
twilson@townofwestport.org
www.townofwestport.org
<http://twitter.com/TownofWestport>
<http://www.facebook.com/pages/Town-of-Westport-Dane-County-Wisconsin/115029421892435?v=wall>
(608) 849-4372
(608) 849-9657 FAX

The information contained in this transmission is intended only for the personal and confidential use of the recipient(s) designated above. This transmission may be an attorney-client communication and, as such, is a privileged and confidential communication. If any recipient of this transmission is not a designated recipient, or an agent responsible for delivering this transmission to a designated recipient, such recipient is hereby notified that this transmission has been received in error, and that any review, dissemination, distribution or copying of this transmission is strictly prohibited. If you have received this transmission and are not designated above as a recipient, please immediately call (608) 849-4372 and delete this transmission from your system.

All e-mail sent to the Town of Westport is subject to the Wisconsin open records law.

IF THIS MESSAGE IS TO THE ENTIRE MEMBERSHIP OF A GOVERNMENTAL BODY, you are advised that this email should be treated as a one-way communication and that responses "to all" should be avoided because those responses could create a "walking quorum" of the body in violation of the open meetings law (Office of the Wisconsin Attorney General Letter of 3/19/2010).

I acknowledge that the Town of Westport is located in Teejop, Four Lakes, the ancestral land of the Ho-Chunk Nation.

-----Original Message-----

From: Mary Manering <manering@tds.net>
Sent: Saturday, July 24, 2021 3:16 PM
To: Tom Wilson <twilson@townofwestport.org>
Subject: FYI re Cherokee Golf proposal

Hello Tom,

I would like you to have a copy of the letter written by Friends of Cherokee Marsh re the Cherokee Golf Course proposal. I am including it in this email for your review and recommendations regarding its distribution. Thank you.

Best,
Mary

Re: 2020-02449-SJW (Dane County, WI) Cherokee Country Club Golf Course Renovation Project

The Friends of Cherokee Marsh is a nonprofit organization whose focus is the protection of Cherokee Marsh wetlands and their plant communities and wildlife. It is from that perspective that we are commenting on the application for improvements and a total reconfiguration of the Cherokee Country Club.

We appreciate and applaud the stated intent of Cherokee Park, Inc. (CPI) to replace invasive species with native species and to reduce runoff that harms waterways, wetlands, and shoreline properties as part of the proposed golf course reconfiguration.

For the reasons stated below, we do not support the application for permit to permanently discharge fill material into 9.82 acres of wetland and to convert 1.3 acres of shallow open water to upland.

The Cherokee Marsh wetlands provide crucial flood control and filtering of stormwater for Lake Mendota, the other downstream lakes in the Yahara chain, and their residents. Any loss of wetlands reduces the wetlands' capability to provide these functions. We understand that the proposed 9.82 acres of wetland loss would be offset with wetland mitigation credits, but if the mitigation occurs in another watershed as expected, Cherokee Marsh and its downstream waters receive no benefit to offset the wetland loss.

The application also requests to convert 1.3 acres of shallow open water to upland. The Wisconsin Department of Natural Resources (WDNR) strongly discourages the conversion of open water to upland as it is likely to be detrimental to the public interests of navigable waterways.

We agree with the WDNR that the proposed modifications of existing shallow, ephemeral flooded marshes and wetlands into deeper ponds with more open and deeper water could negatively impact spawning and nursery areas for northern pike in the project area. Panfish and other species that live only in ephemeral pools could also suffer negative impacts.

To guard against unnecessary, permanent wetland loss, before permitting is considered, CPI should comply with the WDNR's request to evaluate practicable alternatives for each impact.

The WDNR's Endangered Resource Review identified two species potentially present within proximity to the project area and provided required actions to comply with federal/state endangered species laws. Several other special concern, species of concern, and threatened species were identified as potentially being present, and recommended actions were presented to avoid impacts to these species. We urge consideration of these actions when evaluating the permit application.

We are concerned that the public notice for the application for permit received little publicity. The Friends of Cherokee Marsh, who have been involved with protecting the Cherokee Marsh wetlands for 15 years, learned of the permit only by chance from one of our members who lives adjacent to the golf course and received information by postal mail. We request a public hearing with generous advance notice and wide publicity to help ensure that all who would like to comment on the project have a chance to do so.

Jan Axelson
President, Friends of Cherokee Marsh

AGENDA ITEM #7:

Consultation, Rezone and CSM (Create 1 Residential Lot), Ziegler,
6039 CTH K (Middleton ETZ)



Town of Westport GIS

DISCLAIMER: The Town of Westport does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1 = 380'

Town of Westport
5387 Mary Lake Road
Wauakee, WI 53597
(608) 849-4372

Print Date: 9/7/2021

From: Michelle Burse <mburse@bse-inc.net>
Sent: Wednesday, August 25, 2021 10:28 AM
To: Robert Anderson <banderson@townofwestport.org>
Subject: KAZ Living Trust New Lot Initial Consultation

Hello Bob,

Karen would like a new lot for a residence along County Highway K between the existing home and the farmland to the west. She is hoping for 1.75 acres. I've sketch up a preliminary idea and its attached.

Please let us know of any potential issues with this request and if a rezone might be required

Thank you!!

Michelle L. Burse P.E., P.L.S.
President

Burse Surveying and Engineering, Inc.
2801 International Lane, Suite 101
Madison, WI 53704

Phone: 608-250-9263
Fax: 608-250-9266
Cell: 608-209-5178

mburse@bse-inc.net
<http://www.bursesurveyengr.com>

What are the stakes? Your time...Your Money...Our Reputation

From: Michelle Burse <mburse@bse-inc.net>
Sent: Wednesday, August 25, 2021 10:30 AM
To: Michelle Burse <mburse@bse-inc.net>
Subject: Message from KM_C364e



080920

Proposed
Lot for
Home

080929

AGENDA ITEM #8:

Initial Consultation, Rezone and Land Division (Create 1 Residential Lot), Hinman, 5966 Cherokee Valley Pass (Waunakee ETZ)



Town of Westport GIS

DISCLAIMER: The Town of Westport does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1 = 380'

Town of Westport
5387 Mary Lake Road
Waunakee, WI 53597
(608) 849-4372

Print Date: 8/3/2021

From: [Robert Anderson](#)
To: [Jessica Duffrin](#)
Cc: [Tracy Meinholz \(tmeinholz@waunakee.com\)](mailto:tmeinholz@waunakee.com)
Subject: cherokee valley
Date: Tuesday, August 3, 2021 7:11:47 AM
Attachments: [Hinman Model \(4\).pdf](#)

This is an initial consult for September.

I will make the aerial location map shortly and send it.

Robert Anderson, WCPC CMC
Utility, Finance, I.S. Manager, Deputy Clerk Treasurer
Town of Westport
5387 Mary Lake Rd
Waunakee WI 53597
608-849-4372

[All e-mail sent to the Town of Westport is subject to the Wisconsin open records law](#)

IF THIS MESSAGE IS TO THE ENTIRE MEMBERSHIP OF A GOVERNMENTAL BODY, you are advised that this email should be treated as a one-way communication and that responses "to all" should be avoided because those responses could create a "walking quorum" of the body in violation of the open meetings law (Office of the Wisconsin Attorney General Letter of 3/19/2010)

From: Michael Hinman <mthomas.hinman@gmail.com>
Sent: Monday, August 2, 2021 12:32 PM
To: Robert Anderson <banderson@townofwestport.org>
Subject: Fwd: Property Layout

Bob,

Plan revised with 25' rear setback.

Consult in September sounds good. Do I need to prepare anything for this meeting?

Mike

Sent from my iPhone

Begin forwarded message:

From: Cory Corson <ccorson89@gmail.com>
Date: August 2, 2021 at 12:09:34 PM CDT
To: mthomas.hinman@gmail.com
Subject: Re: Property Layout

Now shown with 25' from the lot line.

On Fri, Jul 30, 2021 at 3:53 PM Cory Corson <ccorson89@gmail.com> wrote:

Updated with the 10' deck facing the south.

On Fri, Jul 30, 2021 at 1:59 PM Cory Corson <ccorson89@gmail.com> wrote:

See attached.

I don't know if the dimension of the house changed from 24' to 44'. If I have it depicted incorrectly, it's a quick update.

--

Cory R. Corson
608-369-0134

--

Cory R. Corson
608-369-0134

--

Cory R. Corson
608-369-0134

