



**VILLAGE OF WAUNAKEE
TOWN OF WESTPORT JOINT PLAN COMMISSION
Village Hall, 500 W. Main Street
August 9, 2016 - 6:00 PM**

**Agendas may change prior to the commencement of the meeting.
Please check the posting board at the Village Hall, 500 W. Main Street,
Waunakee, Wisconsin for the current agenda.**

AGENDA

CALL TO ORDER

ROLL CALL: Ken Sipsma, John Van Dinter, Eileen Bruskewitz, Pat McGowan, Mark McGuire, Brad Zeman

MINUTES

1. July 12, 2016

PUBLIC COMMENT

OLD BUSINESS

1. Discuss and Take Action on a Conditional Use Permit, Shed Exceeding Allowable Square Footage, 5570 River Road, Town of Westport

NEW BUSINESS

1. Initial Consultation, Rainbow Child Care Site Plan/SIP, Lot 266, Kilkenny Farms
2. Initial Consultation, Mefferts Site Plan/SIP and Related CSM Lot 263, Kilkenny Farms
3. Consultation, Proposed Billboard Revision on STH 19, Carl F. Statz and Sons Property
4. Comprehensive Plan Update/Action-Housing and Economic Prosperity Elements

ADJOURN

Any person who has a qualifying disability as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format should contact the municipal clerk at (608) 850-8500, 500 West Main Street,



Waunakee, Wisconsin, at least twenty-four hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

**VILLAGE OF WAUNAKEE BOARD AND PLAN COMMISSION MEETING
TOWN OF WESTPORT BOARD AND PLAN COMMISSION MEETING**

Notice is hereby given that the Village or Town Board or Village or Town Plan Commission may attend this meeting. No action will be taken by the Village or Town Board or Village or Town Plan Commission at this meeting.

Next scheduled meeting is September 13, 2016.



Village of Waunakee and Town of Westport Joint Plan Commission Minutes

A regular meeting of the Waunakee/Westport Joint Plan Commission was held Tuesday, July 12, 2016, 6:00 p.m. at the Town of Westport Community Room, 5387 Mary Lake Road, Town of Westport.

CALL TO ORDER

Mr. Sipsma called the meeting to order at 6:02 p.m.

Members Present: Ken Sipsma, John Van Dinter, Pat McGowan, Brad Zeman

Members Absent: Eileen Bruskewitz, Mark McGuire

Also Present: Tom Wilson, Kevin Even, Tracy Meinholz, Jerry Tierney, Jon Schultz, Richard Malisch, Kyle Dumbleton, Jerry Connery, David Everitt.

APPROVAL OF MINUTES

Motion Van Dinter, second McGowan, to approve the minutes from the June 14, 2016 Joint Plan Commission meeting. Motion carried.

PUBLIC COMMENT

None

NEW BUSINESS

Public Hearing & Discussion/Action on a Conditional Use Permit, Shed Exceeding Allowable Square Footage, 5570 River Road, Town of Westport

The public hearing was opened at 6:11 p.m. Neighbors present spoke of concerns with the commercial look and feel of this size of building. The public hearing was closed at 6:20 p.m. Mr. Schultz answered questions and assured the commission that he does not intend to operate a business from this location. The Town Plan Commission is recommending that the JPC defer action until the Town Board can make a recommendation. Motion Van Dinter, second McGowan, to table the request till the Town Board can make a recommendation. Motion carried.

ITEM #1.



Discussion/Action on At Home Again, Site Plan/SIP, and Related Certified Survey Map, Kilkenny Farms Lot 266

After a brief presentation by the applicant, staff stated that the Village Plan Commission had recommended approval with certain conditions. Motion McGowan, second Zeman, to approve the site plan/SIP and CSM for Lot 266 conditioned upon all outstanding staff concerns addressed to the satisfaction of the Village Engineer, grant a parking exception for Phase 1 with re-evaluation prior to approval of Phase 2, and update of GDP Exhibit A map. Motion carried.

ADJOURN

Motion Van Dinter, second McGowan, to adjourn the meeting at 6:39 p.m. Motion carried.

Submitted By: Tracy Meinholz, Recording Secretary

Approved: _____

PLOT PLAN

PREPARED BY

ARROW Land Surveying

A Division of Radel and Associates, Inc.

109 Kingston Way • Waunakee, WI 53597

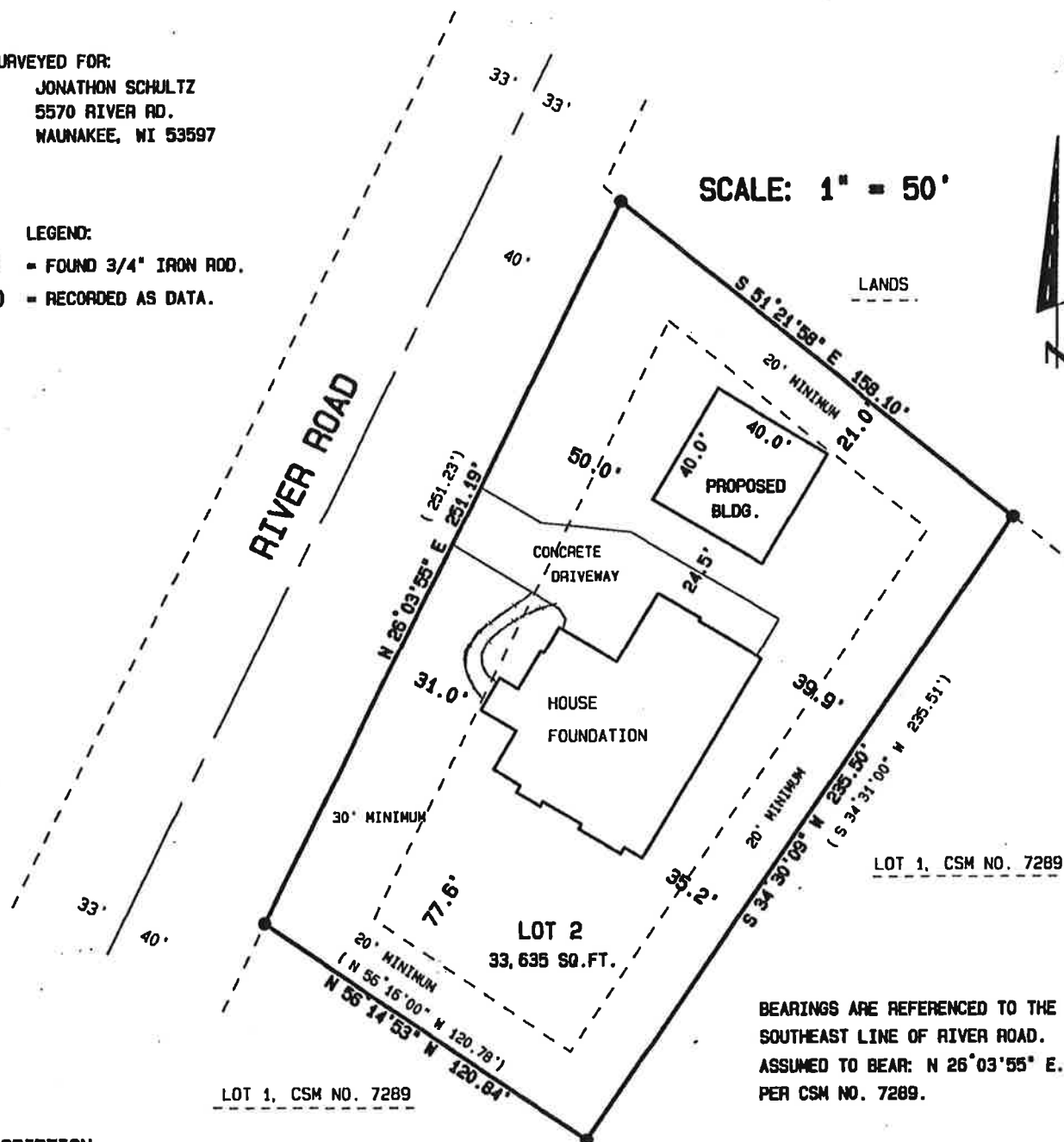
Tel: (608) 849-8116 • Fax: (608) 850-4115

SURVEYED FOR:

JONATHAN SCHULTZ
5570 RIVER RD.
WAUNAKEE, WI 53597

LEGEND:

- = FOUND 3/4" IRON ROD.
() = RECORDED AS DATA.



DESCRIPTION:

LOT 2, CERTIFIED SURVEY MAP NO. 7289, LOCATED
IN THE NW 1/4 OF THE NE 1/4 OF SECTION 23, T8N,
R9E, TOWN OF WESTPORT, DANE COUNTY, WISCONSIN.

DATED: JUNE 7, 2016

13R-76-A

RESTRICTION AGREEMENT

(Schultz Rezone, 5570 River Road, Waunakee ETZ)

WHEREAS, Jonathan D. Schultz and Tiffany M. Bernhardt Schultz, (the "Owner"), are the record title Owners of the property described below and located at 5570 River Road in the Town of Westport, Dane County, Wisconsin (hereinafter called the "Property"):

Lot 2, CSM 7289, located in the NW¼ of NE¼, Section 23, T8N, R9E, Town of Westport, Dane County, Wisconsin.

WHEREAS, the Owner has petitioned the Town of Westport (the "Town") and the Village of Wauankee (the "Village") to rezone the Property from County R-1 to SR-4; and,

WHEREAS, the Town and the Village have approved of this rezone subject to the conditions and restrictions contained in the Resolution attached hereto as Exhibit A; and,

NOW, THEREFORE, for good and valuable consideration as hereby mutually acknowledged, and in consideration of the mutual benefits passing to, from and among the Owner, those who may hereafter purchase said land, the Village and the Town, this Agreement is entered into between and among the Owner, the Village and the Town, and these parties agree as follows:

The Town and Village approve the rezone to SR-4 as requested by the Owner by application on or about April 26, 2012, subject to the following restrictions and conditions:

1. All structures and buildings shall be subject to a setback of 20 feet on the rear and side yards of the Property.
2. The Property shall connect to municipal sewer at the time of construction; and if municipal water services would ever be extended to abutting properties, then the appropriate structures on the Property shall then be connected to that water system at the then owner's cost and without challenge of assessment, within 60 days of notice to connect by the Town.

The terms and provisions hereof shall be binding upon the undersigned, their heirs, successors, and assigns, and shall be recorded in the office of the Register of Deeds for Dane County, Wisconsin to be construed as covenant running with the land.

This Agreement may be amended or terminated by the mutual agreement of the parties or their respective successors, assigns or heirs.



8 4 4 1 5 2 9
Tx:8382269

**KRISTI CHLEBOWSKI
DANE COUNTY
REGISTER OF DEEDS**

**DOCUMENT #
4907647**

08/30/2012 1:07 PM

Trans. Fee:

Exempt #:

Rec. Fee: 30.00

Pages: 8

Return to:
Thomas G. Wilson
Town Attorney/Administrator
5387 Mary Lake Road
Waunakee, WI 53597

Parcel Number: 0809-231-8810-1



8

If this Agreement is terminated, then the Property shall be subject to the restrictions and requirements of the Zoning District by which the lands are designated at the time of termination and the additional restrictions and requirements provided by this Agreement shall be without any further effect.

The restrictions provided for herein shall be enforceable at law or equity against any party who has or acquires an interest in the land subject to the restriction by the following parties who are named as grantees, promisees and beneficiaries with enforcement rights:

- a. The Village Government of the Village of Waunakee, Dane County, Wisconsin, provided that the lands are under the jurisdiction of a zoning ordinance if said Village at the time the enforcement action is commenced.
- b. The Town Government of the Town of Westport, Dane County, Wisconsin, whether or not the lands are within the governmental jurisdiction of said Town at the time of enforcement action is commenced.
- c. The owner of record of any land which is located within the district subject to the regulations of the zoning ordinance.

IN WITNESS THEREOF, the parties below have hereunder set their hands and seals this 30th day of July, 2012

OWNERS

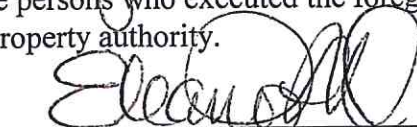

Jonathan D. Schultz


Tiffany M. Bernhardt Schultz

STATE OF WISCONSIN

COUNTY OF DANE

Personally came before me this 30th day of July, 2012, Jonathan D. Schultz and Tiffany M. Bernhardt Schultz to me known to be the persons who executed the foregoing instrument and acknowledged that he executed the same with property authority.


Notary Public, State of Wisconsin
My commission expires: April 20, 2014
Eleanor L. Whelan
Print Name

ITEM #1.

TOWN OF WESTPORT

By: J.A. Van Dinter
John A. Van Dinter
Town Chair

Attest: Thomas G. Wilson
Thomas G. Wilson
Attorney/Administrator/Clerk-Treasurer

STATE OF WISCONSIN

COUNTY OF DANE

Personally came before me this 13th day of August, 2012, the above-named John A. Van Dinter, Town Chair, and Thomas G. Wilson, Town Attorney/Administrator/Clerk-Treasurer, of the Town of Westport, known to me to be the persons and officers who executed the foregoing instrument and acknowledged that they executed the same as such officers by the Town's authority.

Debra J. Flynn
Notary Public, State of Wisconsin
My commission expires: 6-8-14
Debra J. Flynn
Print Name

VILLAGE OF WAUNAKEE

By: John Laubmeier
John Laubmeier, Village President

Attest: Julee Helt
Julee Helt, Village Clerk

STATE OF WISCONSIN

COUNTY OF DANE

Personally came before me this 7 day of August, 2012, the above-named John Laubmeier, Village President and Julee Helt, Village Clerk, Dane County, Wisconsin, known to me to be the persons and officers who executed the foregoing instrument and acknowledged that they executed the same as such officers by the Village's authority.

PT Monson
Notary Public, State of Wisconsin
My commission expires: 5-6-16
PT Monson
Print Name

This instrument drafted by:
Thomas G. Wilson
Town Attorney/Administrator
Town of Westport
5387 Mary Lake Road, Waunakee, WI 53597

**TOWN OF WESTPORT
RESOLUTION NO. 12-09**

RESOLUTION BY THE TOWN OF WESTPORT
BOARD OF SUPERVISORS RECOMMENDING APPROVAL OF THE
REZONING FOR THE SCHULTZ PROPERTY
WITHIN THE TOWN OF WESTPORT,
DANE COUNTY, WISCONSIN
(5570 River Road, Waunakee ETZ)

WHEREAS, application for approval of a rezone identifying an area of land located in the Town of Westport (the "Town") was submitted by Jonathon and Tiffany Schultz, 5548 River Road ("Petitioner") to the Town and Village of Waunakee (the "Village") for review and action on April 26, 2012, from County R-1 to SR-4 single family Suburban Residential District (Waunakee ETZ); and,

WHEREAS, the property is located in the Village's extraterritorial zoning jurisdiction and so was referred to the Waunakee/Westport Joint Planning Committee (the "JPC") as well as the Town Plan Commission for review and recommendation to the Town Board of Supervisors (the "Town Board") and the Village Board of Trustees (the "Village Board"); and,

WHEREAS, the Town Plan Commission and the Town Board have met with Petitioners with respect to the requested rezoning; and,

WHEREAS, the Town Plan Commission has determined that the requested rezoning is consistent with Town Ordinances, Village Ordinances, and applicable local Comprehensive Plans only if certain conditions and restrictions as noted below are imposed; and,

WHEREAS, the Town Board has determined that the requested rezoning is consistent with Town Ordinances, Village Ordinances, and applicable local Comprehensive Plans only if certain conditions and restrictions as noted below are imposed.

NOW, THEREFORE, the Town Board of Supervisors of the Town of Westport, based upon the above determinations, recommends to the JPC and the Village of Waunakee Board of Trustees that it approve the requested rezone from County R-1 to SR-4 single family Suburban Residential District, for the Schultz property as attached hereto at Exhibit A, subject to the following:

1. A restriction for a building envelope/setback for all buildings of 20 feet on the rear and side yards, and the residence shall generally be located as shown at Exhibit A hereto.
2. Maintenance of all current easements and restrictions.
3. A restriction that the property connect to municipal sewer at the time of construction; and if municipal water services would ever be extended to abutting properties, that the property then connect to that water system at the then owners' cost and without challenge.
4. All special assessments and fees shall be paid.

EXHIBIT A

ITEM #1.

5. The Petitioner shall pay all costs and fees incurred by the Town and City for any and all reviews, approval requests and document preparation by the City or Town Engineers and Town or City Attorneys relating to the Property, and shall enter into an agreement approved by the Town Attorney to pay these costs and fees.
6. The Town Attorney shall approve the form of the restriction agreement.

The above and foregoing resolution was duly adopted by the Town Board of Supervisors of the Town of Westport, Dane County, Wisconsin, at a regular meeting held on May 21, 2012, by a vote of 3 ayes and 0 nays, with 2 members not voting (absent).

TOWN OF WESTPORT

Approved:



John Van Dinter, Town Board Chair

Approved: 5/29/12
Posted: 5/29/12

Attest:



Thomas G. Wilson

Town Attorney/Administrator/Clerk-Treasurer

	Village of Waunakee Planning/Zoning Department 500 W. Main Street Waunakee, WI 53597 Phone (608) 850-8500 Fax (608) 849-5628	Rezoning Application
-----------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------	----------------------

1. LOCATION OF PROPERTY 5570 River Rd. Waunakee, WI 53597
2. LEGAL DESCRIPTION
(METES & BOUNDS OR PLAT & LOT) Lot 2 CSM 7289
3. ZONING CHANGE : FROM R-1 TO SE-4
4. PROPOSED USE OF PROPERTY Single family home

ATTACH 40 COPIES OF A SITE PLAN (10 FULL/30 11X17) SHOWING ANY PROPOSED LAND DIVISIONS, PLUS VEHICULAR ACCESS POINTS AND THE LOCATION AND SIZE OF ALL EXISTING AND PROPOSED STRUCTURES AND PARKING AREAS.

5. TYPE OF RESIDENTIAL DEVELOPMENT (IF APPLICABLE) _____
TOTAL DWELLING UNITS PROPOSED _____ NO. OF PARKING STALLS _____

TYPE OF NON-RESIDENTIAL DEVELOPMENT (IF APPLICABLE) _____
TOTAL TENNANTS PROPOSED _____ NO. OF PARKING STALLS _____
6. CURRENT OWNER OF PROPERTY: Jonathan & Tiffany Schmitt
MAILING ADDRESS: 5570 River Rd. Waunakee, WI 53597
PHONE: 414-687-0218 FAX: _____
7. CONTACT PERSON: Tiffany Schmitt
MAILING ADDRESS: 5570 River Rd. Waunakee, WI 53597
PHONE: 414-687-0218 FAX: _____

THE UNDERSIGNED CERTIFIES THAT HE/SHE HAS FAMILIARIZED HIMSELF/HERSELF WITH THE STATE AND LOCAL CODES AND PROCEDURES PERTAINING TO THIS APPLICATION. THE UNDERSIGNED FURTHER HEREBY CERTIFIES THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND CORRECT.

SIGNED: [Signature]
(OWNER OR OWNER'S AUTHORIZED AGENT'S SIGNATURE)

FOR VILLAGE USE ONLY:

DATE RECEIVED: 04-25-12
RECEIPT NUMBER: 6-003816

FEE PAID: \$ 345.00

Viewers are advised to ignore the illegible text on this map. It is presented to show spatial relationships only.

Authorized by:

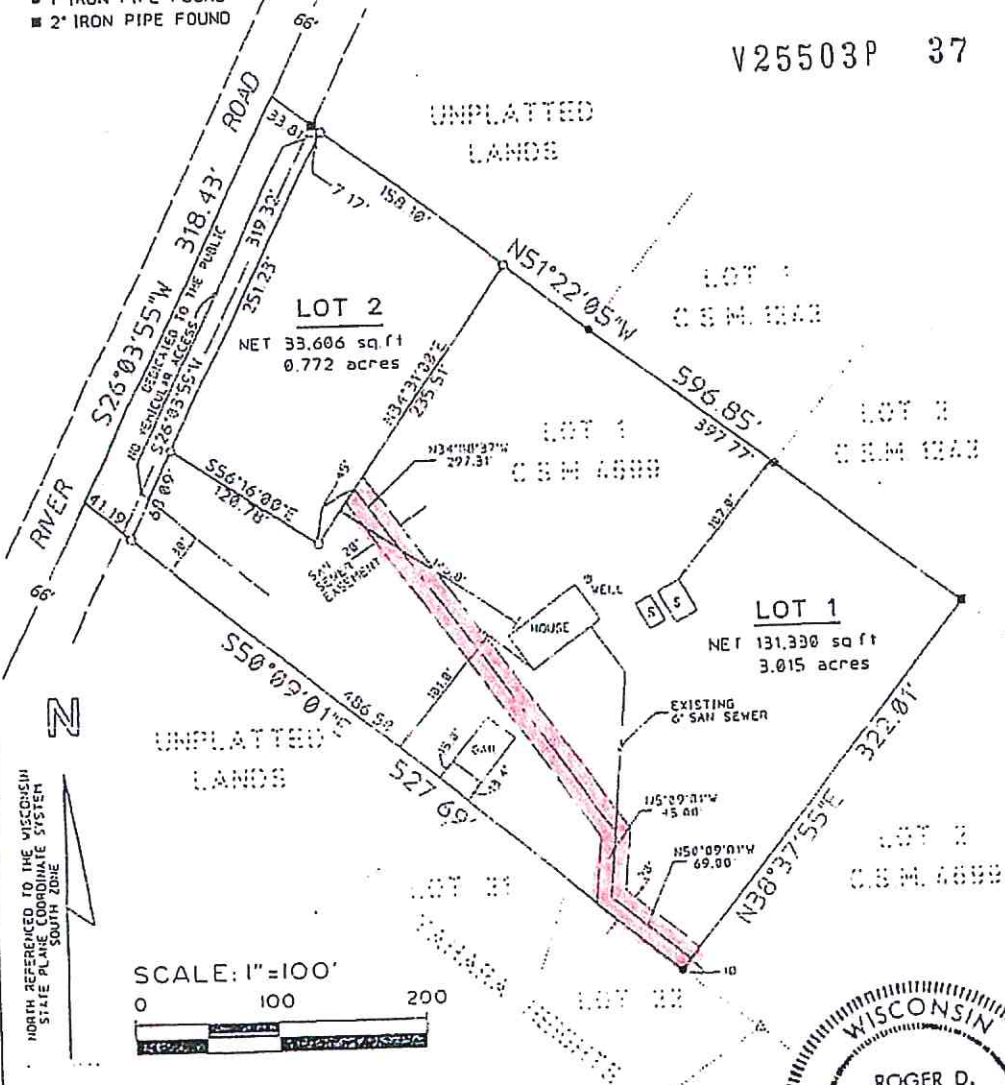
[Signature]

CLIENT: Kathy Strang
966 Water Street
Prairie du Sac, WI 53578

CERTIFIED SURVEY MAP

Note: This Certified Survey Map is exempt from the City of Madison's Land Sub-division Regulations pursuant to Section 16.32(3)(d)3 of the Madison General Ordinances. It reflects an adjustment of lot lines on existing parcels where no additional lot has been created.

- LEGEND**
- 3/4" X 24" REBAR SET WEIGHING 150 lbs/lf
 - △ 3/4" REBAR FOUND
 - 1" IRON PIPE FOUND
 - 2" IRON PIPE FOUND



Office of Register of Deeds
Dane County, Wisconsin

Received for Record November 18
19 93 at 2:46 o'clock P.M

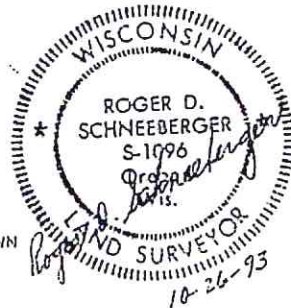
and recorded in vol. 37
of C.S.M.'s on page 1374-13

June 11th Karen LCSurveys

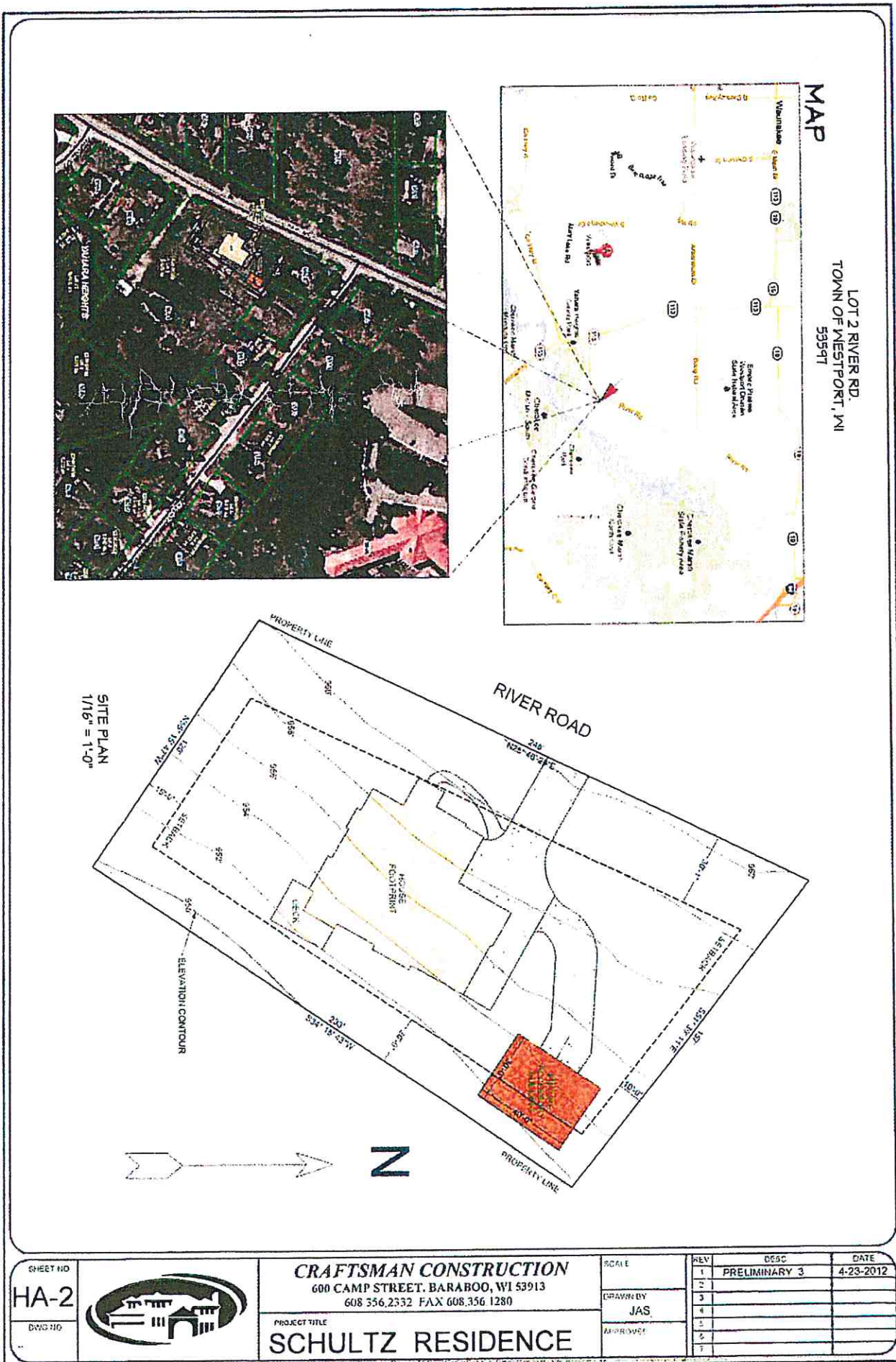
Document No. 2544127 Register
C.S.M. No. 7284 DEPUTY CLERK
Volume 37 Page 137

NOTE PARCELS TO BE SERVED BY PUBLIC SEWER THROUGH THE PRIVATE INTERCEPTOR SEWER, AS SHOWN

MEAD & HUNT
Engineers - Surveyors
Madison, Wisconsin
Tel: (608) 273-6380
msh/surv93b.dgn



Dwg. No. M8920S
Sheet 1 of 2
Job No. S309-93A



ITEM #1.



July 11, 2016

Village Zoning Administrator
Village of Waunakee
500 West Main Street, PO Box 100
Waunakee, WI 53597

Re: Rainbow Child Care Facility

To Whom it May Concern:

On behalf of 814 Development (1742 N Crooks Road, Troy, MI 48084) we are submitting an application for site plan approval along with the required site and building plans for a new Rainbow Child Care center.

The proposed building site is Lot 1 of the CSM for lot 266 of the Kilkenny Farm development. The proposed building and site development will be for the new Rainbow Child Care facility. The site is located approximately mid-block on the south side of Peaceful Valley Parkway between Simon Crestway and Dolan Avenue. The parcel is approximately 1.5 acres, with approximately 0.82 acres of non-impervious green space, and 0.71 acres of impervious area. There are 36 parking stalls required based on the parking calculations, and the proposed site has 39 plus 2 accessible stalls. The parking lot will be paved with curb and gutter (mountable curb on the east side). Storm water treatment will be located under the parking lot on the east side. Stormwater inlets in the back play area will be located outside the fence. Landscaping will be located in the front of the building. Landscaping features will not be located in the back of the property to allow for playable space.

The following items are submitted with this application:

- Plan Commission Application form
- Signed Development Application Agreement
- Site plans (Site Civil, Grading and Erosion Control, Landscape Plan, Lighting, and Standard Details)
- Building plans (Elevations, Color Rendering, Sign details, and Floor Plan)

A scan of a check for the Site Plan fee of \$320 is attached in this packet. The Escrow fee as outlined in the Development Application Agreement will be sent directly to the Village of Waunakee from 814 Development later this week.

If you have any questions, or need any more information, please call.

Sincerely,

MSA Professional Services, Inc.

A handwritten signature in blue ink, appearing to read 'Chuck Bongard', is written over a horizontal line.

Chuck Bongard, P.E.
Program Manager

Enc.

cc: Amy Labadie
Alexander Orman

Offices in Illinois, Iowa, Minnesota, and Wisconsin

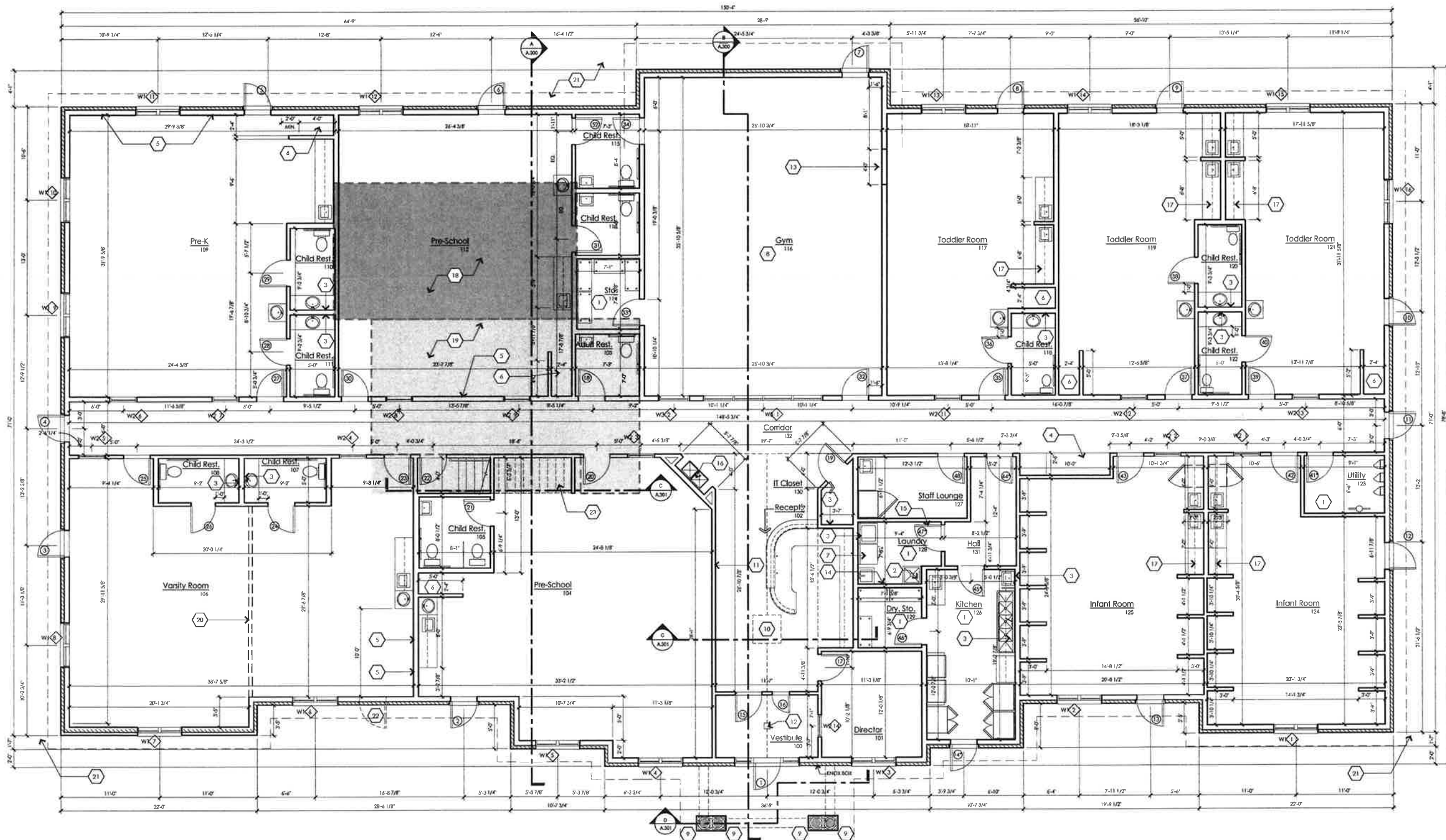
1230 South Boulevard, Baraboo, WI 53913
(608) 356-2771 • (800) 362-4505 • FAX: (608) 356-2770
www.msa-ps.com











Window Legend	
	DOUBLE HUNG VINYL WINDOWS (2 WIDE) W/ 1" INSULATED CLEAR GLASS, J-BED WHEN ON OWNER APPROVED EQUAL UPPER OPERABLE - SASH TO HAVE SCREEN APPROXIMATE SIZE: 5'-0" WIDE (OVERALL) X 5'-0" HIGH - MANUFACTURER TO USE STANDARD SIZES, VERIFY ARCHITECT OF ANY DISCREPANCIES.
	36" X 36" SAFETY GLASS (TEMP.) LAMINATED WINDOW IN HOLLOW METAL PAINTED FRAME
	42" X 36" SAFETY GLASS (TEMP.) LAMINATED WINDOW IN HOLLOW METAL PAINTED FRAME @ GYMNASIUM

- Floorplan Height Notes:**
1. ALL FIRST FLOOR DOOR, WINDOW, AND HEADER HEIGHTS ARE TO BE 6'-8" UNLESS OTHERWISE NOTED. (NOTE: WINDOWS AND DOORS ARE TO LINE-UP IN THE FINISH. ALL ROUGH FRAMING HEIGHTS ARE TO MATCH)
2. ALL FIRST FLOOR CEILING HEIGHTS ARE TO BE 8'-0" EXCEPT FOR OPEN STAIRWELL, GYM & KITCHEN, KITCHEN TO RECEIVE 9'-0" CEILING HEIGHT, GYM TO RECEIVE 12'-0" CEILING HEIGHT
3. MECHANICAL EQUIPMENT ENCLOSURE CEILING HEIGHTS ARE TO BE 8'-0" UNLESS NOTED OTHERWISE [ATTIC FLOOR PLAN]
4. UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS, LOCATE ALL DOORS MINIMUM 4" FROM ADJACENT WALLS ON HINGE SIDE. IF A CASING LARGER THAN 2 1/4" IS SELECTED, ADJUST AS NECESSARY. IF DOORS ARE NOT LOCATED NEXT TO ADJACENT WALL, CENTER ON SPACE THEY ENTER INTO.

- General Floor Plan Notes:**
1. ALL EXTERIOR WALLS ARE TO BE 2X6 WOOD FRAMING U.N.O.
2. INSULATION IN CONCEALED AND EXPOSED SPACES MUST HAVE A FLAME SPREAD RATING OF 25 OR LESS AND SMOKE DEVELOPED INDEX 450 OR LESS PER CODE.
3. ANY OCCUPANT SUSPECTED OF HAVING AN ILLNESS OR DISEASE SHALL BE TAKEN TO THE DIRECTOR'S OFFICE, WHERE THEY CAN BE ISOLATED FROM THE OTHER OCCUPANTS AND CARED FOR. IN THE DIRECTOR'S OFFICE THERE SHALL BE A COT FOR THIS PURPOSE.
4. PROVIDE EXTERIOR FROST FREE HOSE BIBS @ LOCATIONS DIRECTED BY M.E.P.
5. PROVIDE SOLID BLOCKING IN WALLS FOR ALL WALL MOUNTED ITEMS NOT LIMITED TO THE FOLLOWING:
5.1. DOOR STOPS
5.2. TOWEL BARS
5.3. TOILET TISSUE DISPENSER
5.4. MISC. WALL MOUNTED ACCESSORIES
5.5. MIRRORS
6. ALL WOOD AND WOOD BASED PRODUCTS WITHIN 8' OF GRADE MUST BE PRESSURE TREATED AS REQUIRED PER CODE
7. PROVIDE INTERIOR AND/OR EXTERIOR JAMB EXTENSIONS AS REQ'D FOR ALL WINDOWS VER. W/DSEIGNER
8. PROVIDE MAGNETIC CHILD LOCKS ON ALL CABINET DOORS AND DRAWERS
9. GC TO COORDINATE ALL ROUGH CARPENTRY WITH MEP
10. GC TO COORDINATE CONTROL JOINTS IN DRYWALL WITH MANUFACTURERS RECOMMENDATION TO PREVENT CRACKING.

- Keyed First Floor Plan Notes:**
1. ALL MECHANICAL AND STORAGE ROOMS ARE TO BE PROTECTED BY 1-HOUR RATED WALLS, CEILINGS, DOOR AND FRAME (SEE WALL LEGEND)
2. PROVIDE F.R.P. (WH-10) OR AS DIRECTED BY OWNER TO A 60" A.F.F. BEHIND MOP SINK
3. PROVIDE 1" DEEP WIRE SHELVING OVER WASHER/DRYER TO OWNER SPECIFICATION
4. BUILT-IN CAR SEAT CUBBIES
5. PARTITIONED STORAGE UNITS (BY OWNER)
6. COT STORAGE AREA - PROVIDE FULL HEIGHT F.R.P. WITH OS CORNER PROTECTION
7. LOCATE DRYER VENT IN WALL CAVITY
8. PROVIDE 2X6 BLOCKING IN WALLS @ 42" A.F.F. TO CENTER @ ENTIRE PERIMETER OF GYM
9. CONTINGENTIAL CAST STONE DOING COLUMN, INSTALL PER MANUF. SPECS - STRUCTURAL STEEL IS TO BE LOCATED WITHIN COLUMN
10. LINE OF ROOF CUPOLA ABOVE
11. PROVIDE BLOCKING IN WALL FOR T.V. MOUNT - 72" WIDE @ 65" A.F.F. TO MID POINT 14'-4" FROM ADJACENT VESTIBULE WALL (VERIFY EXACT LOCATION WITH OWNER)
12. PROVIDE 12" X 12" HORIZONTAL BLOCKING, FINISHED TO ACCOMMODATE CEILING MOUNTED LIGHT FIXTURE
13. PROVIDE BLOCKING AS REQ'D 54"-78" A.F.F. FOR WALL MOUNTED BASKETBALL HOOP - EXACT LOCATION TO BE VERIFIED BY OWNER
14. PROVIDE WALL MOUNTED MOP HOOKS AND SHELVING
15. DOOR TO BE LOCKED AND INACCESSIBLE TO CHILDREN
16. ADA COMPLIANT HIGH/LOW DRINKING FOUNTAIN
17. CHANGING LOCATION
18. AREA OF ROOF TOP CONDENSING UNIT PAD (ABOVE)
19. AREA OF MECHANICAL MEZZANINE (ABOVE)
20. LOCATION OF FUTURE WALL
21. SEE CIVIL DRAWINGS BY OTHERS FOR EXTERIOR WALK LOCATIONS & DETAILS
22. FUTURE DOOR - FRAME IN OPENING
23. LINE OF STAIRS & SLOPED CEILING (ABOVE) - PROVIDE STORAGE SPACE UNDER STAIRS

Client:
Rainbow Child Care
Center
1732 Crooks Rd.
Troy, MI 48064

Project:

Issued:

Seal:

Note:
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow:



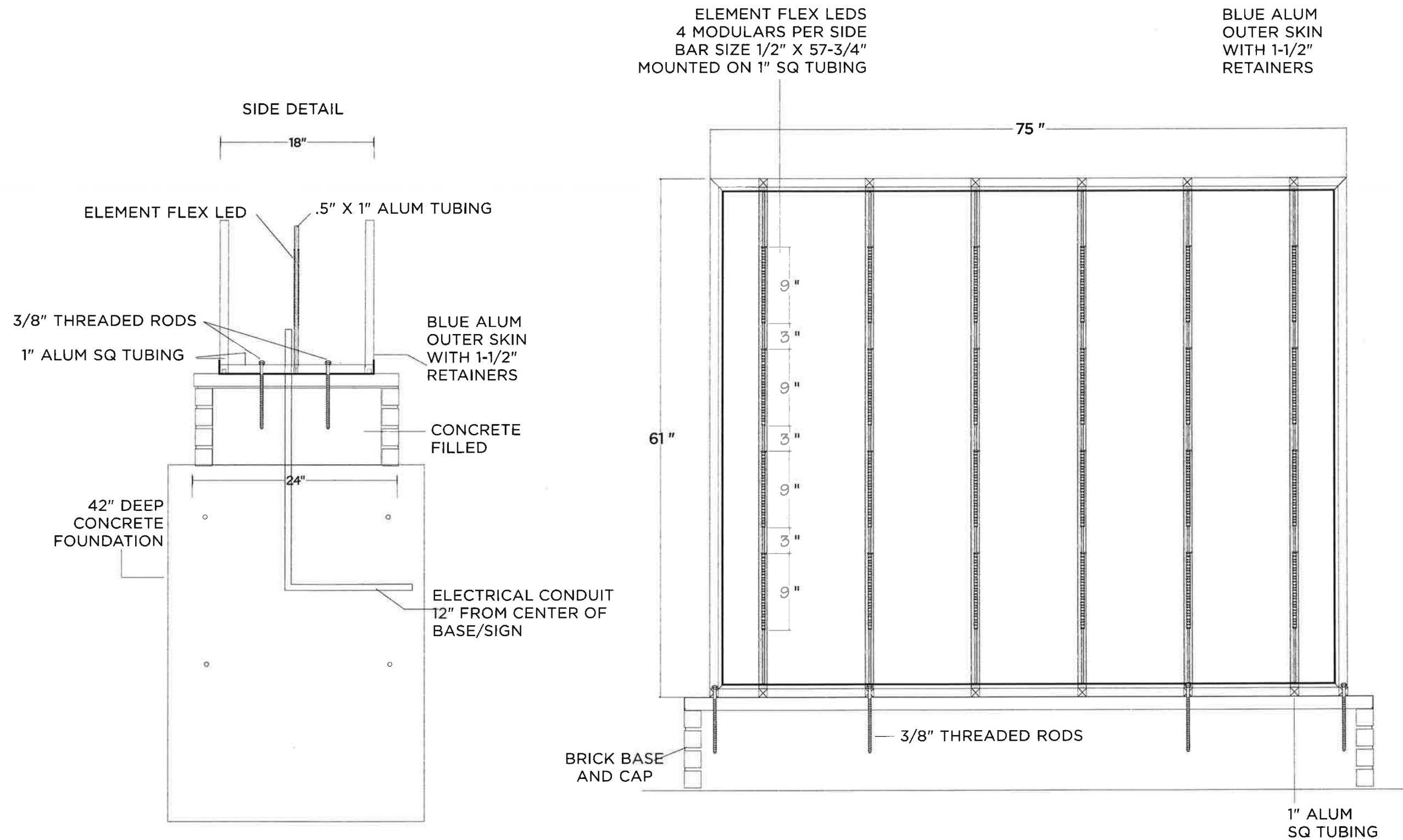
Sheet Title:
First Floor Plan

Scale:
3/16" = 1'-0"

Project Number:

Sheet Number:

A.101



Building 1st Impressions That Last
JOHNSON SIGN CO. EST. 1964
2240 Lansing Ave, Jackson, MI 49201
517 784 3720 | www.johnsonsignco.com

ITEM #1.

JOB NAME:
RAINBOW CHILD
CARE CENTER
LOCATION:
TYPICAL PRINTS
ACCOUNT REP: WJ
DESIGNER: WJ
REVISION: _____

NOTES:
CONSTRUCTION
DETAILS - 61" X 75"
MONUMENT SIGN

FILE NAME:
RAI-TYP-MS-DET-6175
SCALE:
1"=1'

This design and all material appearing hereon constitute the original unpublished work of Johnson Sign Co. may not be duplicated, used or disclosed without written consent.

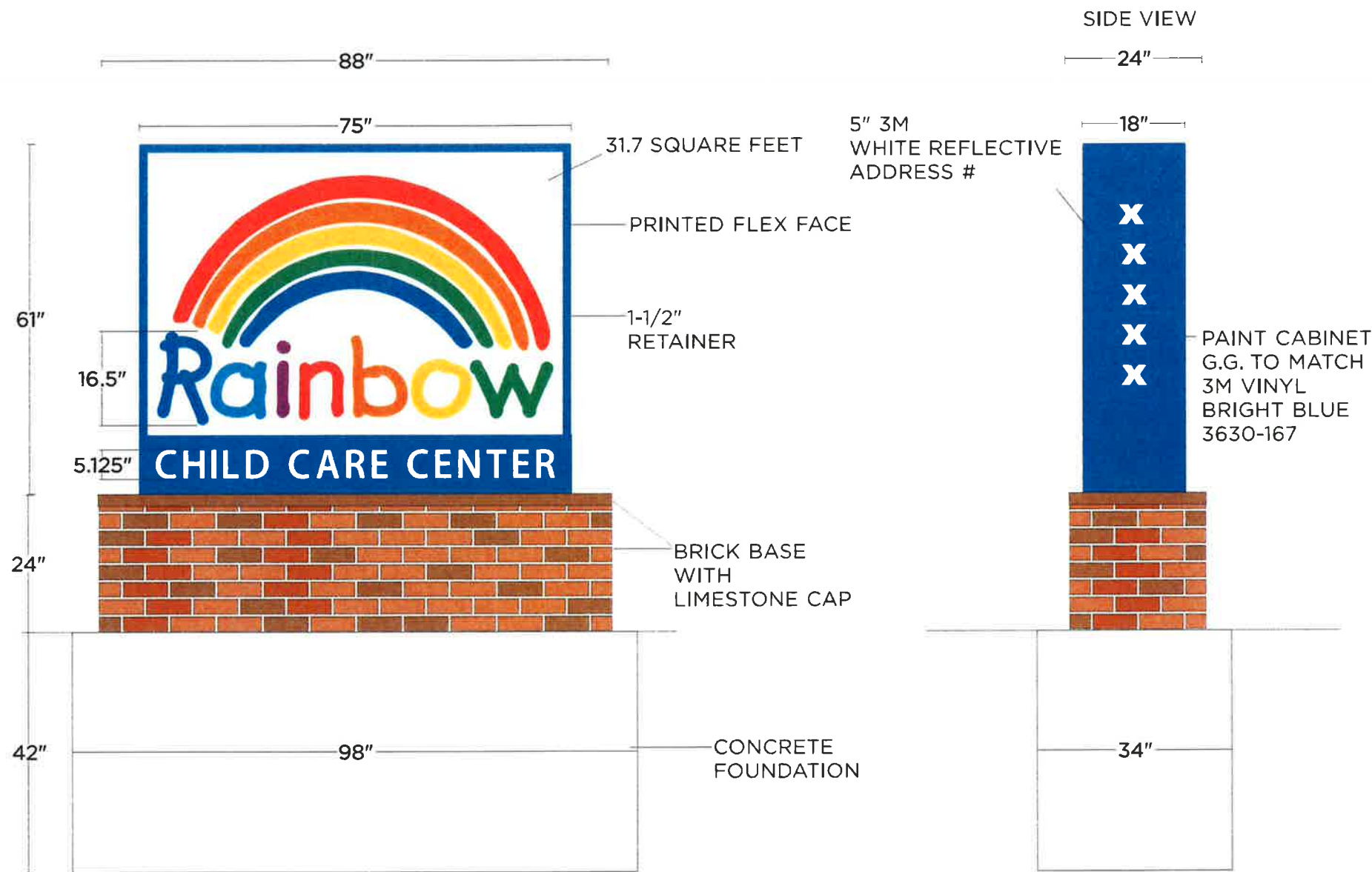
THIS SIGN IS INTENDED TO BE MANUFACTURED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN. SIGN WILL BEAR UL LABEL(S).

JOHNSON SIGN CO DOES NOT PROVIDE PRIMARY ELECTRIC TO SIGN LOCATION RESPONSIBILITY OF OTHERS

CUSTOMER APPROVAL: _____

DATE: _____





JOB NAME:
RAINBOW CHILD CARE CENTER

LOCATION:
TYPICAL PRINTS

ACCOUNT REP: WJ

DESIGNER: WJ

REVISION: _____

NOTES:
(1) 61" X 75"

ILLUMINATED

MONUMENT SIGN

WITH 24" X 24" X 88"

BRICK BASE

FILE NAME:
MS-61inX 75in

SCALE:
1/2"=1'

This design and all material appearing hereon constitute the original unpublished work of Johnson Sign Co. may not be duplicated, used or disclosed without written consent.



THIS SIGN IS INTENDED TO BE MANUFACTURED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN. SIGN WILL BEAR UL LABEL(S).

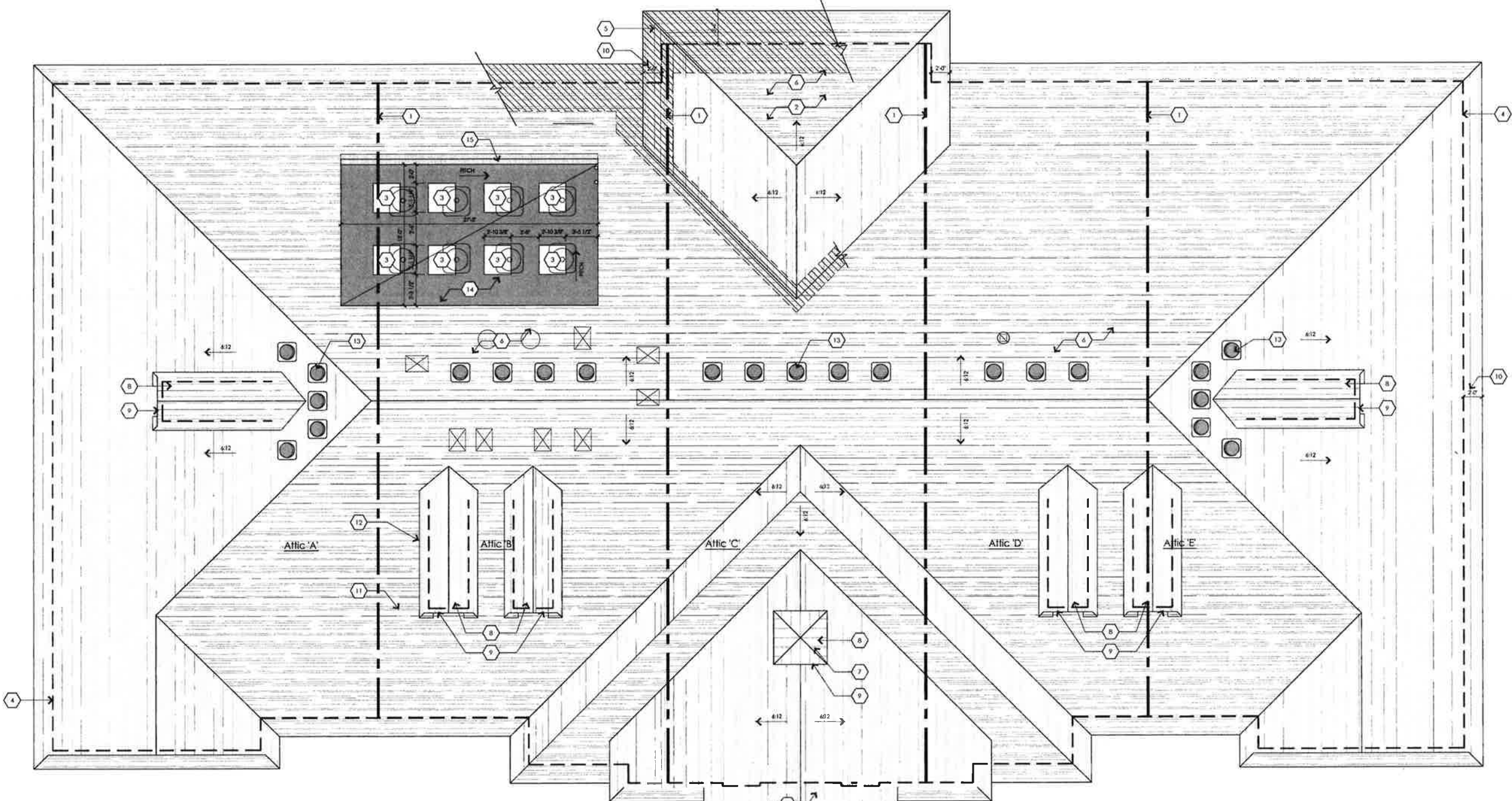
JOHNSON SIGN CO. DOES NOT PROVIDE PRIMARY ELECTRIC TO SIGN LOCATION RESPONSIBILITY OF OTHERS

CUSTOMER APPROVAL: _____

DATE: _____



INTERNATIONAL SIGN ASSOCIATION



Client:
Rainbow Child Care
Center
1732 Crooks Rd.
Tryon, MI 48084

Project:

Issued:

Seal:

o e:
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow:



Sheet Title:
Roof Plan

Scale:
3/16" = 1'-0"

Project Number:

Sheet Number:

A.104

Attic 'A' Ventilation Calculation:

1 SQ. FT. OF ATTIC VENT PER 300 SQ. FT. OF ATTIC FLOOR SPACE (OVER ALL PERIMETER OF ROOF)

TOTAL ATTIC SPACE: 2,640 SQ. FT.
2,640 SQ. FT. / 300 SQ. FT. = 8.8 SQ. FT.
8.8 SQ. FT. / 2 (INTAKE/EXHAUST) = 4.4 SQ. FT.
4.4 SQ. FT. X 144 IN. = 633.6 SQ. IN. (NET FREE AREA REQUIRED)

VENTILATION EXHAUST OPTIONS:
ROOF LOUVER: 8-144 ROUND METAL DOME VENT BY AIR VENT EQUALS 144 NFA PER PIECE: 633.6 SQ. IN. / 144 NFA = 4.4
5 STATIC VENTS REQ'D.

PROPOSED VENTILATION EXHAUST:
4 STATIC ROOF VENTS PROVIDED

VENTILATION INTAKE CALCULATIONS:
633.6 SQ. IN. (NET FREE AREA REQUIRED - SEE ABOVE)
AIR VENT UNDER EAVE VENT 16"x6" EQUALS 42 SQ. IN. NFA PER PIECE: 633.6 SQ. IN. / 42 NFA = 15.1 = 16 VENTS REQ'D.

PROPOSED VENTILATION INTAKE:
16 VENTS PROVIDED

Attic 'D' Ventilation Calculation:

1 SQ. FT. OF ATTIC VENT PER 300 SQ. FT. OF ATTIC FLOOR SPACE (OVER ALL PERIMETER OF ROOF)

TOTAL ATTIC SPACE: 1,771 SQ. FT.
1,771 SQ. FT. / 300 SQ. FT. = 5.9 SQ. FT.
5.9 SQ. FT. / 2 (INTAKE/EXHAUST) = 2.9 SQ. FT.
2.9 SQ. FT. X 144 IN. = 422.0 SQ. IN. (NET FREE AREA REQUIRED)

VENTILATION EXHAUST OPTIONS:
ROOF LOUVER: 8-144 ROUND METAL DOME VENT BY AIR VENT EQUALS 144 NFA PER PIECE: 422.0 SQ. IN. / 144 NFA = 2.9
3 STATIC VENTS REQ'D.

PROPOSED VENTILATION EXHAUST:
3 STATIC ROOF VENTS PROVIDED

VENTILATION INTAKE CALCULATIONS:
422.0 SQ. IN. (NET FREE AREA REQUIRED - SEE ABOVE)
AIR VENT UNDER EAVE VENT 16"x6" EQUALS 42 SQ. IN. NFA PER PIECE: 422.0 SQ. IN. / 42 NFA = 10.3 = 11 VENTS REQ'D.

PROPOSED VENTILATION INTAKE:
11 VENTS PROVIDED

Attic 'B' Ventilation Calculation:

1 SQ. FT. OF ATTIC VENT PER 300 SQ. FT. OF ATTIC FLOOR SPACE (OVER ALL PERIMETER OF ROOF)

TOTAL ATTIC SPACE: 2,332 SQ. FT.
2,332 SQ. FT. / 300 SQ. FT. = 7.8 SQ. FT.
7.8 SQ. FT. / 2 (INTAKE/EXHAUST) = 3.9 SQ. FT.
3.9 SQ. FT. X 144 IN. = 561.6 SQ. IN. (NET FREE AREA REQUIRED)

VENTILATION EXHAUST OPTIONS:
ROOF LOUVER: 8-144 ROUND METAL DOME VENT BY AIR VENT EQUALS 144 NFA PER PIECE: 561.6 SQ. IN. / 144 NFA = 3.9
4 STATIC VENTS REQ'D.

PROPOSED VENTILATION EXHAUST:
4 STATIC ROOF VENTS PROVIDED

VENTILATION INTAKE CALCULATIONS:
561.6 SQ. IN. (NET FREE AREA REQUIRED - SEE ABOVE)
AIR VENT UNDER EAVE VENT 16"x6" EQUALS 42 SQ. IN. NFA PER PIECE: 561.6 SQ. IN. / 42 NFA = 13.4 = 14 VENTS REQ'D.

PROPOSED VENTILATION INTAKE:
14 VENTS PROVIDED

Attic 'E' Ventilation Calculation:

1 SQ. FT. OF ATTIC VENT PER 300 SQ. FT. OF ATTIC FLOOR SPACE (OVER ALL PERIMETER OF ROOF)

TOTAL ATTIC SPACE: 2,651 SQ. FT.
2,651 SQ. FT. / 300 SQ. FT. = 8.8 SQ. FT.
8.8 SQ. FT. / 2 (INTAKE/EXHAUST) = 4.4 SQ. FT.
4.4 SQ. FT. X 144 IN. = 633.6 SQ. IN. (NET FREE AREA REQUIRED)

VENTILATION EXHAUST OPTIONS:
ROOF LOUVER: 8-144 ROUND METAL DOME VENT BY AIR VENT EQUALS 144 NFA PER PIECE: 633.6 SQ. IN. / 144 NFA = 4.4
5 STATIC VENTS REQ'D.

PROPOSED VENTILATION EXHAUST:
5 STATIC ROOF VENTS PROVIDED

VENTILATION INTAKE CALCULATIONS:
633.6 SQ. IN. (NET FREE AREA REQUIRED - SEE ABOVE)
AIR VENT UNDER EAVE VENT 16"x6" EQUALS 42 SQ. IN. NFA PER PIECE: 633.6 SQ. IN. / 42 NFA = 15.1 = 16 VENTS REQ'D.

PROPOSED VENTILATION INTAKE:
16 VENTS PROVIDED

Attic 'C' Ventilation Calculation:

1 SQ. FT. OF ATTIC VENT PER 300 SQ. FT. OF ATTIC FLOOR SPACE (OVER ALL PERIMETER OF ROOF)

TOTAL ATTIC SPACE: 2,527 SQ. FT.
2,527 SQ. FT. / 300 SQ. FT. = 7.8 SQ. FT.
7.8 SQ. FT. / 2 (INTAKE/EXHAUST) = 3.9 SQ. FT.
3.9 SQ. FT. X 144 IN. = 561.2 SQ. IN. (NET FREE AREA REQUIRED)

VENTILATION EXHAUST OPTIONS:
ROOF LOUVER: 8-144 ROUND METAL DOME VENT BY AIR VENT EQUALS 144 NFA PER PIECE: 561.2 SQ. IN. / 144 NFA = 3.9
5 STATIC VENTS REQ'D.

PROPOSED VENTILATION EXHAUST:
5 STATIC ROOF VENTS PROVIDED

VENTILATION INTAKE CALCULATIONS:
561.2 SQ. IN. (NET FREE AREA REQUIRED - SEE ABOVE)
AIR VENT UNDER EAVE VENT 16"x6" EQUALS 42 SQ. IN. NFA PER PIECE: 561.2 SQ. IN. / 42 NFA = 13.4 = 14 VENTS REQ'D.

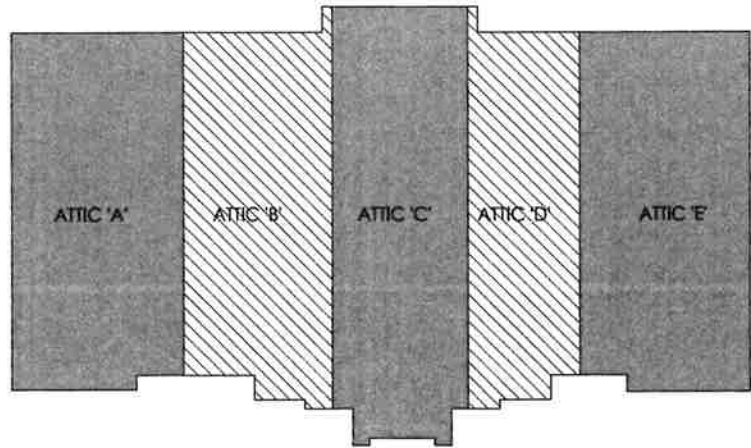
PROPOSED VENTILATION INTAKE:
14 VENTS PROVIDED

General Roof Plan Notes:

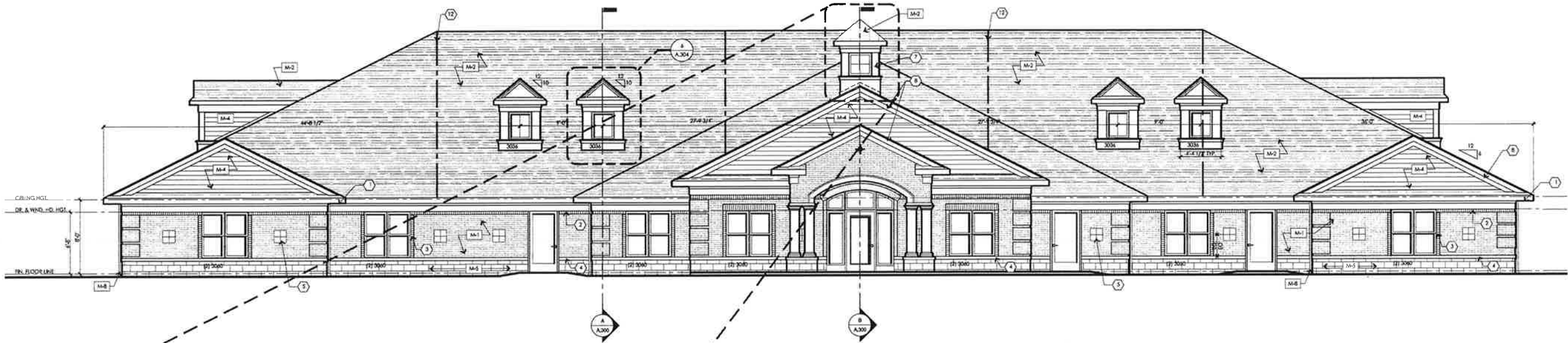
- SEE CONSTRUCTION SPECIFICATIONS FOR FLASHING NOTES
- FLASH ALL ROOF PENETRATIONS AS REQUIRED AND PER CODE
- LOCATE ALL PLUMBING STACKS AT REAR ROOF PLANE. VERIFY THAT NO VENTS ARE VISIBLE FROM THE STREET
- PROVIDE PRE-FIN. MITL. DRIP EDGE @ ALL ROOF EAVES AND RAKES
- PROVIDE PRE-FIN. 6" ALUM. GUTTERS & DOWNSPOUTS (MECH. FASTENED) - COORD. DOWNSPOUT LOCATIONS W/OWNER & CIVIL ENG. IN FIELD

Keyed Roof Plan Notes:

- LOCATION OF DRAFTSTOPPING - VEL. W/RISS MANUF. NOTE: DO NOT EXCEED 3,000 SQ. FT. OF ATTIC SPACE WITHOUT DRAFTSTOPPING - SEE DETAIL ON SHEET A.305 FOR ADDITIONAL INFORMATION
- IF ROOF ABOVE GYM IS NOT OPEN TO MAIN ROOF STRUCTURE (ROOF #3) PROVIDE RIDGE VENT. OTHERWISE ALLOW VENTILATION TO PASS THROUGH TO MAIN ROOF ATTIC AND OUT THROUGH EXHAUST VENTS
- A/C CONDENSING UNIT - VEL. EXACT SIZE, LOCATION AND CLEARANCES W/MEP ENGINEER
- LINE OF EXTERIOR WALL BELOW (TYP.)
- PROVIDE GRACE ICE & WATER SHIELD @ ALL EAVES & VALLEYS 36" PAST THE INTERIOR OF THE EXTERIOR WALL AND UP EACH VALLEY SIDE 18" (MIN.)
- DIMENSIONAL ASPHALT SHINGLES (TYP.)
- STANDING SEAM METAL ROOF - PROVIDE FULL GRACE BURR OR HIGH TEMP. RATED ICE & WATER SHIELD BELOW ALL METAL ROOFING (TYP.)
- PROVIDE FULL GRACE ICE & WATER SHIELD @ ALL DORMERS (TYP.)
- EXTEND GRACE ICE & WATER SHIELD UP ADJACENT WALL 18" (MIN.)
- TYP. O.H. FOR ALL HPS (U.N.O.)
- TYP. RAKE PROJECTION (U.N.O.)
- TYP. O.H. FOR ALL DORMERS (U.N.O.)
- AIRVENT: 8-144 METAL DOME VENT - INSTALL PER MANUF. SPECS. VENTS MUST BE INSTALLED PER IBC 1203.2 (TYP.) - PAINT TO MATCH ROOF
- SINGLE-PLY 40 MIL. EPDM W/PREFIN. METAL EDGE FLASHING W/DRIP EDGE - INSTALL IN STRICT COMPLIANCE W/MANUF. INSTALLATION SPECS.
- PREFIN. METAL EDGE FLASHING W/DRIP ON PARAPET FRAMING (SEE SECTION)



VENTILATION DIAGRAM PLAN

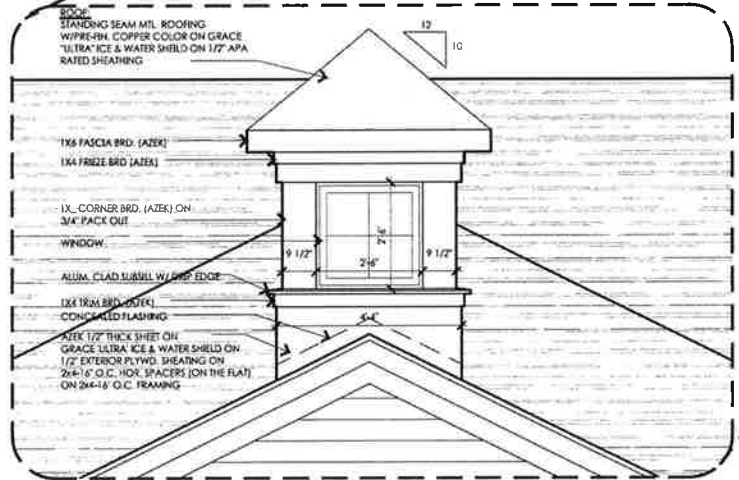


Front Elevation Material Calculations:

Glass/Wind./Door =	304 sq ft. (18%)
Stone =	46 sq ft. (3%)
Brick =	403 sq ft. (33%)
C.M.U. =	218 sq ft. (18%)
Asph/Sh =	335 sq ft. (28%)
Total =	1,706 sq ft.

Front Elevation

Scale: 3/16" = 1'-0"



Enlarged Cupola Elevation

Scale: 1/2" = 1'-0"

GENERAL ELEVATION NOTES:

1. ALL TRIM BOARDS (AZEK) WILL BE COATED IN PRE-FIN. ALUM. - DETERMINE GAUGE PER RAINBOW CHILD CARE CENTER SPECS.
2. EXTERIOR BRICK IS TO BE STANDARD SIZE - COURSE OUT QUOIN CORNERS.
3. EXTERIOR WINDOWS ARE JELDOWEN, THEY ARE OPERABLE AND HAVE SCREENS. SCREENS ARE TO BE 1/2" MESH OR BETTER.
4. DO NOT SCALE HATCHING, REFER TO BUILDING SECTIONS & WALL SECTIONS FOR PROPER CONSTRUCTION METHODS. A-300 - A-305.

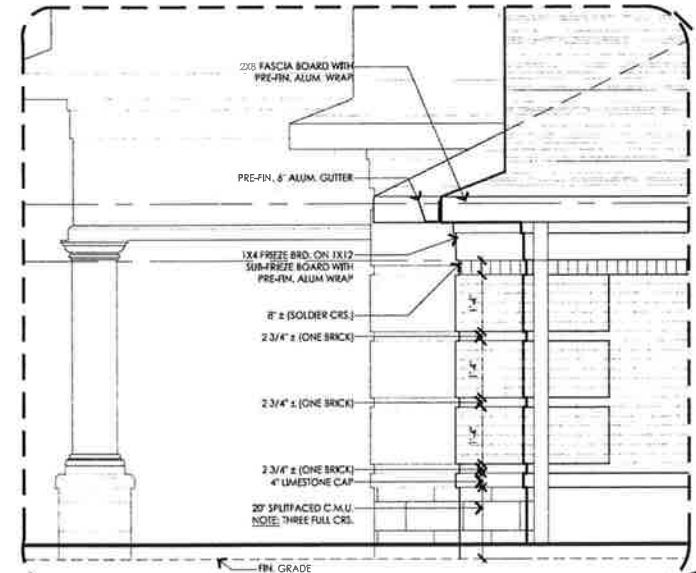
Keyed Elevation Notes:

1. TYPICAL EAVE - SEE DETAIL FOR MORE INFORMATION.
2. BRICK SOLDER COURSE (TYP.)
3. BRICK ROWLOCK COURSE
4. SILL SLOPED TO ALLOW WATER RUNOFF WITH DRIP EDGE
5. 4" (4") DECORATIVE BLES PROVIDED AND INSTALLED BY CONTRACTOR - SEE DETAIL #8 ON A-303 (TYP.)
6. PRE-FINISHED BREAK METAL CAP
7. CUPOLA - SEE ENLARGED CUPOLA ELEVATION
8. 1/2" TRIM BRD ON 1X4 RACK BRD. WITH PRE-FINISHED ALUMINUM WRAP
9. 1/2" AZEK PANEL (PAINT)
10. PRE-FINISHED ALUMINUM GUTTER AND DOWNSPOUT - VERIFY CONNECTION DETAIL AND LOCATION WITH CIVIL ENGINEER
11. PROVIDE COVERED DORMERS FOR MECHANICAL INTAKE (VER. W/MECHANICAL DRAWINGS)
12. LINE OF DRAFT STOPPING
13. SIGNAGE INSTALLED BY GC
14. LINE OF BUILDING BEYOND

Exterior Elevation Materials

SYMBOL	ITEM	MANUFACTURER	MODEL	COLOR / FINISH	NOTES
M-1	BRICK	BRAMPTON BRICK	CROSSROADS SERIES	COLOR - JASPER	IF BRICK IS NOT READILY AVAILABLE PROVIDE OPTIONS FOR OWNER TO APPROVE
M-2	ASPHALT SHINGLES	GAF ROOFING	TIMBERLINE HD - LIFETIME SHINGLES	COLOR - WEATHERED WOOD	+
M-3	BREAK METAL TRIM	QUALITY EDGE	TRULINE EMBOSSED TRIM COIL	COLOR - 807 (CLAY)	+
M-4	VINYL SIDING	GEORGIA PACIFIC	FOREST RIDGE DOUBLE S' SIDING	MIST	+
M-5	SPLITFACE C.M.U.	MICHIGAN CERTIFIED CONCRETE	SPLIT FACED	VAOLS	IF BRICK IS NOT READILY AVAILABLE PROVIDE OPTIONS FOR OWNER TO APPROVE
M-6	8X8 DECORATIVE TILES	DAL TILE	NATURAL HUES CERAMIC FLOORS & WALL	QH67 REGENCY BLUE, QH77 SCARLET, QH76 CITRUS, QH29 SPRING GREEN	+
M-7	STANDING SEAM METAL ROOF	MICELROY METAL	INSTALOC STANDING SEAM SYSTEM STYLE - PLANK PROFILE	COLOR - COPPER PENNY METALLIC	+
M-8	PRE-FIN ALUMINUM GUTTER	MASTIC HOME EXTERIORS	6" GUTTER COIL - Z7 GAUGE	COLOR - ROYAL BROWN (VERIFY W/OWNER)	+
M-9	SILL & WATER TABLE	T.B.D.	LUMISTONE	VARIEGATED	+

NOTE:
JELDOWEN WINDOWS TO BE PRE-FINISHED WIDEBR/1 SAND



Enlarged Elevation - Quoin Detail (Typ.)

Scale: 1/2" = 1'-0"



Left Elevation Material Calculations:

Glass/Wind./Door =	11 sq ft. (14%)
Stone =	23 sq ft. (3%)
Brick =	437 sq ft. (68%)
C.M.U. =	192 sq ft. (15%)
Total =	663 sq ft.

Left Side Elevation

Scale: 3/16" = 1'-0"

Client:

Rainbow Child Care Center
1732 Crooks Rd.
Tryon, MI 48084

Project:

Issued:

Seal:

No e:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

Sheet Title:

Exterior Elevations

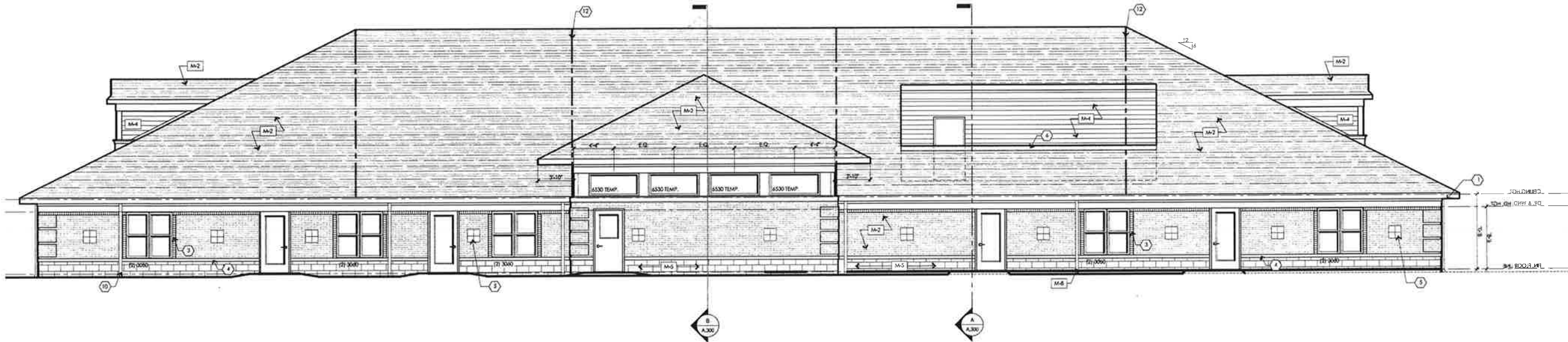
Scale:

As Noted

Project Number:

Sheet Number:

A.200



Rear Elevation Material Calculations:

Glass/Window/Door =	291 sq ft (12.8%)
Stone =	44 sq ft (3.5%)
Brick =	733 sq ft (57.6%)
CMU =	317 sq ft (24.9%)
Total =	1,385 sq ft

Rear Elevation
Scale: 3/16" = 1'-0"

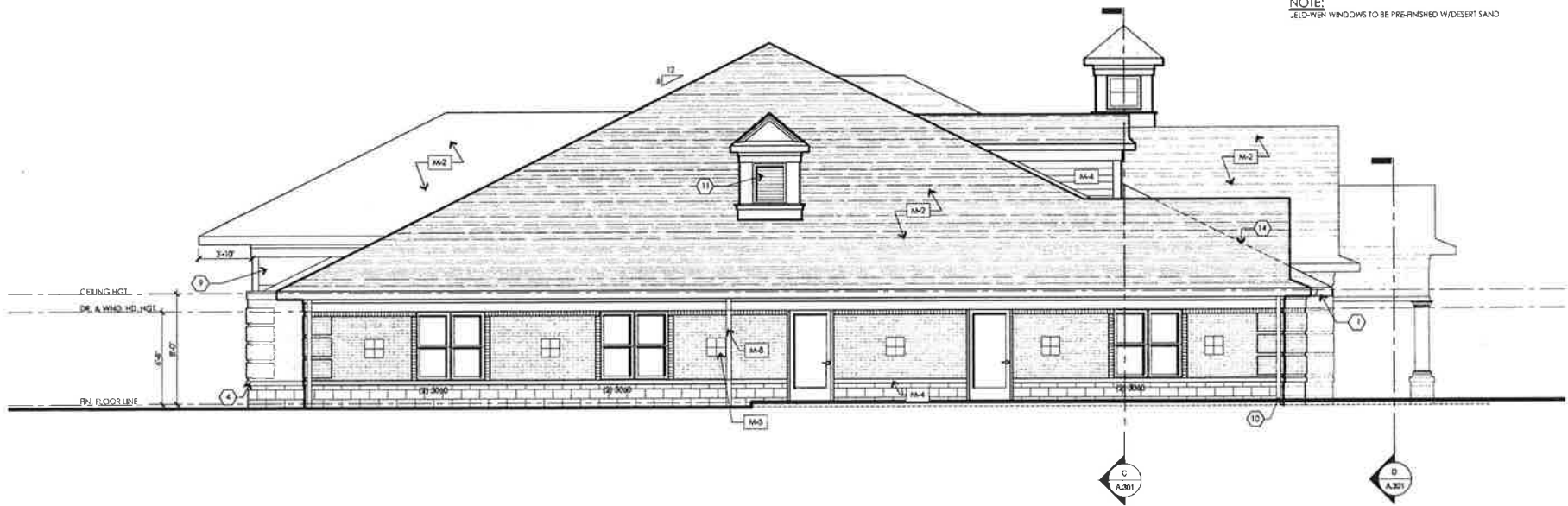
Total Building Elevation Material Calculations:

Glass/Window/Door =	805 sq ft (18.8%)
Stone =	127 sq ft (3.1%)
Brick =	2,147 sq ft (50.0%)
CMU =	666 sq ft (15.0%)
Siding =	335 sq ft (7.7%)
Total =	4,290 sq ft

GENERAL ELEVATION NOTES:
1) ALL 1x8x8 ROADS (BUNDLES) WILL BE CLAD IN PRE-FIN. ALUM. - DETERMINE GAUGE PER RAINBOW CHILD CARE CENTER SPECS.
2) EXTERIOR BRICK IS TO BE STANDARD SIZE - COURSE OUT QUIN CORNERS
3) EXTERIOR WINDOWS ARE JELDOWEN. THEY ARE OPERABLE AND HAVE SCREENS. SCREENS ARE TO BE 1/4 MESH OR BETTER.
4) DO NOT SCALE HATCHING. REFER TO BUILDING SECTIONS & WALL SECTIONS FOR PROPER CONSTRUCTION METHODS. A-300 - A-305

SYMBOL	ITEM	MANUFACTURER	MODEL	COLOR / FINISH	NOTES
M-1	BRICK	BRAMPTON BRICK	CROSSROADS SERIES	COLOR - JASPER	IF BRICK IS NOT READY, AVAILABLE PROVIDE OPTIONS FOR OWNER TO APPROVE
M-2	ASPHALT SHINGLES	GAF ROOFING	IMBERLINE HD - LIME/SLATE SHINGLES	COLOR - WEATHERED WOOD	
M-3	BREAK METAL TRIM	QUALITY EDGE	TRIUNE EMBOSSED TRIM COIL	COLOR - 807 (CLAY)	
M-4	VINYL SIDING	GEORGIA PACIFIC	FOREST RIDGE DOUBLE S' SIDING	MIST	
M-5	SPLITFACE C.M.U.	MICHIGAN CERTIFIED CONCRETE	SPLIT FACED	VAOLS	IF BRICK IS NOT READY, AVAILABLE PROVIDE OPTIONS FOR OWNER TO APPROVE
M-6	6X8 DECORATIVE TILES	DAL TILE	NATURAL HUES CERAMIC FLOORS & WALL	QH27 REGENCY BLUE, QH77 SCARLET, QH76 CITRUS, QH29 SPRING GREEN	
M-7	STANDING SEAM METAL ROOF	MCLEOD METAL	INSTALOC STANDING SEAM SYSTEM STYLE - PLANK PROFILE	COLOR - COPPER PENNY METALIC	
M-8	PRE-FIN ALUMINUM GUTTER	MASTIC HOME EXTERIORS	6" GUTTER COIL - 27 GAUGE	COLOR - ROYAL BROWN (VERIFY W/OWNER)	
M-9	SOIL & WATER TABLE	T.B.D.	LIMESTONE	VARIEGATED	

NOTE:
JELDOWEN WINDOWS TO BE PRE-FINISHED W/DESERT SAND



Right Side Material Calculations:

Glass/Window/Door =	119 sq ft (10.8%)
Stone =	24 sq ft (2.2%)
Brick =	372 sq ft (34.0%)
CMU =	129 sq ft (12.0%)
Total =	644 sq ft

Right Side Elevation
Scale: 3/16" = 1'-0"

Client:
Rainbow Child Care Center
1732 Crooks Rd.
Tryon, MI 48084

Project:

Issued:

Seal:

Note:
Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

Sheet Title:

Exterior Elevations

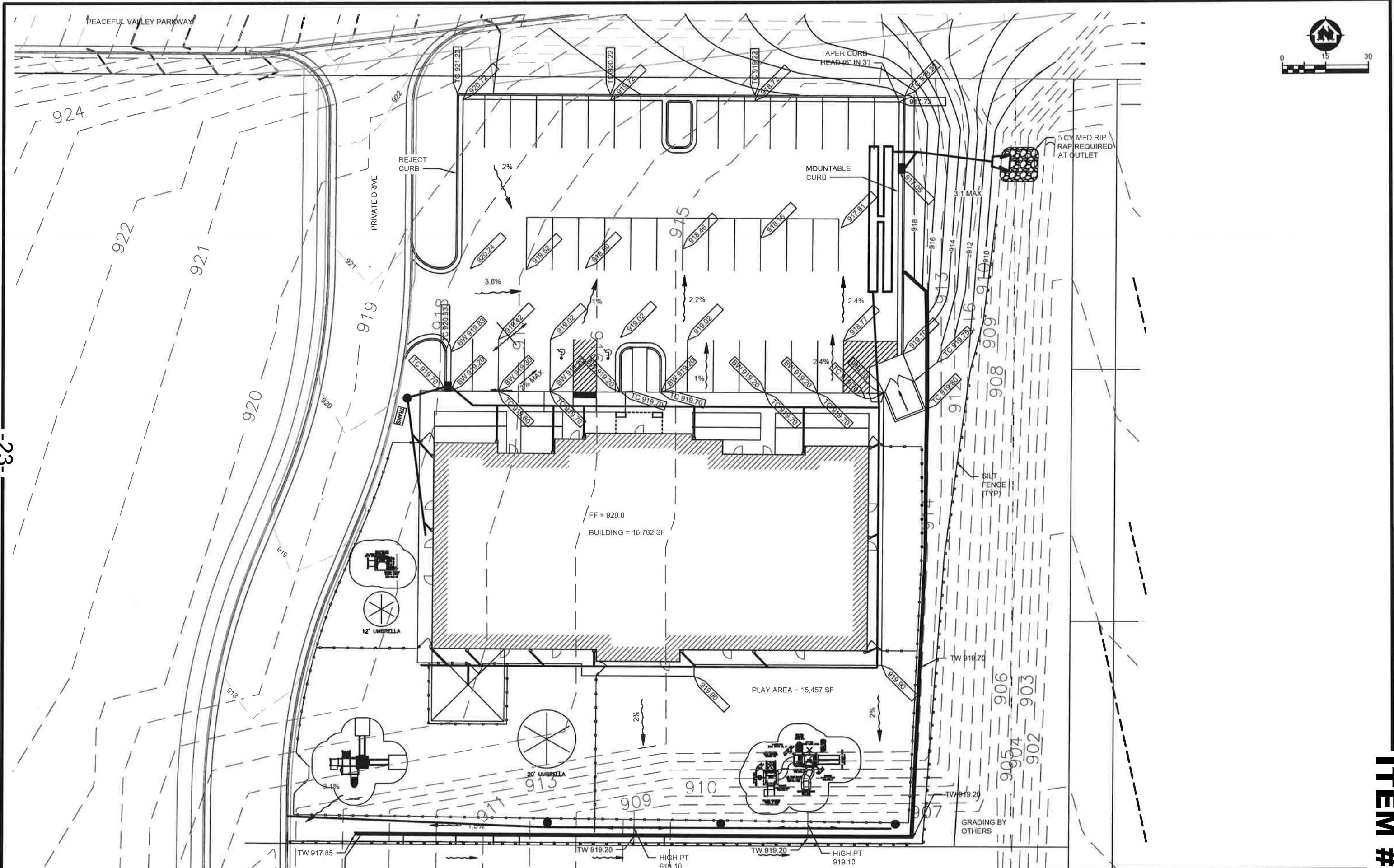
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Project Number:

Sheet Number:

A.201



PROJECT NO.	18016000	SCALE	AS SHOWN	NO.		DATE		REVISION		BY	
PROJECT DATE:	JULY 2016	DRAWN BY:	KAJ								
F.B.		CHECKED BY:	GB								

MSA
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RAINBOW RASCALS DAY CARE
WAUNAKEE BRANCH
VILLAGE OF WAUNAKEE, WI

GRADING & EROSION PLAN

FILE: 18016
SHEET: G1

PLANT MATERIALS LIST						
ID	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING & NOTES*	MATURE SIZE (height/width) QUANTITY
Deciduous Trees						
AFJ	<i>Acer x Freemanii 'Jeffersred'</i>	Freeman Maple	2" cal.	B&B	as drawn	40-50' x 20-40' 1
GT	<i>Gleditsia triacanthos var. inermis 'Shademaster'</i>	Shademaster' Thornless Honey Locust	2" cal.	B&B	as drawn	30-70' x 30-70' 3
TX	<i>Tilia x Harvest Gold</i>	Harvest Gold Linden	2" cal.	B&B	as drawn	40' x 30' 2

Ornamental Trees						
MPF	<i>Malus 'Prairie Fire'</i>	Prairie Fire Crabapple	6'	B&B	as drawn	15-20' x 10-20' 2
MSS	<i>Malus x 'Spring Snow'</i>	Spring Snow Crabapple	6'	B&B	as drawn	15-20' x 15-20' 1

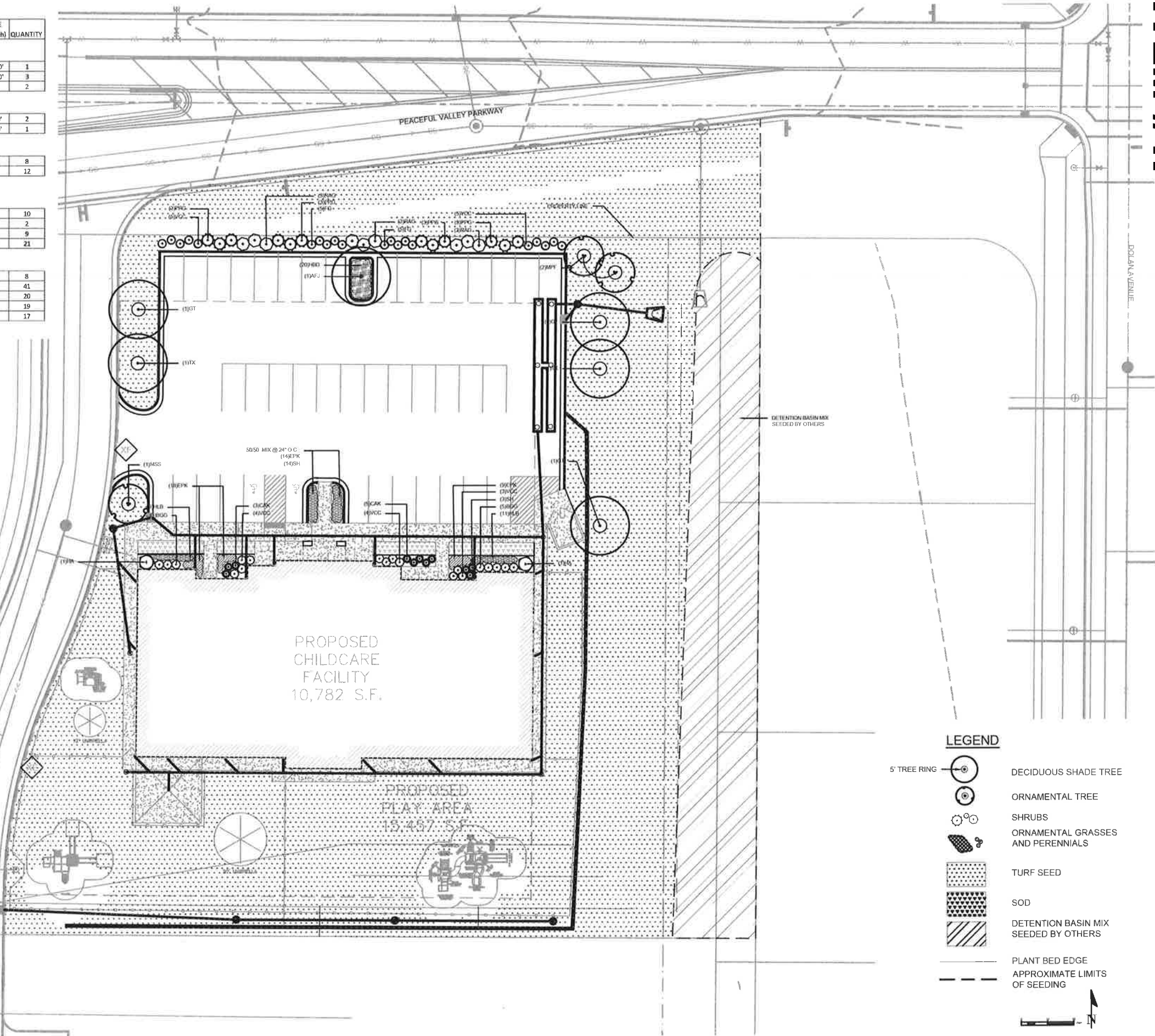
Evergreen Shrubs*						
BGG	<i>Buxus 'Green Gem'</i>	Green Gem Boxwood	36"	B&B	as drawn	1.5-2' x 1.5-2' 8
PPG	<i>Picea pungens 'Globosa'</i>	Dwarf Globe Spruce	36"	B&B	as drawn	3-5' x 4-6' 12
*Do not shear, hand pruning only. Do not plow or store snow with salt near evergreen shrubs						

Deciduous Shrubs						
FG	<i>Fothergilla gardenii</i>	Dwarf Fothergilla	36"	B&B	as drawn	1.5-3' x 2-4' 10
HA	<i>Hydrangea 'Annabelle'</i>	Annabelle Hydrangea	3 gal.	CONT.	as drawn	3-5' x 4-6' 2
RAG	<i>Rhus aromatica 'Gro-low'</i>	Gro-Low Fragrant Sumac	3 gal.	CONT.	as drawn	1.5-2' x 6-8' 9
VCC	<i>Viburnum carlesii 'Compactum'</i>	Compact Koreanspice Viburnum	36"	B&B	as drawn	2.5-4' x 2.5-4' 21

Perennials and Grasses						
CAK	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster	1 gal.	CONT.	as drawn	3-5' x 1.5-2.5' 8
EPK	<i>Echinacea purpurea 'Kim's Knee High'</i>	Kim's Knee High Coneflower	1 gal.	CONT.	24" O.C.	1-2' x 1-2' 41
HBD	<i>Hosta 'Big Daddy'</i>	Big Daddy Hosta	1 gal.	CONT.	30" O.C.	1-2' x 2-3' 20
HLB	<i>Hemerocallis 'Little Business'</i>	Little Business Daylily	1 gal.	CONT.	24" O.C.	1-1.5' x 1-1.5' 19
SH	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 gal.	CONT.	30" O.C.	2-3' x 2-3' 17

PARKING LOT LANDSCAPE REQUIREMENTS		
Parking Spots	Points Each	Total Needed
41	15	615

Plant Type	Points Each	Quantity	Total
Canopy 2"	50	6	300
Canopy 1.5" Orna	30	3	90
Tall Shrubs	9	9	81
Medium Shrubs	6	24	144
Point Total Provided			615



PROJECT NO.	18016000	SCALE	AS SHOWN	NO.		DATE		BY	
PROJECT DATE	JULY 2016	DRAWN BY	KAJ						
F.B.		CHECKED BY	GB						



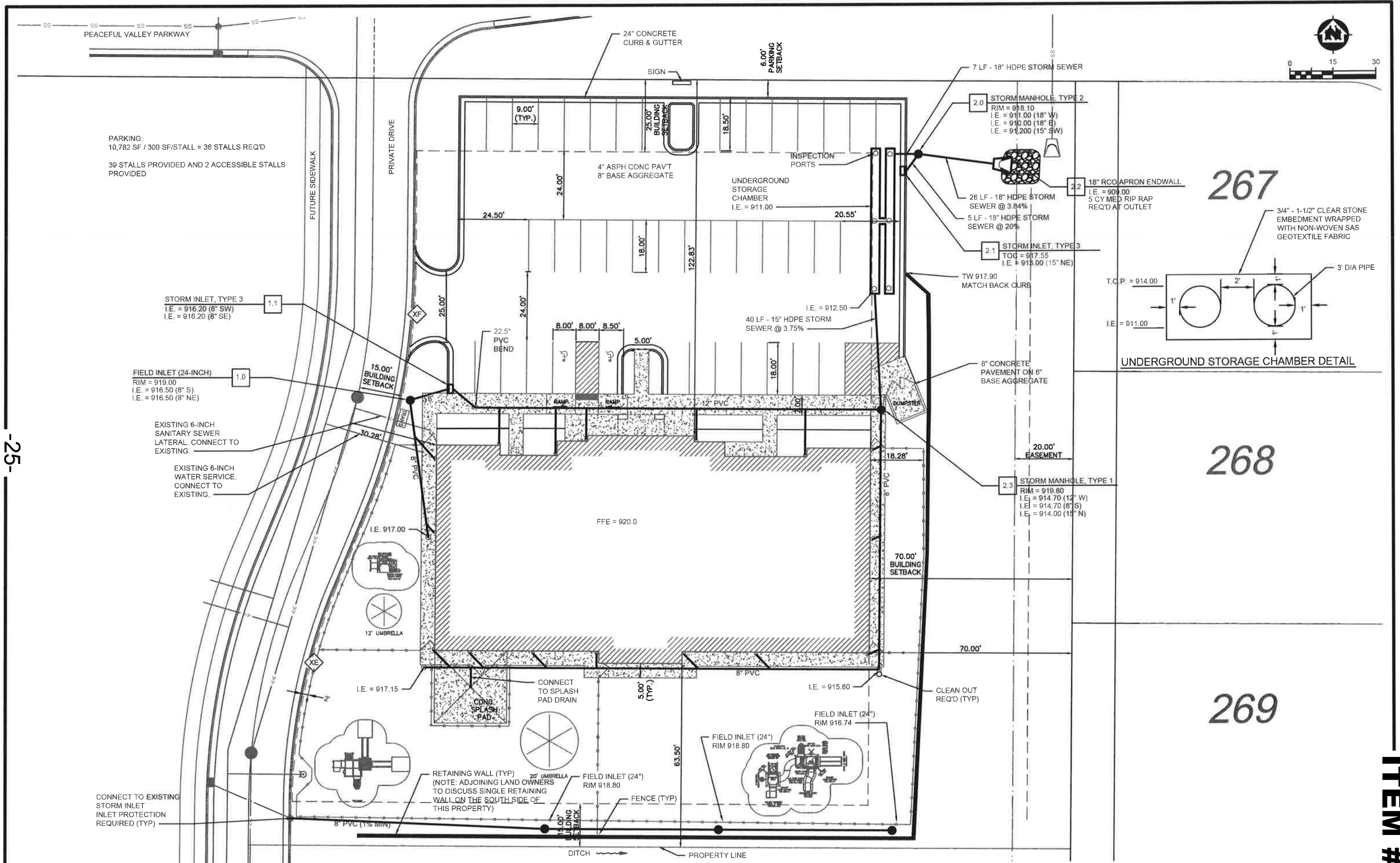
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RAINBOW RASCALS DAY CARE
WAUNAKEE BRANCH
VILLAGE OF WAUNAUKEE, WI

LANDSCAPE PLAN

FILE NO.	18016000
SHEET	G2

ITEM #1.






PROJECT NO.	18016000	SCALE	AS SHOWN	NO.	DATE	REVISION	B
PROJECT DATE	JULY 2010	DRAWN BY	KAJ				
F B		CHECKED BY	GB				

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1230 South Blvd Baraboo, WI 53913
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Web Address: www.msa-us.com

PHOTOMETRIC PLAN




KAD LED

LED Area Luminaire

Coloring
(BELOW)

RAINBOW DAY CARE

PARKING LOT FIXTURE



Specifications


EPA: 1.9/27
100/27

Length: 17.5" (443mm)

Width: 7.5" (190mm)

Height: 3.5" (89mm)

Weight (max): 20 lbs (9.1kg)



Introduction

The Compact Series Luminaire offers a truly revolutionary design and performance for compact fluorescent and LED area lighting. The KAD LED area luminaire is the only LED luminaire with the famous compact fluorescent Series by design, high performance luminaire that has the equivalent of 100,000 hours of life. It can replace a 100,000 hour of life. It can replace a 100,000 hour of life. It can replace a 100,000 hour of life.

EXAMPLE: KAD LED 40C 1000 40K R5 MVOLT FUMBAK01 DBBXD

MODEL	20C	530	50K	R4	MVOLT	SPD D6
KAD 20C	20	20	20	20	20	20
KAD 530	530	530	530	530	530	530
KAD 50K	50K	50K	50K	50K	50K	50K
KAD R4	R4	R4	R4	R4	R4	R4
KAD MVOLT	MVOLT	MVOLT	MVOLT	MVOLT	MVOLT	MVOLT
KAD SPD D6	SPD D6	SPD D6	SPD D6	SPD D6	SPD D6	SPD D6

Supplemental

KAD 20C 20 20 20 20 20 20

KAD 530 530 530 530 530 530

KAD 50K 50K 50K 50K 50K 50K

KAD R4 R4 R4 R4 R4 R4

KAD MVOLT MVOLT MVOLT MVOLT MVOLT MVOLT

KAD SPD D6 SPD D6 SPD D6 SPD D6 SPD D6

Supplemental

KAD 20C 20 20 20 20 20

KAD 530 530 530 530 530 530

KAD 50K 50K 50K 50K 50K 50K

KAD R4 R4 R4 R4 R4 R4

KAD MVOLT MVOLT MVOLT MVOLT MVOLT MVOLT

KAD SPD D6 SPD D6 SPD D6 SPD D6 SPD D6

Stock configurations are offered for shorter lead times:

Stock Part Number	Stock Part Number
KAD 20C 20 20 20 20 20	KAD 530 530 530 530 530 530
KAD 50K 50K 50K 50K 50K 50K	KAD R4 R4 R4 R4 R4 R4
KAD MVOLT MVOLT MVOLT MVOLT MVOLT MVOLT	KAD SPD D6 SPD D6 SPD D6 SPD D6 SPD D6

Accessories

Accessories are available for the KAD LED area luminaire. These accessories are designed to enhance the performance and longevity of the luminaire. They include:

- 1. Mounting brackets for ceiling and wall installation.
- 2. Power supply units for different voltage ranges.
- 3. Dimmer switches for adjustable lighting levels.
- 4. Remote controls for wireless operation.
- 5. Replacement LED modules for easy maintenance.

Notes


1. The KAD LED area luminaire is designed for indoor use only. It is not suitable for outdoor use.

2. The KAD LED area luminaire is designed for use in dry locations only. It is not suitable for use in wet or damp locations.

3. The KAD LED area luminaire is designed for use in non-hazardous areas only. It is not suitable for use in hazardous areas.

4. The KAD LED area luminaire is designed for use in non-corrosive environments only. It is not suitable for use in corrosive environments.

5. The KAD LED area luminaire is designed for use in non-vibrating environments only. It is not suitable for use in vibrating environments.



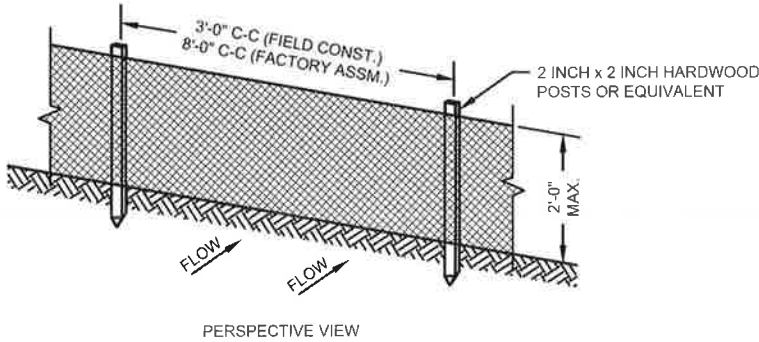
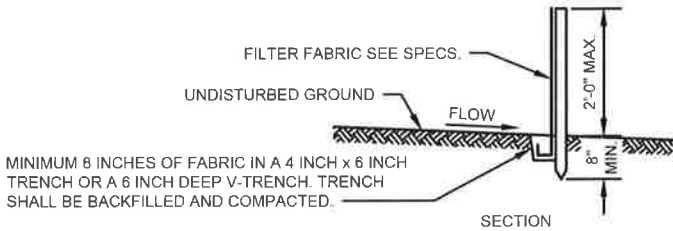
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400-800-4500

www.lithonia.com

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

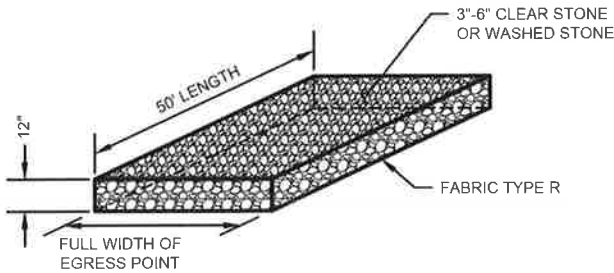
- 1.) SECTION NR216.46 OF WISCONSIN STATE ADMINISTRATIVE CODE IDENTIFIES REQUIREMENTS FOR CONSTRUCTION SITE AND POST-CONSTRUCTION EROSION CONTROL. IT IS THE INTENT OF THESE PLANS TO SATISFY THESE REQUIREMENTS. THE METHODS AND STRUCTURES USED TO CONTROL EROSION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL IMPLEMENT AN APPROPRIATE MEANS OF CONTROLLING EROSION DURING SITE OPERATION AND UNTIL THE VEGETATION IS RE-ESTABLISHED. ADJUSTMENTS TO THE CONTROL SYSTEM SHALL BE MADE AS REQUIRED.
- 2.) ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE WISCONSIN DNR'S CONSERVATION PRACTICE STANDARDS. THESE STANDARDS ARE PERIODICALLY UPDATED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND REFERENCE THE MOST RECENTLY RELEASED STANDARD.
- 3.) THE INFORMATION IS ONLY ONE PART OF THE OVERALL EROSION CONTROL REQUIREMENTS. ADDITIONAL REQUIREMENTS MAY ALSO BE SHOWN ON THE PLAN SHEETS AND IN THE ACCOMPANYING SPECIFICATIONS.
- 4.) ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE OWNER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- 5.) THE AREA OF EROSION LAND EXPOSED TO THE ELEMENTS BY GRUBBING, EXCAVATION, TRENCHING, BORROW AND FILL OPERATIONS AT ANY ONE TIME SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING. ALL DISTURBED AREAS SHALL BE TREATED WITH PERMANENT STABILIZATION MEASURES WITHIN 3 WORKING DAYS OF FINAL GRADING.
- 6.) ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN IS PRODUCED. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. THIS APPROACH ACKNOWLEDGES THE DIFFICULTY OF WORKING IN WET CONDITIONS AS NECESSARY FOR PREVENTING THE IRRETRIEVABLE "FIRST FLUSH" OF SEDIMENT INTO ADJACENT WATERWAYS, DEGRADING WATER QUALITY AND FISH HABITAT.
- 7.) ALL EROSION CONTROL DEVICES SHALL BE PROPERLY INSTALLED PRIOR TO ANY SOIL DISTURBANCE.
- 8.) GRUBBING AND GRADING OPERATIONS SHALL BE PERFORMED IN PROPER SEQUENCE WITH OTHER WORK TO MINIMIZE EROSION.
- 9.) ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- 10.) WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION, WATERING, MULCH, OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES AND WATER RESOURCES.
- 11.) CHANNELIZED RUNOFF FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS, IF PRACTICAL.
- 12.) THE CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS TO PREVENT SOILS FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND / OR SCRAPED (NOT FLUSHED) PERIODICALLY TO REMOVE SOIL, DIRT AND / OR DUST.
- 13.) EROSION CONTROLS SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF TEMPORARY STOCKPILES. ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING. ALL STOCK PILES SHALL BE PLACED AT LEAST 75 FEET FROM STREAMS OR WETLANDS.
- 14.) EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
- a. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
- b. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
- c. DISCHARGE OF TRENCH WATER OR DEWATERING EFFLUENT MUST BE PROPERLY TREATED TO REMOVE SEDIMENT IN ACCORDANCE WITH THE WDNR CONSERVATION PRACTICE STANDARD 1061 - DEWATERING OR A SUBSEQUENT WDNR DEWATERING STANDARD PRIOR TO DISCHARGE INTO A STORM SEWER, DITCH, DRAINAGEWAY, OR WETLAND OR LAKE.
- 15.) ALL DRAINAGE CULVERTS, STORM DRAIN INLETS, MANHOLES, OR ANY OTHER EXISTING STRUCTURES WHICH COULD BE DAMAGED BY SEDIMENTATION SHALL BE PROTECTED ACCORDING TO THE VARIOUS METHODS PROVIDED IN THE PRINTED CONSERVATION PRACTICE STANDARDS.
- 16.) ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- 17.) THE FIRST SIX WEEKS AFTER INITIAL STABILIZATION (E.G. PLACEMENT OF SEED AND MULCH, EROSION MAT, SOD) A DISTURBED AREA SHALL INCLUDE WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- 18.) WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BMP'S SUCH AS SILT FENCES, STRAW BALES, AND SEDIMENT TRAPS SHALL BE REMOVED AND THESE AREAS STABILIZED.
- 19.) ALL TEMPORARY BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED.
- 20.) ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED AND MULCH UNLESS OTHERWISE SPECIFIED. A MINIMUM OF 4 TO 6 INCHES OF TOPSOIL SHALL BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.



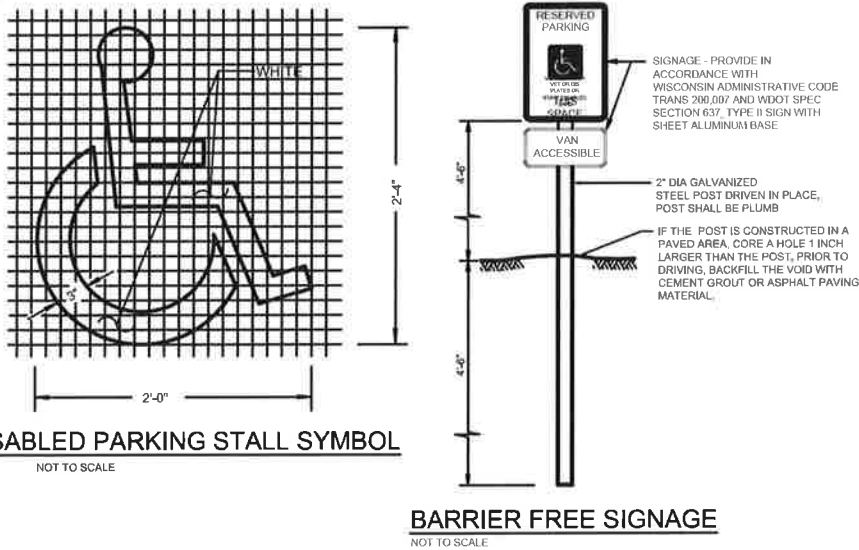
GENERAL NOTES:

1. ENDS OF FENCE SHALL BE TURNED UPSLOPE 1 TO 2 FEET IN ELEVATION TO PREVENT FLANKING.
2. STAPLE FABRIC WITH 1/2 INCH (MINIMUM) STAPLES TO THE UPSLOPE SIDE OF THE POSTS.
3. WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.

TYPICAL SILT FENCE INSTALLATION AT SITE PERIMETER DETAIL
NO SCALE



STONE TRACKING PAD DETAIL
NO SCALE

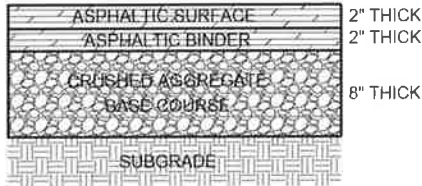


DISABLED PARKING STALL SYMBOL
NOT TO SCALE

BARRIER FREE SIGNAGE
NOT TO SCALE

GENERAL NOTES

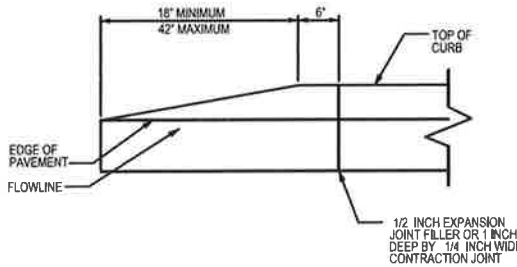
- 1) DETAILS OF INSTALLATION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS
- 2) A DETAILED DRAWING OF THE DISABLED PARKING SYMBOL IS ILLUSTRATED IN THE "STANDARD HIGHWAY SIGNS MANUAL" BY THE FEDERAL HIGHWAY ADMINISTRATION
- 3) WDOT SPEC MEANS THE STATE OF WISCONSIN STANDARD SPECIFICATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AS AMENDED BY THE MOST CURRENT INTERIM SUPPLEMENTAL SPECIFICATION
- 4) PROVIDE DISABLED PARKING STALLS AT LOCATIONS SHOWN ON THE DRAWINGS. STALL AND ACCESS ISLE DIMENSIONS SHALL BE AS SHOWN ON THE DETAIL UNLESS INDICATED OTHERWISE ON THE DRAWING
- 5) PROVIDE A DISABLED SYMBOL AND BARRIER FREE SIGNAGE FOR EACH STALL SHOWN ON THE DRAWING
- 6) PROVIDE WHEEL STOPS WHEN SHOWN ON THE DRAWINGS
- 7) THE MAXIMUM SURFACE SLOPE, ACROSS STALLS OR ACCESSIBLE ROUTES, IN ANY DIRECTION, SHALL BE 2%



GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY ASPHALT & GRAVEL BASE THICKNESSES WITH OWNER AND WITH THE PROJECT GEOTECHNICAL REPORT.

TYPICAL ASPHALT PAVING DETAIL
SCALE: NONE



CURB END DETAIL
SCALE: NONE

PROJECT NO.	18016000	SCALE: AS SHOWN	NO	DATE:	REVISION:	BY
PROJECT DATE:	JULY 2016	DRAWN BY:	KAJ			
P.B.		CHECKED BY:	GB			



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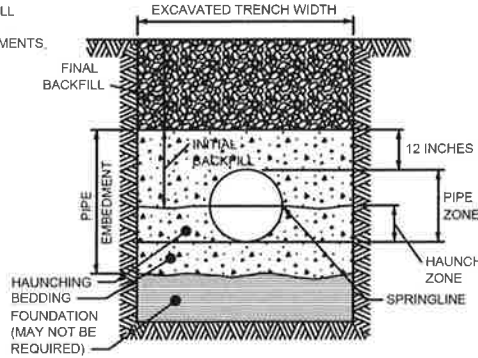
RAINBOW RASCALS DAY CARE
WAUNAKEE BRANCH
VILLAGE OF WAUNAUKEE, WI

DETAILS

FILE: 18016000
SHEET: 18016000-01
G5

ITEM #1.

TRENCHES SHALL COMPLY WITH OSHA REQUIREMENTS.



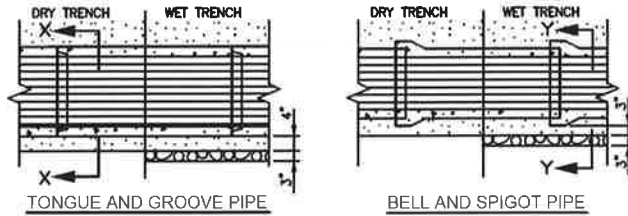
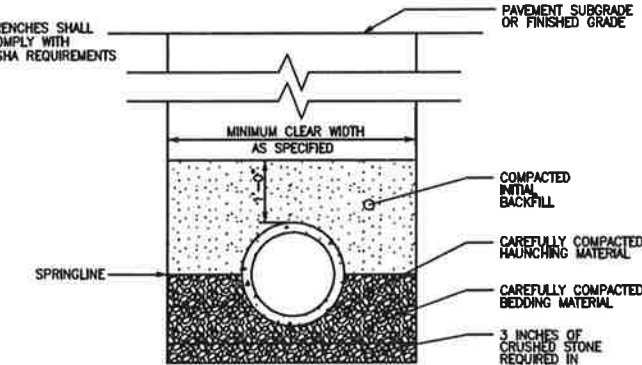
GENERAL NOTES:

1. DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO ASTM D2321.
2. CLASS II EMBEDMENT MATERIAL SHALL BE CLEAN, COARSE-GRAINED SOILS WITH LITTLE TO NO FINES. NO PARTICLES LARGER THAN 1 1/2-INCHES SHALL BE USED IN THE PIPE EMBEDMENT.
3. WHERE HYDRAULIC GRADIENT EXISTS USE A WELL-GRADED MIXTURE TO MINIMIZE MIGRATION OF FINES FROM ADJACENT SOIL.
4. CLASS II MATERIAL IS SUITABLE AS A FOUNDATION AND FOR REPLACING OVER-EXCAVATED AND UNSTABLE TRENCH BOTTOM. INSTALL AND COMPACT IN 6-INCH MAXIMUM LAYERS.
5. INSTALL AND COMPACT BEDDING IN 6-INCH MAXIMUM LAYERS. LEVEL FINAL GRADE BY HAND. MINIMUM DEPTH 4 INCH (6 INCH IN ROCK CUTS.)
6. INSTALL AND COMPACT HAUNCHING IN 6-INCH MAXIMUM LAYERS. WORK IN AROUND PIPE BY HAND TO PROVIDE UNIFORM SUPPORT.
7. INSTALL AND COMPACT INITIAL BACKFILL TO A MINIMUM OF 6 INCH ABOVE PIPE CROWN.
8. EMBEDMENT COMPACTION: MINIMUM DENSITY 85% STANDARD PROCTOR. USE HAND TAMPERS OR VIBRATORY COMPACTORS.

CLASS II - FLEXIBLE PIPE EMBEDMENT DETAIL

SCALE: NONE

TRENCHES SHALL COMPLY WITH OSHA REQUIREMENTS

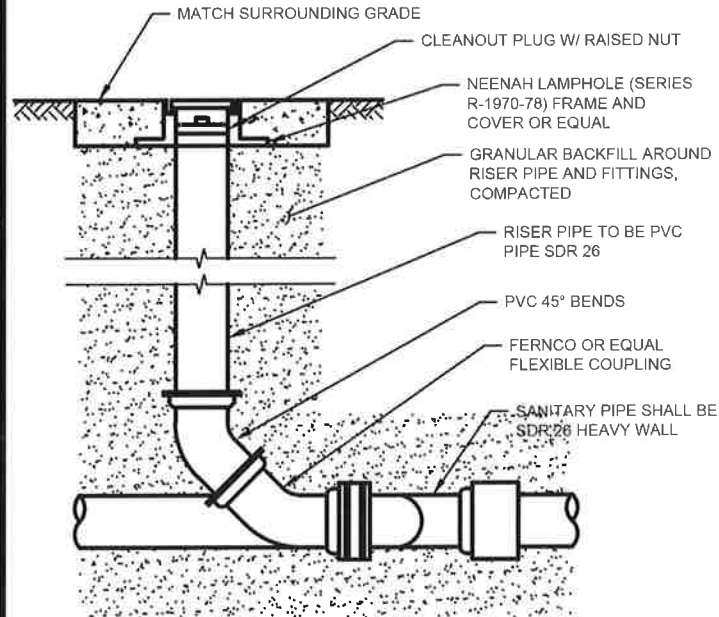


GENERAL NOTES:

1. BEDDING AND HAUNCHING MATERIAL SHALL BE WELL-GRADED 3/4 TO 1 1/4 INCH CRUSHED STONE OR OTHER NON-COHESIVE MATERIAL NOT SUBJECT TO MIGRATION AND FREE OF DEBRIS, ORGANIC MATERIAL, AND LARGE STONES.
2. BEDDING MATERIAL TO BE PLACED BEFORE SETTING PIPE, 4 INCH MINIMUM UNDER BARREL WITH 3 INCH MINIMUM UNDER BELL.
3. INITIAL BACKFILL SHALL BE DENSELY COMPACTED, NON-COHESIVE FINELY DIVIDED MATERIAL FREE OF DEBRIS, ORGANIC MATERIAL, AND LARGE STONES.
4. IN ROCK OR OTHER INCOMPRESSIBLE MATERIALS, THE TRENCH SHALL BE OVEREXCAVATED A MINIMUM OF 6-INCHES AND REILLED WITH GRANULAR MATERIAL.

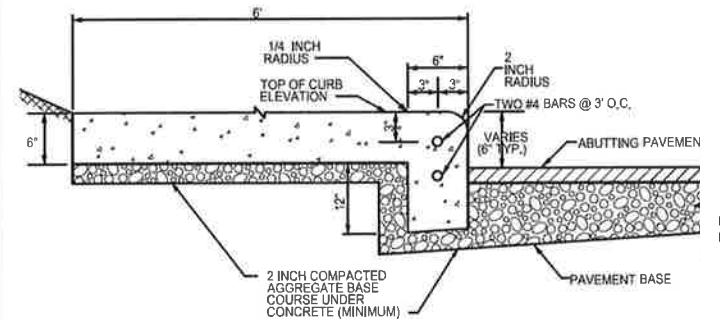
CLASS "B" EMBEDMENT FOR RIGID PIPE DETAIL

SCALE: NONE



SANITARY SEWER CLEANOUT

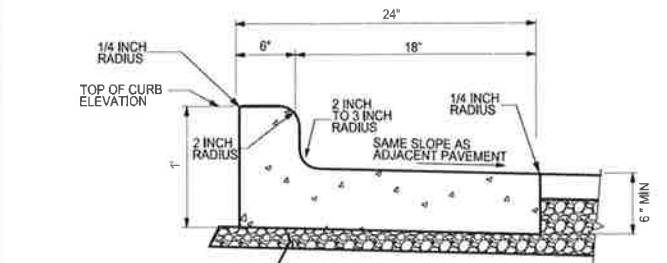
NO SCALE



STANDARD SECTION

TYPE INTEGRAL CURB AND WALK DETAIL

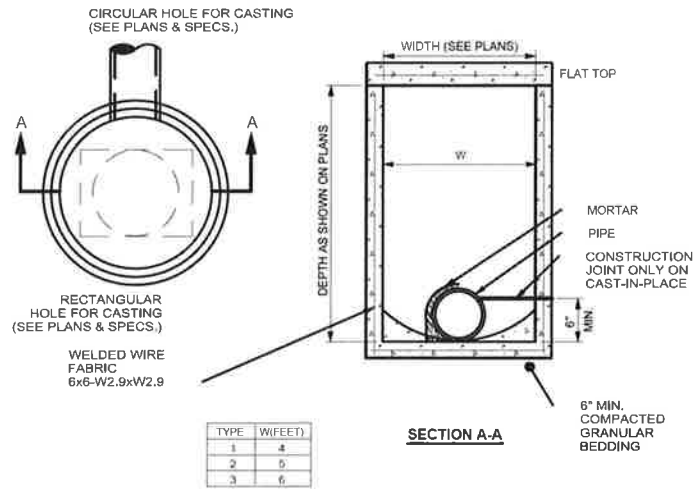
SCALE: NONE



REJECT SECTION

CURB AND GUTTER DETAIL

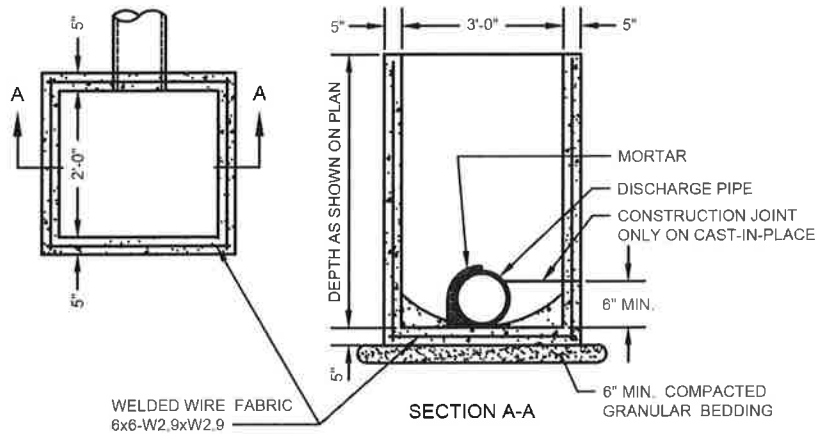
SCALE: NONE



GENERAL NOTES:

1. SEE PLANS FOR SIZE, NUMBER, AND LOCATION OF PIPES.
2. DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS.
3. DETAILED DRAWINGS FOR PROPOSED ALTERNATE DESIGNS FOR UNDERGROUND DRAINAGE STRUCTURES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PROVIDING THAT SUCH ALTERNATE DESIGNS MAKE PROVISION FOR EQUIVALENT CAPACITY AND STRENGTH.
4. ALL PRECAST UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF AASHTO DESIGNATION M 199.
5. PRECAST REINFORCED BASES SHALL BE PLACED ON A BED OF MATERIAL AT LEAST 6 INCHES IN DEPTH, WHICH MEETS THE REQUIREMENTS FOR GRANULAR BACKFILL. THIS BEDDING SHALL BE COMPACTED AND PROVIDE UNIFORM SUPPORT FOR THE ENTIRE AREA OF THE BASE.
6. PRECAST REINFORCED CONCRETE FLAT SLAB TOPS MAY BE USED ON THE STRUCTURES.
7. ALL BAR STEEL AND WELDED WIRE FABRIC REINFORCEMENT SHALL BE EMBEDDED 2 INCHES CLEAR UNLESS OTHERWISE SHOWN OR NOTED.
8. PRECAST REINFORCED CONCRETE RISERS SHALL BE PLACED WITH TONGUE DOWN.

STORM INLET DETAIL

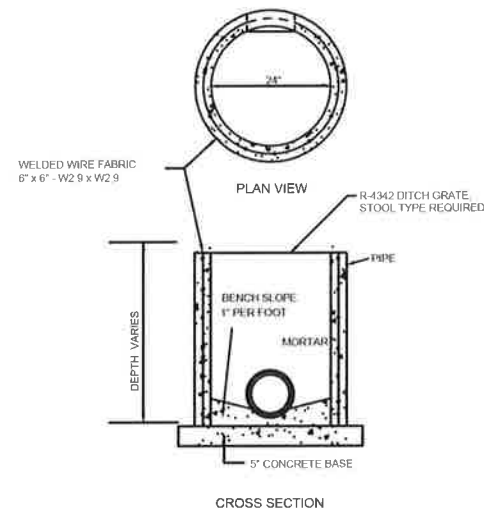


GENERAL NOTES:

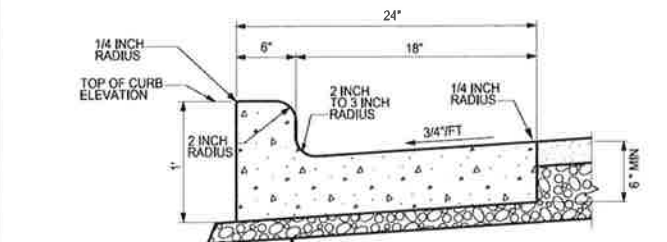
1. SEE PLANS FOR SIZE, NUMBER, AND LOCATION OF PIPES.
2. DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS.
3. DETAILED DRAWINGS FOR PROPOSED ALTERNATE DESIGNS FOR UNDERGROUND DRAINAGE STRUCTURES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PROVIDING THAT SUCH ALTERNATE DESIGNS MAKE PROVISION FOR EQUIVALENT CAPACITY AND STRENGTH.
4. ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF AASHTO DESIGNATION M 199.
5. PRECAST REINFORCED BASES SHALL BE PLACED ON A BED OF MATERIAL AT LEAST 6 INCHES IN DEPTH, WHICH MEETS THE REQUIREMENTS FOR GRANULAR BACKFILL. THIS BEDDING SHALL BE COMPACTED AND PROVIDE UNIFORM SUPPORT FOR THE ENTIRE AREA OF THE BASE.
6. PRECAST REINFORCED CONCRETE FLAT SLAB TOPS MAY BE USED ON THE STRUCTURES. THE TOPS SHALL BE INSTALLED ON A BED OF MORTAR.
7. ALL BAR STEEL AND WELDED WIRE FABRIC REINFORCEMENT SHALL BE EMBEDDED 2 INCHES CLEAR UNLESS OTHERWISE SHOWN OR NOTED.
8. PRECAST REINFORCED CONCRETE RISERS SHALL BE PLACED WITH TONGUE DOWN.

TYPE 3 INLET DETAIL

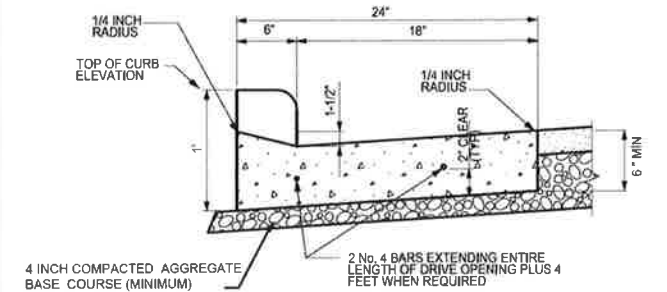
NO SCALE



FIELD INLET - 24" PRECAST MH



STANDARD SECTION



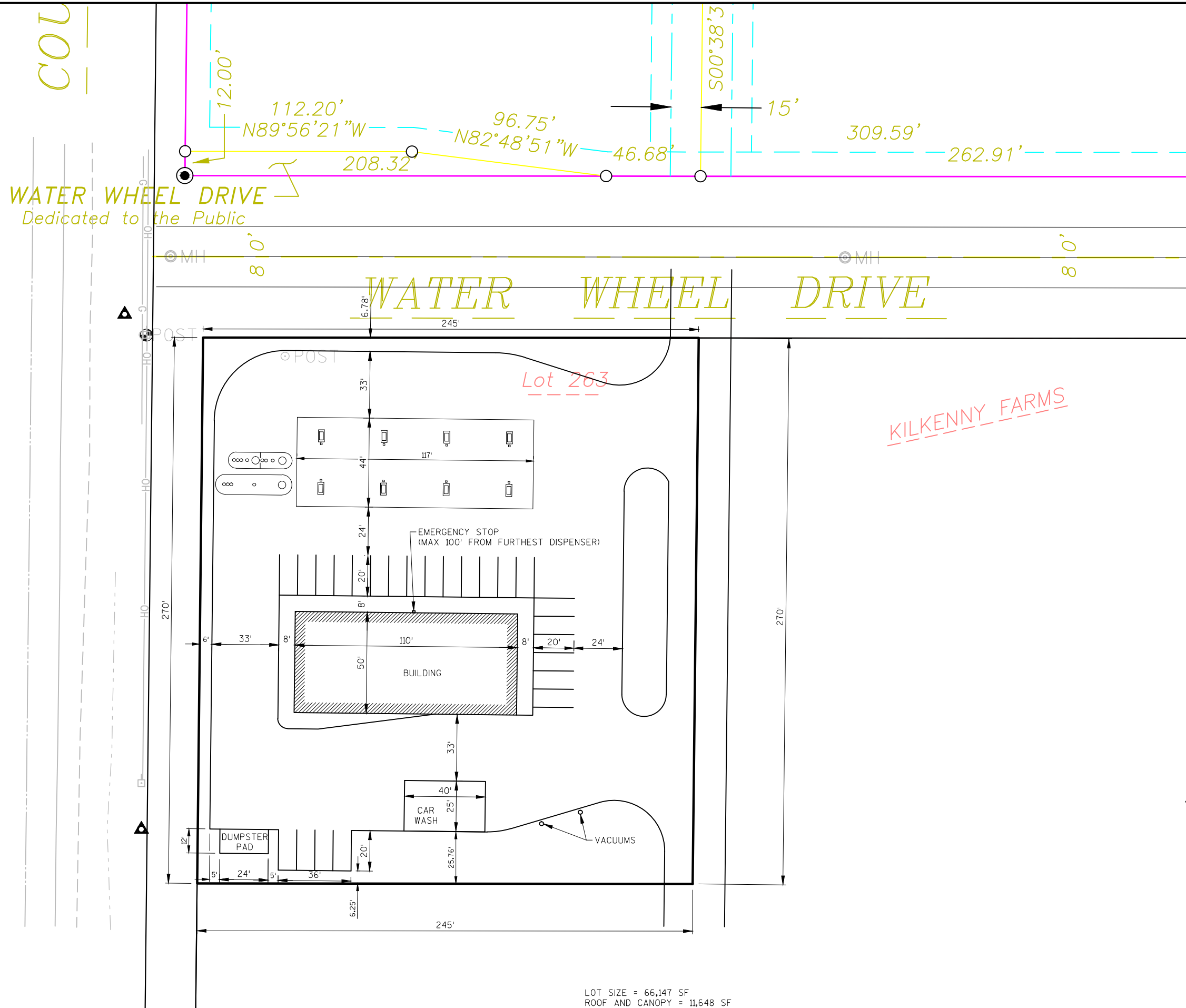
DRIVEWAY SECTION

CURB AND GUTTER DETAIL

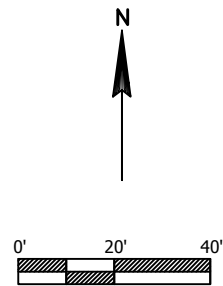
SCALE: NONE

PROJECT NO.	18016000	SCALE: AS SHOWN	NO.	DATE	REVISION	BY
PROJECT DATE:	JULY 2016	DRAWN BY:	KAJ			
F.B.		CHECKED BY:	GB			



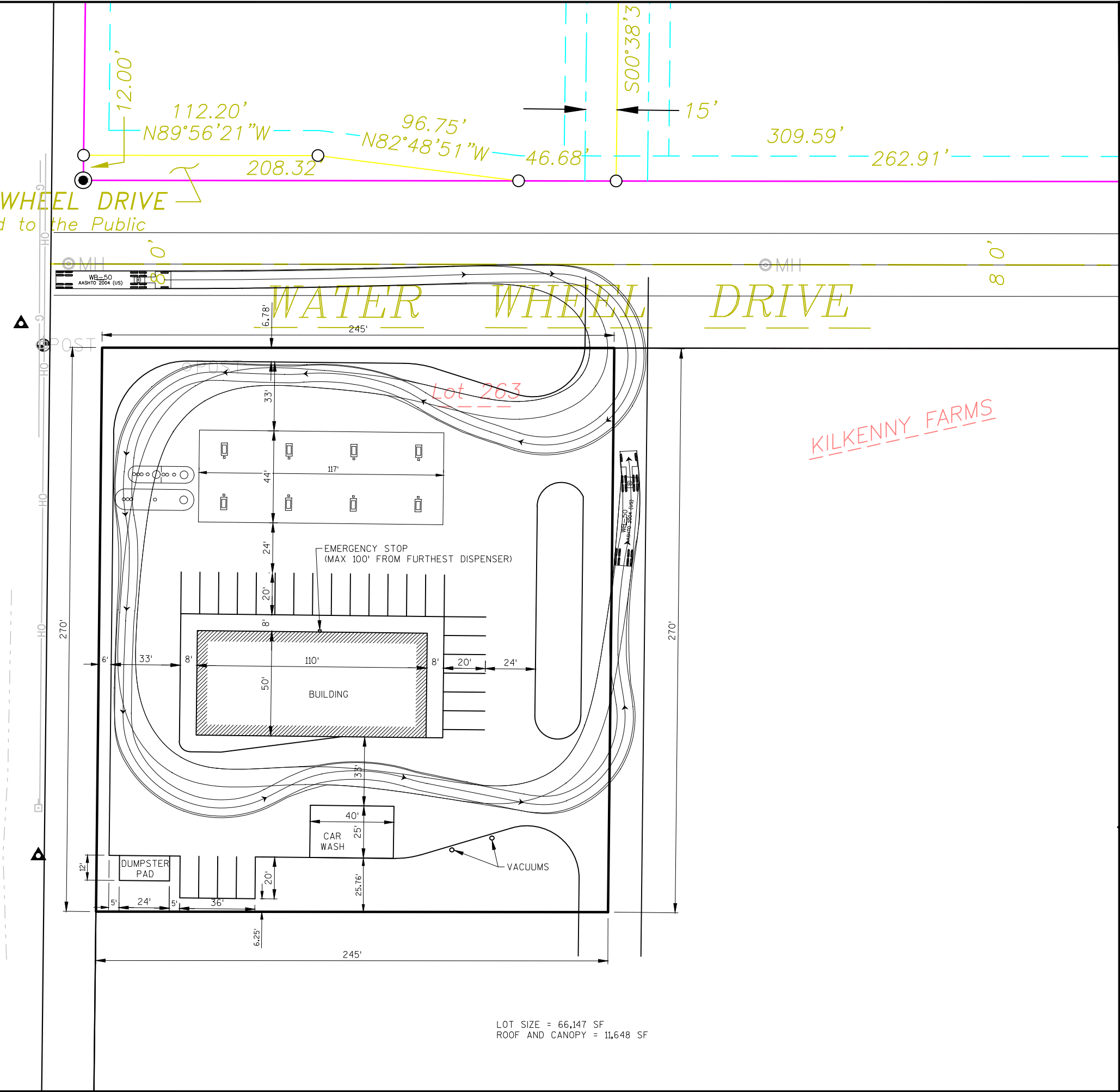


LOT SIZE = 66,147 SF
ROOF AND CANOPY = 11,648 SF



WATER WHEEL DRIVE
Dedicated to the Public

COLUMBIA



LOT SIZE = 66,147 SF
ROOF AND CANOPY = 11,648 SF

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Engineers - Architects - Surveyors

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Spring Green, WI 53588
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Meffert Oil
Village of Waunakee
Dane County, Wisconsin

Date	Revised
5-23-16	

Drawing Name
**Preliminary
Lot Layout**

Sheet No.
Project Number

ITEM #2.

ITEM #3.



STH 19 Billboard



DISCLAIMER: The Village of Waunakee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

SCALE: 1" = 470'

**VILLAGE OF
WAUNAKEE**

500 W. Main St
Waunakee, WI 53597
(608) 850-8500

Print Date: 8/1/2016

*Compilation of Plan Content from existing adopted plans relevant to
ECONOMIC PROSPERITY*

July 7, 2016

JPA COMP PLAN (2003)

Goals and Objectives

6. The primary "economic development zone" in terms of new nonretail business expansion is the area between Highway 19/113 and Arboretum Drive west of Highway 1 13. This area should be reserved for planned business park development.

7. Both residential and commercial development should be master planned, so that the future use and development of entire ownership parcels is taken into consideration, rather than piece-meal creation of individual lots.

Commented [JV1]: Also addressed in Land Use and Community Design

Commented [JV2]: Move to Land Use and Community Design

WAUNAKEE COMP PLAN (2003)

REGIONAL

1.C.5. Regional Economic Development Goals and Objectives

1.C.5.1. Promote the development of balanced communities with sufficient commercial, office, and industrial sites to meet the needs of existing and future residents.

1.C.5.2. Maintain healthy and economically viable downtown business districts in Middleton and Waunakee that reflect a "small town" atmosphere.

1.C.5.3. Attract businesses and industries that are compatible with the character of the communities and do not adversely impact the environment.

Regional Economic Development Policies and Programs:

1.C.5.a. Encourage the location of industries and non-retail businesses within planned business parks.

1.C.5.b. Maintain an inventory of fully serviced lots in business parks that will enable the North Mendota Communities to attract high quality businesses.

1.C.5.c. Offer a variety of types of business park and commercial park settings.

1.C.5.d. Continue to promote programs to enhance the downtown business districts through the use of design guidelines, preservation of historic structures, streetscape enhancements, and programs that promote locally-owned specialty businesses.

1.C.5.e. Encourage the development of smaller neighborhood-oriented businesses within walking distance of surrounding residences.

1.C.5.f. Adopt strong "green building" standards to require commercial and industrial developers to implement the most recent innovations in building design and landscaping to protect the environment.

1.C.5.g. Control the development of unplanned commercial strips along arterial entrances to communities.

1.C.5.h. Implement land use controls at the potential locations of interchanges and access points to the future North Mendota Parkway in order to prevent unplanned commercial development at these key locations.

1.C.5.i. Discourage "big box" retailers that would have the effect of undermining existing business districts. This policy should not eliminate the potential for "big box" retailers, but would rather control their location and character.

Commented [JV3]: Move to Land Use and Community Design

Commented [JV4]: This is covered by other, similar language

Commented [JV5]: Included in a revised form, more specific wording

Commented [JV6]: Move to Land Use and Community Design

Commented [JV7]: Covered in Ag/Nat/Cult resources and Land Use

Commented [JV8]: This part is not repeated in the "local" policies. I OMITTED it.

LOCAL

Goals and objectives

7.B.1. Maintain a balanced community with a mixture of residential, commercial, office, and industrial development.

7.B.2. Attract higher value businesses and industries that create well-paying jobs, contribute substantially to the tax base, and are stable businesses that will be in the community for a long period.

Commented [JV9]: Move to Land Use and Community Design

Commented [JV10]: Higher value than what? I OMITTED it.

Commented [JV11]: I revised this to "stable, sustainable"

ITEM #4.

Compilation of Plan Content from existing adopted plans relevant to ECONOMIC PROSPERITY

7.B.3. Develop downtown Waunakee as a specialty retail and service district following the models established by communities such as New Glarus, Cedarburg, and Mount Horeb.

Commented [JV12]: I OMITTED the reference to specific communities.

7.B.4. Maintain the visual attractiveness of commercial districts and corridors in Waunakee.

7.B.5. Attract “clean” businesses and industries that will not have adverse environmental impacts or be incompatible with the character and quality of the community.

7.B.6. Relocate the remaining industrial uses in downtown Waunakee to sites in the business park.

7.B.7. Reserve areas for future business park development on the east side of the Village.

7.B.8. Maintain an inventory of high quality business sites that are suitable for a range of different types of businesses including light manufacturing, distribution, professional offices, and corporate offices.

Central Business District Policies and programs

7.B.a Provide guidelines and incentives for the redevelopment of unused and underutilized sites in the Central Business District.

7.B.b Install streetscape enhancements that will help create an identity and unifying theme for Historic Downtown Waunakee.

7.B.c Support reinvestments and improvements in Village Mall, Piggly-Wiggly, and other businesses in the West Central Business District.

Commented [JV13]: OMITTED per discussion with staff

7.B.d Redesign the circulation and parking patterns in downtown Waunakee to provide better access to businesses from secondary streets and relieve traffic pressures on Main Street.

7.B.e Develop a “Village Square” in the vicinity of the Depot that will serve as a central landmark and symbol of Waunakee’s historic traditions.

7.B.f Encourage shared-use of parking facilities between uses with complimentary peak use periods.

7.B.g Provide access and visibility to the Six Mile Creek corridor from downtown. Link downtown business district to future trails in the Six Mile Creek corridor.

7.B.h Provide incentives and assistance to relocate existing industries and uses incompatible with downtown revitalization plans to sites within business parks.

7.B.i Maintain the residential character of the remaining residential buildings on Main Street between Division Street and Century Avenue. Although the use of some of these buildings may convert to shops, offices, and other specialty businesses, their appearance should remain the same. These blocks are referred to as “transition zones” on Figure 7.1.

7.B.j Preserve the viability of the rail corridor as a potential future transit corridor.

Business and Industrial Park Policies and programs

7.B.k Promote the development of master-planned business parks with well-designed circulation and drainage systems and protective covenants to assure quality buildings and sites.

7.B.l Develop the Ballweg property on the east side of the Village, in coordination with a private developer, as the next major expansion of the Waunakee Business Park.

Commented [JV14]: OMITTED – already developed.

7.B.m Continue to promote and support the Arboretum Office Park on the east side as a more specialized business park with smaller buildings and office-orientation. The Arboretum Office Park serves as a transition use district between larger businesses and industries located in the Waunakee Business Park to the north and residential uses south of Arboretum Drive.

7.B.n Provide Village assistance through Tax Incremental Financing (TIF) for the provision of public infrastructure in planned business parks.

7.B.o Create sites within business parks for the potential relocation of businesses and industries located in either the Downtown or elsewhere in the community where they are incompatible with adjoining land uses or redevelopments.

7.B.p Provide a variety of lot types and sizes within business parks to provide a range of potential sites for new or relocated businesses.

Commented [JV15]: There is similar language to this already in the draft.

*Compilation of Plan Content from existing adopted plans relevant to
ECONOMIC PROSPERITY*

- 7.B.q Incorporate regional stormwater management facilities into business parks at the time they are initially developed.
- 7.B.r Create attractive entrances and amenities within business parks that will help promote the parks to higher value businesses.
- 7.B.s Develop pedestrian and bicycle circulation systems within business parks.
- 7.B.t Reserve the area on the east side of Waunakee eastward to Highway 113 for future business park expansion. At some point in the future, the Highway 19/113 interchange is likely to be the primary entrance into the community. Premier sites in this area should be reserved for future economic development.

Arterial Corridor Policies and Programs

- 7.B.u Protect the aesthetic quality of the key arterial entrances into Waunakee by requiring a landscaped buffer strip parallel to the highway rights-of-way.
- 7.B.v Discourage expansion of "big box" retail businesses that would undermine efforts to revitalize Downtown Waunakee.
- 7.B.w Discourage commercial development along Century Avenue (CTH Q) south of Woodland Drive. This corridor is to be protected from commercial development as a "separation zone" between Waunakee and Middleton.
- 7.B.x Prohibit off-site signage, including all billboards, on all arterial highway entrances into Waunakee.
- 7.B.y Limit commercial driveway access onto CTH Q and Highways 19 and 113; where feasible use shared driveways, frontage drives, and access from side streets.

Commented [JV16]: Moved to Land Use and Community Design

Commented [JV17]: OMITTED
No longer relevant. Should the updated plan identify a different edge for the next 20 years? The current edge as recently approved for development?

Commented [JV18]: Move to Land Use and Community Design

Commented [JV19]: Move to Land Use and Community Design

WESTPORT COMP PLAN (2003)

REGIONAL

Goals:

- a. Promote the development of balanced communities with sufficient commercial, industrial, residential and open spaces to meet the needs of existing and future residents.
- b. Maintain healthy and economically viable downtown business districts in Middleton and Waunakee that reflect a "small town" atmosphere.
- c. Attract businesses and industries that are compatible with the character of the communities and do not adversely impact the environment.

Objectives and Policies:

- a. Encourage the location of industries within planned business parks.
- b. Maintain an inventory of fully serviced lots in business parks that will enable the North Mendota Communities to attract high quality businesses.
- c. Offer a variety of types of business park and commercial park settings.
- d. Continue to promote programs to enhance the downtown business districts through design guidelines, preservation of historic structures, streetscape enhancements, and programs that promote locally-owned specialty businesses.
- e. Encourage the development of smaller neighborhood-oriented businesses within walking distance of surrounding residences.
- f. Adopt strong "green building" standards to require commercial and industrial developers to implement the most recent innovations in building design and landscaping to protect the environment.
- g. Control the development of unplanned commercial strips along arterial entrances to communities.
- h. Implement land use controls at the potential locations of interchanges and access points to the future North Mendota Parkway in order to prevent unplanned commercial development at these key locations.

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i. Discourage "big box" retailers that would have the effect of undermining existing business districts. This policy should not eliminate the potential for "big box" retailers, but would rather control their location and character.

Commented [JV20]: All identical to content in Village plan and previously addressed.

LOCAL

Goal 1

Prohibit the location of any commercial or industrial uses outside the Town Center as defined by this comprehensive land use plan.

Objectives and policies

- Utilize zoning controls to evaluate the location and scale of commercial development proposals for the Town of Westport within the Town Center.
- Identify the potential use of any environmentally contaminated sites for development within the Town Center.
- Allow commercial uses whose primary market area is that of the Town of Westport and its residents to locate in the Town Center if it is compatible with the other goals, objectives, and policies of this plan.
- Site new commercial or industrial development in the Town Center only if it is compatible with the other goals, objectives, and policies of this plan.

Commented [JV21]: 1. Revised as "Non-farm commercial and industrial uses..."

Commented [JV22]: We will have a blanket statement in land use about using zoning to implement the plan

Commented [JV23]: Moved to land use

Goal 2

Prohibit any commercial and industrial uses that are not compatible with the rural character of the Town.

Objectives and policies

- Prohibit environmentally threatening industry and other high intensity uses from locating in the Town.
- Prohibit the siting of any new development in a manner that is incompatible with existing neighboring uses.
- Identify criteria that would define acceptable commercial or industrial uses.
- Permit commercial and industrial uses only in areas as designated on the proposed land use map.
- Consider limited commercial uses proposed in agricultural areas on a case-by case basis.
- Prohibit any commercial use that would be incompatible with neighboring uses, especially rural residences and farming operations. Incompatible uses may exhibit one or more of the following characteristics:
 - Excessive noise, light, traffic, or odor.
 - Dissimilar architecture, signage needs or other appearances.
 - Requires an excessive employees or generates significant customers from outside the Town of Westport or immediate area.
 - Requires exceptional levels of public improvements or services.
 - Lack of appropriate area for setbacks or screening between neighboring buildings, parcels and other land uses.
- Prohibit the siting of any commercial use on prime agricultural land.
- Commercial use in agricultural areas should have a relation to agriculture in some way.
- Promote the stabilization, retention, and controlled expansion of the local and regional economic base in a manner consistent with this comprehensive land use plan.
- Encourage regional or commercial development to locate within existing urban service areas of the Village of Waunakee, the City of Madison, or the City of Middleton.

Commented [JV24]: I revised these: "The Westport Town Center will develop further with retail, service, office and industrial businesses." And: "Utilize this plan, particularly the Land Use and Community Design chapter, to guide the location and design of new commercial and industrial uses in the Town Center."

*Compilation of Plan Content from existing adopted plans relevant to
ECONOMIC PROSPERITY*

- Prohibit any use that generates excessive traffic, does not create good paying jobs for local residents, uses dangerous or potentially hazardous types of processes, requires large amounts of raw material, generates significant amounts of waste products, utilizes or requires hazardous materials, generates excessive noise, or has the potential to negatively impact the natural and agricultural resources of the Town of Westport.

Commented [JV25]: All this to be addressed in land use

ITEM #4.

Compilation of Plan Content from existing adopted plans relevant to HOUSING

July 7, 2016

JPA COMP PLAN (2003)

Goals and Objectives

No goals, objectives or policies specific to housing.

WAUNAKEE COMP PLAN (2003)

REGIONAL

Regional Housing Goals and Objectives

1.C.1.1. Provide a range of housing opportunities that meets the needs of persons of all income levels and age groups and persons.

1.C.1.2. Provide housing for individuals and households with special housing needs.

1.C.1.3. Maintain quality neighborhoods that offer residents of the North Mendota Communities a high quality of life.

1.C.1.4. Discourage housing that contributes to patterns of urban sprawl. Regional Housing Policies and Programs

1.C.1.a. Encourage housing developers to integrate different types of housing and housing at different levels of affordability into their residential subdivisions and other housing developments.

1.C.1.b. Preserve and rehabilitate existing stock of affordable housing.

1.C.1.c. Encourage neighborhood design that promotes social interaction and pedestrian access.

1.C.1.d. Encourage the location of housing in areas that are readily accessible to schools, parks, and neighborhood business districts.

1.C.1.e. In rural areas, utilize "Conservation Subdivision" principles to maintain the rural character of the countryside and preserve open space.

1.C.1.f. Encourage Traditional Neighborhood Developments (TND's) that foster a sense of neighborhood and community.

1.C.1.g. Link the approval of new housing developments to the availability of infrastructure (including streets, schools, and utilities) to serve the housing.

1.C.1.h. Discourage non-farm housing on prime farmlands outside existing communities.

Commented [JV1]: Covered by "Neighborhoods will be safe, attractive and distinctive" and associated objectives and policies

Commented [JV2]: Move to Land Use and Community Design

Commented [JV3]: Move to Land Use and Community Design

Commented [JV4]: Addressed in Ag/Nat/Cult/Hist Resources

LOCAL

Goals and objectives

3.B.1. Develop and maintain high quality residential neighborhoods that are safe, attractive, and instill pride and a sense of identity and place in residents.

3.B.2. Provide a diversity of housing opportunities that enables households with different needs and income levels to find housing in Waunakee.

3.B.3. Coordinate the timing of subdivision creation and housing development so that there is a balance between the market demand for housing and the supply of available housing in the Village.

3.B.4. Assure that housing development in the Village does not outpace the capacity of public services, including streets and the public school system.

3.B.5. Encourage owner occupancy.

Commented [JV5]: OMITTED
Pending discussion. Owner occupancy is a means to an end (stable, attractive, safe neighborhoods), not an end itself. Owner occupancy is now very high in the Village.

Compilation of Plan Content from existing adopted plans relevant to
HOUSING

Policies and programs

- 3.B.1. Require subdividers and developers to master plan residential developments so that there is adequate access, drainage, park and recreation facilities, and amenities available to residents at the time of development
- 3.B.b. Encourage subdividers and developers to provide a range of housing types within larger developments.
- 3.B.c. Locate housing development in areas where utilities and public facilities and services are available.
- 3.B.d. Require all subdividers and developers to phase the construction of new housing so that public infrastructure can keep pace with increased demand.
- 3.B.e. Require subdividers and developers to pay for or finance all on-site improvements and contribute proportionately to off-site improvements, such as street improvements and regional stormwater facilities.
- 3.B.f. Maintain and rehabilitate older housing stock, particularly in the central portion of the Village.
- 3.B.g. Require infill residential development to be compatible with the scale and character of the existing neighborhood.
- 3.B.h. Encourage senior housing in the community so that life-long residents of the Waunakee area have opportunities to remain in the community.
- 3.B.i. Encourage subdividers and developers to consider Traditional Neighborhood Developments (TND) that utilize smaller lots, include mixed-uses, foster pedestrian use, and promote neighborhood interaction.
- 3.B.j. Encourage the use of cluster or conservation subdivisions in rural areas and in areas where there are environmentally-sensitive lands that should be protected.
- 3.B.k. Adopt regulations that maintain the average number of additional dwelling units approved at no more than 126 dwelling units per calendar year, which has been the average annual dwelling unit increase over the past decade.
- 3.B.l. Maintain regulations that require new developments maintain a ratio of 75 percent owner-occupancy and 25 percent rental occupancy. Redevelopment projects and senior housing projects are exempt from this policy.
- 3.B.m. Maintain the inventory of approved residential development lots and dwelling units at no more than a 9-year supply, which represents approximately the current supply of approved dwelling units and units for which petitions have been submitted, but are pending approval.

Commented [JV6]: Moved to Land Use and Community Design

Commented [JV7]: Included, but revised.

Commented [JV8]: Included, but with a refocus on unit type rather than ownership? Owner occupancy is tough to regulate.

Commented [JV9]: This portion OMITTED.

WESTPORT COMP PLAN (2004)

REGIONAL

Goals:

- a. Provide a range of housing opportunities that meets the needs of persons of all income levels and age groups and persons with special needs.
- b. Maintain high quality neighborhoods that offer residents of the North Mendota Communities a high quality of life.

ITEM #4.

Compilation of Plan Content from existing adopted plans relevant to HOUSING

c. Discourage housing that contributes to patterns of urban sprawl

Objectives and Policies:

a. Encourage housing developers to integrate different types of housing and housing at different levels of affordability into their residential subdivisions and other housing developments.

b. Preserve and rehabilitate existing stock of affordable housing.

c. Encourage neighborhood design that promotes social interaction and pedestrian access.

d. Encourage the location of housing in areas that are readily accessible to schools, parks, and neighborhood business districts.

e. In rural areas, utilize "conservation subdivision" principles to maintain the rural character of the countryside and preserve open space.

f. Encourage Traditional Neighborhood Developments (IND's) that foster a sense of neighborhood and community.

g. Link the approval of new housing developments to the availability of infrastructure (including streets, schools, and utilities) to serve the housing.

h. Discourage non-farm housing on prime farmlands outside existing communities.

Commented [JV10]: This belongs in Land Use and Community Design

Commented [JV11]: This belongs in Land Use and Community Design

Commented [JV12]: Duplicate - Addressed in Ag/Nat/Cult/Hist Resources

LOCAL

Goal 1

Preserve the existing high quality and variety of housing stock.

Objectives and policies

- Enforce Town ordinances on property maintenance.
- Enforce the local housing code.
- Encourage residents to maintain or rehabilitate the existing housing stock as necessary.
- Maintain a range of housing choices that meet the needs of current residents.

Commented [JV13]: OMITTED

Goal 2

Impose restrictions on new housing development in the Town of Westport.

Objectives and policies

- Encourage appropriate types of development in areas designated by the comprehensive plan and applicable zoning ordinances.
- Maintain the viability of agricultural land uses by preventing the division <.If parcels that are designated as A-1 Exclusive Agricultural zoning, strictly limiting housing development in these areas (see agricultural uses on the Proposed Land Use Map).
 - Farm-related residential rezones/land divisions in agricultural areas will be considered on a case-by-case basis.
 - Any land division proposed under this exemption must deed restrict the remainder of the original parcel to be permanently maintained as an agricultural land use that cannot be developed.
 - Any land division proposed under this exemption should be located in non-prime agricultural areas.
- Limit land divisions to R -1 zoned parcels that do not change the integrity of the surrounding neighborhood. (see single family residential uses on the Proposed Land Use Map)
- Consider housing development for **current residents** of the Town of Westport in nonagricultural areas (i.e. the Town Center) (see town center designation boundary on the proposed land use map).

Commented [JV14]: OMITTED
The restrictions will be the future land use map and related policies.

Commented [JV15]: OMITTED
Not really necessary. All it says is "follow this plan and adopted ordinances"

Commented [JV16]: This is already in the Ag resources section and Land Use and Community Design. It doesn't need to be here too.

Commented [JV17]: Belongs in Land Use and Community Design.

Commented [JV18]: Belongs in Land Use and Community Design.
The "current residents" language will be dropped. The point of this is preserving farmland for farming, and directing housing to other areas.

Compilation of Plan Content from existing adopted plans relevant to
HOUSING

- Consider the development or redevelopment of low-income and moderate-income housing in designated areas of the comprehensive land use plan based on demand, land availability and compatibility with the surrounding neighborhood.
- Monitor the residential development trends within and around the Town of Westport on a regular basis. *(This applies to residential/and uses, the Town Center, and the use of agricultural splits in agricultural areas.)*
- Maintain accurate and current records to track the numbers and types of residential units being constructed on an annual basis. *(This applies to residential/and uses, the Town Center, and the use of agricultural splits in agricultural areas.)*
- Require that all new residential developments be subject to the Town's design review process. *(This applies to residential/and uses and the Town Center.)*
- Prohibit the division of substandard parcels or non-conforming parcels (e.g. parcels less than 35 acres and created prior to the Town's adoption of Exclusive Agricultural Zoning). Such parcels, if vacant, may be rezoned to an appropriate zoning district consistent with this comprehensive plan, or to permit one dwelling unit in agricultural areas.

Commented [JV19]: Included, in a revised form.

Commented [JV20]: OMITTED
I suggest you set your plan and use it to evaluate what the market brings to you.

Commented [JV21]: Moved to Land Use and Community Design

ITEM #4.

Draft plan content for the HOUSING section

DRAFT July 7, 2016

About This Shared Plan

This is a joint plan adopted by both the Village of Waunakee and the Town of Westport. Both communities will utilize this plan to guide private development and public projects and funding. Most of the goals, objectives, policies and programs are relevant and appropriate in both jurisdictions. Any items specific to only one jurisdiction are explicitly identified. Shared Village/Town policies that pertain to rural areas apply to all of the Town of Westport, and also to portions of other Towns in which the Village has extraterritorial interests and authority, including the Towns of Springfield, Dane and Vienna.

Goals and objectives are presented here as desired outcomes; objectives are added under a goal only when there is the need to describe multiple desired outcomes not adequately captured in the goal statement. Policies and programs include both actions and policy rules – they are the methods proposed to achieve the goals and objectives.

HOUSING

Goal 1 – Households and individuals with different needs and income levels will be able to find housing in the Waunakee/Westport community

Objective 1.1 – At least a portion of new units in any new residential construction will incorporate “inclusive design” techniques that make them accessible to older residents and residents with disabilities.

Objective 1.2 – There will be a range of unit sizes and price points in most neighborhoods

Commented [JV1]: My language to encapsulate a bunch of related policies in the various plans.

Shared Policies and Programs

1. Encourage housing developers to integrate different housing types and levels of affordability, especially within larger developments. This could include smaller, more affordable units accessible to first-time homebuyers.
2. Preserve and rehabilitate existing stock of affordable housing.
3. Allow the development of low-income and moderate-income housing units when integrated appropriately with the surrounding neighborhood. Avoid concentrating such units in one location and avoid isolating such units from other housing.

Commented [JV2]: My addition, reflecting community survey results about housing needs.

Commented [JV3]: This had been:
•Consider the development or redevelopment of low-income and moderate-income housing in designated areas of the comprehensive land use plan based on demand, land availability and compatibility with the surrounding neighborhood.

Village Policies and Programs

1. Encourage senior housing in the community so that life-long residents of the Waunakee area have opportunities to remain in the community.

Town Policies and Programs

1. Maintain a range of housing choices in the Town.

Goal 2 – Neighborhoods will be safe, attractive and distinctive

Objective 2.1 – Neighborhoods will be designed to foster social interaction and bike pedestrian access

Commented [JV4]: This word replaces “instill pride and a sense of identity and place in residents”

Village Policies and Programs

Draft plan content for the HOUSING section

1. Encourage subdividers and developers to consider Traditional Neighborhood Developments (TND) that utilize smaller lots, include mixed-uses, foster pedestrian use, and promote neighborhood interaction.
2. Require subdividers and developers to master plan residential developments so that there is adequate access, drainage, park and recreation facilities, and amenities available to residents at the time of development
3. Encourage the location of housing in areas that are readily accessible to schools, parks, and neighborhood business districts.
4. Work with developers proposing infill residential development, and adjacent residents, to ensure compatibility with the existing neighborhood. Compatibility is determined case-by-case and includes consideration of architectural design strategies to blend larger structures with existing homes.
5. Maintain regulations that require new developments maintain a ratio of 75 percent detached, single family units and 25 percent attached units. Redevelopment projects and senior housing projects are exempt from this policy.

Commented [JV5]: The revised version of "Require infill residential development to be compatible with the scale and character of the existing neighborhood."

Commented [JV6]: Revised from "75 percent owner-occupancy and 25 percent rental occupancy." To reflect actual Village practices.

Town Policies and Programs

1. Require that all new residential developments be subject to the Town's design review process.

Goal 3 – New housing development will be timed and phased to coordinate with market demand and public services capacity

Shared Policies and Programs

1. Locate housing development in areas where utilities and public facilities and services are available.

Village Policies and Programs

1. Require all subdividers and developers to phase the construction of new housing so that public infrastructure can keep pace with increased demand.
2. Require subdividers and developers to pay for or finance all on-site improvements and contribute proportionately to off-site improvements, such as street improvements and regional stormwater facilities.
3. Maintain the average number of additional single-family detached dwelling units approved at no more than 125 dwelling units per calendar year.
4. Maintain the inventory of approved residential development lots and dwelling units to provide at least a 3-year supply and no more than a 9-year supply.

Commented [JV7]: This had been "Adopt regulations that maintain the average number of additional dwelling units approved at no more than 126 dwelling units per calendar year, which has been the average annual dwelling unit increase over the past decade."

Commented [JV8]: Added per staff discussion

Town Policies and Programs

1. Maintain accurate and current records to track the numbers and types of residential units being constructed on an annual basis.

ITEM #4.

Draft plan content for the HOUSING section

Goal 4 – Existing housing will be maintained to ensure safety, quality and energy efficiency.

Village Policies and Programs

1. Explore development of a housing rehabilitation program to help property owners maintain and rehabilitate older housing stock, particularly in the central portion of the Village.

Commented [JV9]: I added this to suggest how the rest might occur.

Town Policies and Programs

1. Enforce Town ordinances on property maintenance.
2. Enforce the local housing code.
3. Encourage residents to maintain or rehabilitate the existing housing stock as necessary.