



**VILLAGE OF WAUNAKEE/TOWN OF WESTPORT
JOINT PLAN COMMISSION
5387 MARY LAKE RD, WESTPORT
July 12, 2016 - 6:00 PM**

**Agendas may change prior to the commencement of the meeting.
Please check the posting board at the Village Hall, 500 W. Main Street,
Waunakee, Wisconsin for the current agenda.**

AGENDA

CALL TO ORDER

**ROLL CALL: Ken Sipsma, John Van Dinter, Eileen Bruskewitz, Pat McGowan, Mark McGuire,
Brad Zeman**

MINUTES

1. June 14, 2016

PUBLIC COMMENT

NEW BUSINESS

1. Public Hearing & Discussion/Action on a Conditional Use Permit, Shed Exceeding Allowable Square Footage, 5570 River Road, Town of Westport
2. Discussion/Recommendation Kilkenny Farms Lot 266 Certified Survey Map, Village of Waunakee
3. Discussion/Action on At Home Again, Site Plan/SIP, Lot 266, Kilkenny Farms, Village of Waunakee

ADJOURN

Any person who has a qualifying disability as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format should contact the municipal clerk at (608) 850-8500, 500 West Main Street, Waunakee, Wisconsin, at least twenty-four hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

**VILLAGE OF WAUNAKEE BOARD AND PLAN COMMISSION MEETING
TOWN OF WESTPORT BOARD AND PLAN COMMISSION MEETING**

Notice is hereby given that the Village or Town Board or Village or Town Plan Commission may attend this meeting. No action will be taken by the Village or Town Board or Village or Town Plan Commission at this meeting.

Next scheduled meeting is August 9, 2016.

ITEM #1.



VILLAGE OF WAUNAKEE PLAN COMMISSION MINUTES

A regular meeting of the Waunakee Plan Commission was held Monday June 13, 2016, at the Waunakee Village Hall, 500 W. Main Street, Waunakee, WI.

CALL TO ORDER

Mr. Zellner called the meeting to order a 6:00 p.m.

ROLL CALL

Members Present: Chris Zellner, Steve Kraus, Gary Herzberg, Pat McGowan, Bill Pellino, Brad Zeman.

Members Absent: Mark McGuire

Also Present: Kevin Even, Tracy Meinholz, Bryan Kleinmaier, Ed Freer, Roberta Baumann, Sharon Regnier, Renee Furrer, Ryan Porter, MB Growney Selene, John R. Kramer, Roberta Baumann, Steve Doran, Chris Etmanczyk, Austen Conrad, Don Tierney, Jerry Tierney, Mike Lawton.

APPROVAL OF MINUTES

Motion Herzberg, second Kraus, to approve the minutes from the May 9, 2016 meeting. Motion carried.

PUBLIC COMMENT

None

NEW BUSINESS

Public Hearing & Discussion/Recommendation on Amendment to the General Development Plan, Kilkenny Farms Lot 263/264

The public hearing was opened at 6:03 p.m. Village Planner, Ed Freer, presented the proposed changes to the GDP. There was discussion of the timing and orientation of the proposed changes. The Village suggested a three year limit on building the "feature" building. Mr. Tierney stated that he doesn't want to be forced into a timeline that may produce an inferior product. The public hearing was closed at 6:23 p.m. After discussion, motion McGowan, second Zeman, to recommend that the Joint Plan Commission approve the amendment to the Kilkenny Farms GDP

with revised maps and language to include a 3 year limit with possibility of the granting of a 2 year extension if requested by the developer. Motion carried.

Public Hearing & Discussion/Recommendation on Amendment to Village Comprehensive Plan for Kilkenny Farms Lot 263/264 GDP

The public hearing was opened at 6:03 p.m. After discussion of timing and language adjustments to the GDP language, the public hearing was closed at 6:23 p.m. Motion McGowan, second Herzberg, to approve PC resolution 16-04 recommending approval of the comprehensive plan amendments. Motion carried.

Discussion/Action on Proposed Monument Signage for Village Crossing (Hovde), 114 E. Main Street

Motion Herzberg, second McGowan, to approve the eastern and parking lot signs, and reject the western sign due to location. Motion carried.

Discussion/Action on Site Plan, O'Reilly Auto Parts, 510 W. Main Street

The Mr. Doran presented the most current plans after working with staff over the last month. They have added sidewalk on Klein Drive, hatched a stall for cars to turn around at the north end of the parking lot, and agreed to resurface adjacent drive lanes. He also stated that signage will be submitted for approval at a later date and he's working with some issues with Waunakee Utilites. Motion McGowan, second Kraus, to approve the sight plan subject to all staff concerns resolved to the satisfaction of the Village Engineer. Motion carried.

Discussion/Action on Waunakee School District Sign, 6273 Woodland Drive, Town of Westport

After discussion, the commission members had no objections. No action necessary.

Comprehensive Plan Update

Mr. Even informed the members that in order to streamline the process staff has decided to meet individually with MSA then take the information to the committees for review and comments. He presented the draft plan relating to Agriculture and encouraged members to provide comments and concerns. Not formal action.

WAUNAKEE/WESTPORT JOINT PLAN COMMISSION REPORT/ITEMS FOR ACTION

Public Hearing & Discussion/Recommendation on Amendment to the General Development Plan, Kilkenny Farms Lot 263/264

Action taken earlier on the agenda.

ITEM #1.

Public Hearing & Discussion/Recommendation on Amendment to Village Comprehensive Plan for Kilkenny Farms Lot 263/264 GDP

Action taken earlier on the agenda.

Public Hearing & Discussion/Action on CSM & Rezone for Jay Williamson, 5770 STH 113, Town of Westport

No objections.

Discussion/Recommendation to the Waunakee Board of Appeals on a Request for Variance to the Maximum Allowable Square Footage for an Accessory Building, 5570 River Road, Waunakee/Westport ETZ

Defer to the Town.

Discussion/Action on Waunakee Intermediate School Sign, 6273 Woodland Drive, Town of Westport

No objections.

Discussion/Action on Changing Regular Meeting Date to the Tuesday after the Second Monday of the Month to Coordinate with the Village and Town Plan Commission Meetings Comprehensive Plan Update

No objections.

ADJOURN

Motion Herzberg, second Kraus, to adjourn the meeting at 7:21 p.m. Motion carried.

Submitted By: Tracy Meinholz, Recording Secretary Approved: _____



PLAN COMMISSION APPLICATION

PROJECT ADDRESS / NAME: 5570 River Rd Waumakee WI 53597 Garage Build

APPLICANT: <u>Jonathan D Schultz</u>	
ADDRESS: <u>5570 River Rd Waumakee WI 53597</u>	
PHONE: <u>608-513-8846</u>	EMAIL: <u>fourcylracer@yahoo.com</u>

OWNER: <u>Jonathan D Schultz</u>	
ADDRESS: <u>5570 River Rd Waumakee WI 53597</u>	
PHONE: <u>608-513-8846</u>	EMAIL: <u>fourcylracer@yahoo.com</u>

PROJECT DESCRIPTION: 40x40 Garage, stick built to match the house in finishings and colors 10ft side wall with a roof peak that is 20ft from ground level to point of the roof peak

OWNER/APPLICANT SIGNATURE: Jonathan D Schultz

DATE: 6/16/16

FEES: (CHECK ALL THAT APPLY)		ESCROW DEPOSIT:
• SITE PLAN	<input type="checkbox"/> \$320	An escrow deposit is required in accordance with the Development Application Agreement.
• REZONE	<input type="checkbox"/> \$345	
• CONDITIONAL USE PERMIT	<input checked="" type="checkbox"/> \$350	
• CERTIFIED SURVEY MAP	<input type="checkbox"/> \$100 + \$25 per lot	
• PRELIMINARY PLAT	<input type="checkbox"/> \$100 + \$50 per dwelling unit	
• FINAL PLAT	<input type="checkbox"/> \$100 + \$50 per dwelling unit	
• GDP/SIP APPROVAL	<input type="checkbox"/> \$475	ESCROW FEE PAID: _____
TOTAL: <u>Fee Waived</u>		DATE: _____
		FEE WAIVED BY: <u>KAE</u>

ITEM #1.



_____ Joint Planning Area

Extraterritorial Jurisdiction Area

- I. ADDRESS OF PROJECT: 5570 River Rd, Wannakee WI 53597
- TAX PARCEL NUMBER: _____
- SUBDIVISION OR CSM #, IF ANY: _____
- LOT #, IF ANY: _____

2. OWNER: Jonathan Schultz AGENT: _____
- ADDRESS: 5570 River Rd ADDRESS: _____
- Waukegan WI 53597
- PHONE: 608-513-8846 PHONE: _____
- EMAIL: fourcytracer@yahoo.com EMAIL: _____

- 3. TYPE OF PROJECT** (circle one): New Single Family New Duplex New Multi-Family
 New Commercial Addition Other

COST OF CONSTRUCTION: \$ 45K SQUARE FOOTAGE OF PROJECT: 2400
ZONING CLASSIFICATION: SR4 SETBACKS: FRONT 30' REAR 20'
LEFT 20' RIGHT 20'

4. **SITE PLAN, FLOOR PLANS & ELEVATIONS:** *A site plan must be drawn to scale showing the lot lines and lot dimensions, the location and size of all existing and proposed buildings or additions and their distances from lot lines. If the lot is not served by public sewer, the location and size of the on-site septic system and the location of the well shall be shown on the plan. A copy will be kept in Zoning Division Files. **Example of Site Plan, Floor Plans & Elevations attached.**

5. PUBLIC SEWER OR PRIVATE SEPTIC SYSTEM?

STATE SANITARY PERMIT NEEDED? Y/N

IF YES,

6. SHORELAND? Y/N FLOODPLAIN? Y/N WE

APPLICANT/AGENT SIGNATURE: Jonathan H. Lee

For Office Use Only:

ZONING ADMINISTRATOR: _____

FEE: _____ RECEIPT No: _____

ORIGINAL: WAUNAKEE

COPY: APPLICANT

COP

on Hold
Exceeds
800 ☐
w/ 5/26
SEC 106-1071(c)(4)

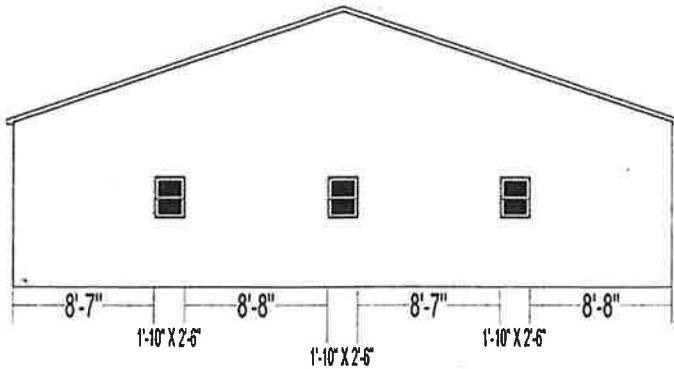
ITEM #1.

Estimate Id: 75092

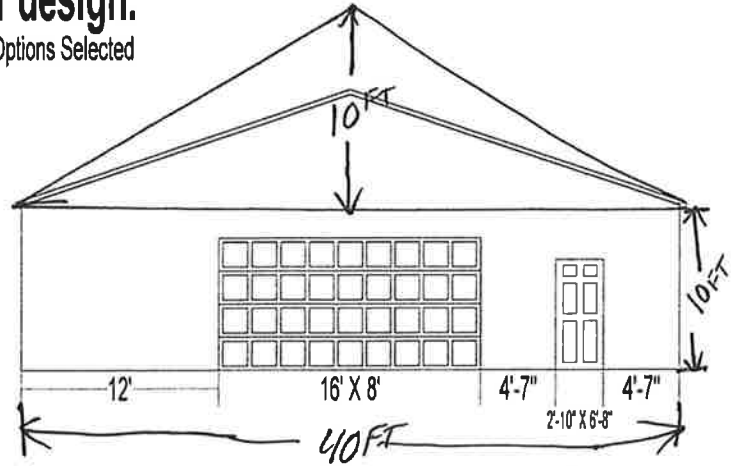


Page 2 of 3
5/15/2016

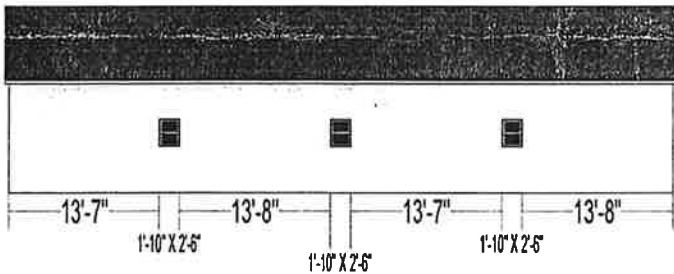
*** Here are the wall configurations for your design.
Illustration May Not Depict All Options Selected



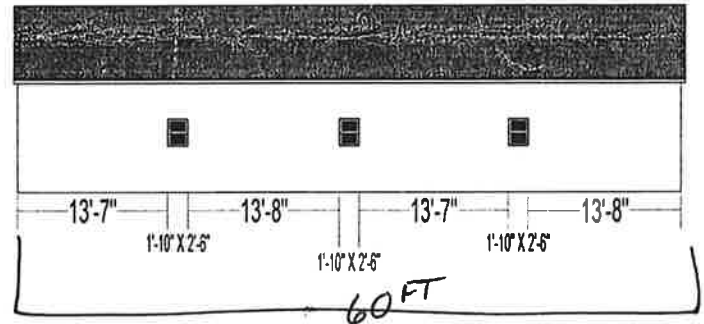
Gable Front View
(3) -



Gable Back View
(1) -
(1) -



Eave Front View
(3) -

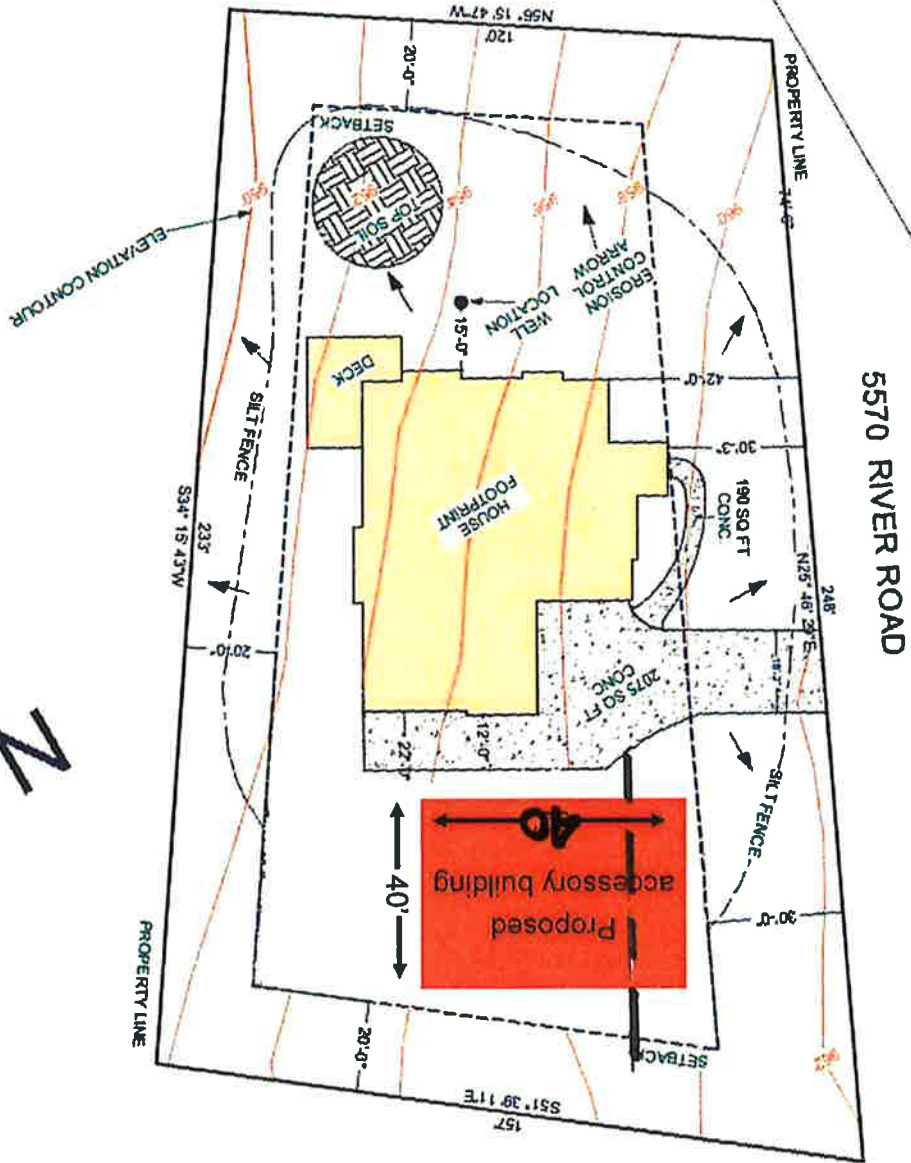
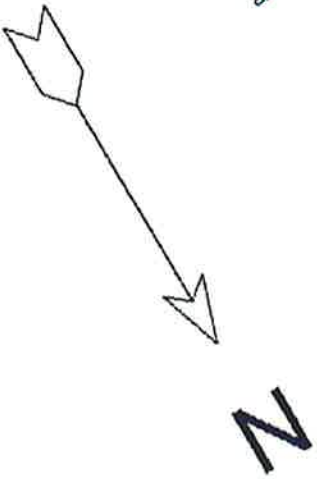


Eave Back View
(3) -

Building Size: 40 feet wide X 60 feet long X 10 feet high
Approximate Peak Height: 17 feet 3 inches (207 inches)

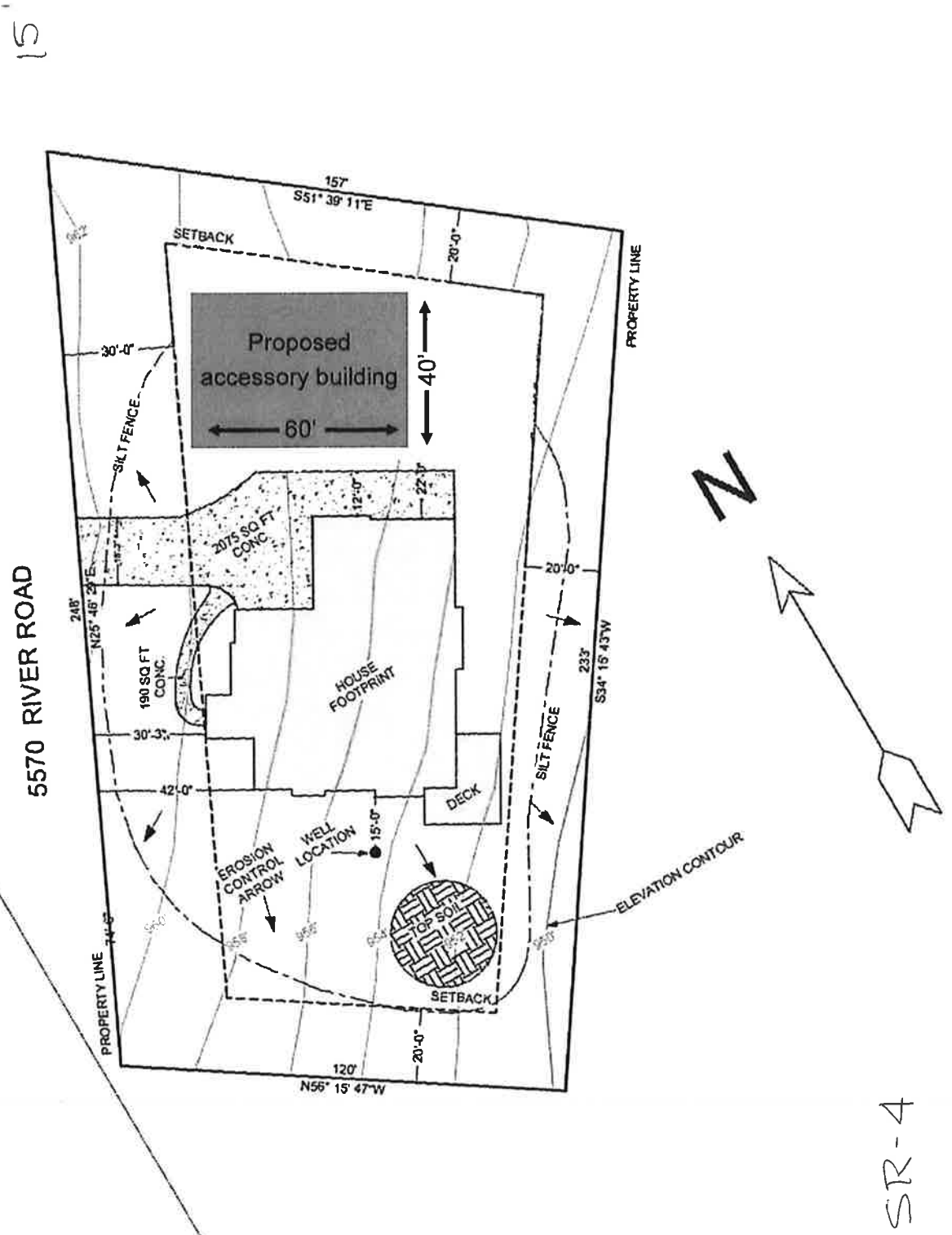
NOTE: Overhead doors may need to be "Wind Code Rated" depending on your building location.
Confirm the door requirements with your local zoning official before construction.

Menards-provided material estimates are intended as a general construction aid and have been calculated using typical construction methods. Because of the wide variability in codes and site restrictions, all final plans and material lists must be verified with your local zoning office. Menards is a supplier of construction materials and does not assume liability for design, engineering or the completeness of any material lists provided. Underground electrical, phone and gas lines should be located and marked before your building plans are finalized. Remember to use safety equipment including dust masks and sight and hearing protection during construction to ensure a positive building experience.



Per owner
Building
size changed
to 40x40
w/ 5/24

ITEM #1.





Village of Waunakee and Town of Westport
NOTICE OF PUBLIC HEARING
Joint Plan Commission (JPC)

NOTICE IS HEREBY GIVEN that the Joint Plan Commission of the Village of Waunakee and the Town of Westport will hold a public hearing on Tuesday, July 12, 2016 at 6:00 p.m. at the Kennedy Administration Building, Community Meeting Room, 5387 Mary Lake Road, Town of Westport, Wisconsin, for the purpose of receiving comments on:

A Request by Jonathon Schultz for a conditional use permit to construct an accessory building larger than the maximum allowable size per code at 5570 River Road, Town of Westport.

Any interested person or his/her agent will be heard at this Public Hearing.

Dated this 16th day of June, 2016

JULEE HELT
Village Clerk

TOM WILSON
Town Clerk

Published: The Waunakee Tribune, June 23 & 30, 2016.

ITEM #2.



Engineering and Planning Staff Memo

MEETING: Plan Commission July 11, 2016

AGENDA ITEM: DISCUSSION / ACTION ON CSM LOT 266 KILKENNY FARMS, RELATED TO THE AT HOME AGAIN SITE PLAN

SUMMARY: The attached CSM is creating 4 lots, one of which will be for the At Home Again assisted living facility.

ISSUES TO CONSIDER:

1. Developer to install private north/south roadway
2. Access to Peaceful Valley Parkway
 - a. The Engineers are comfortable with the access
 - b. The Fire Department is requesting this secondary access as well for the property

STAFF RECOMMENDATION: Staff recommends approval subject to all staff comments addressed to the satisfaction of the Village Engineer.

SUGGESTED MOTION: Motion to approve the certified survey map, subject to all staff comments addressed to the satisfaction of the Village Engineer.

ATTACHMENTS: CSM, Strand Comments

MORE INFORMATION:

Kevin Even 849-6276 keven@vil.waunakee.wi.us

BIRRENKOTT SURVEYING



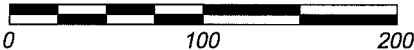
BIRRENKOTT SURVEYING INC.
1677 N. BRISTOL STREET
SUN PRAIRIE, WIS. 53590
608-837-7463

PREPARED FOR:
DON TIERNEY
3564 EGRE ROAD
DEFOREST, WI 53532
608-241-0102

L:\2011\110118-Tierney\Lot 266\160495-CSM

Curve Data

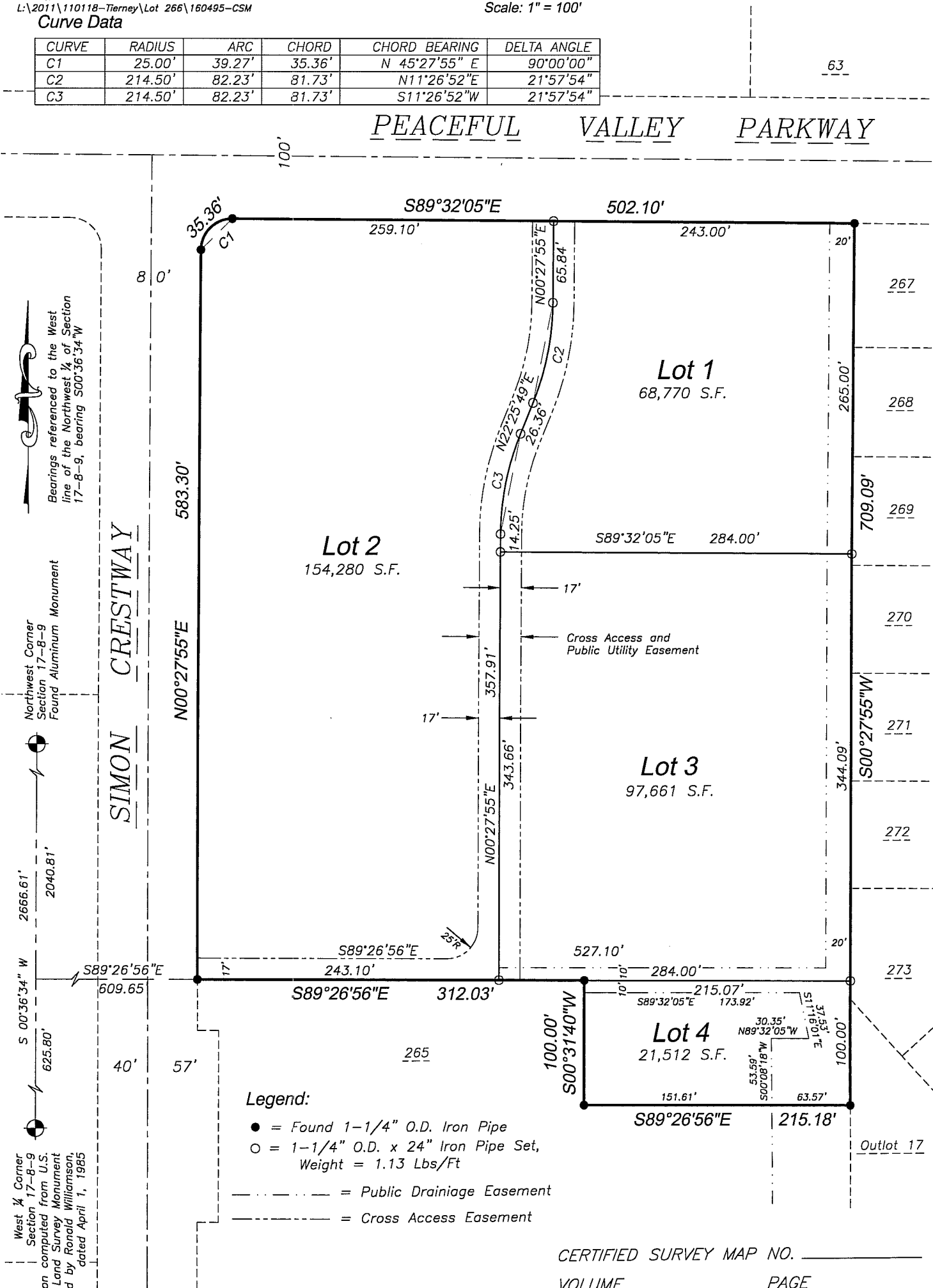
CURVE	RADIUS	ARC	CHORD	CHORD BEARING	DELTA ANGLE
C1	25.00'	39.27'	35.36'	N 45°27'55" E	90°00'00"
C2	214.50'	82.23'	81.73'	N11°26'52"E	21°57'54"
C3	214.50'	82.23'	81.73'	S11°26'52"W	21°57'54"



Scale: 1" = 100'

CERTIFIED SURVEY MAP

Lot 266, Kilkenny Farms, located in the Southwest 1/4 of the Northwest 1/4, Section 17, T8N, R9E, Village of Waunakee, Dane County, Wisconsin



Legend:

- = Found 1-1/4" O.D. Iron Pipe
- = 1-1/4" O.D. x 24" Iron Pipe Set, Weight = 1.13 Lbs/Ft
- = Public Drainage Easement
- - - = Cross Access Easement

CERTIFIED SURVEY MAP NO. _____

VOLUME _____ PAGE _____

DOCUMENT NO. _____

West 1/4 Corner
Section 17-8-9
Public Land Survey Monument
Record by Ronald Williamson,
dated April 1, 1985

Sheet 1 of 3

Office Map No. 160495

CERTIFIED SURVEY MAP DATED: JUNE 16, 2016



BIRRENKOTT
SURVEYING, INC.

P.O. Box 237
1677 N. Bristol Street
Sun Prairie, Wisconsin 53590
Phone (608) 837-7463
Fax (608) 837-1081

Mortgagee Certificate:

First Business Bank, mortgagee of certain of the lands described hereon, does hereby consent to the surveying, dividing, mapping and dedicating of the land described on this Certified Survey Map, and does hereby consent to the certificate of Kilkenny Farms, LLC, owner.

First Business Bank

Brian E. Hagen, Vice-President

State of Wisconsin)
Dane County) ss Personally came before me this _____ day of _____, 2016, the above-named Brian E. Hagen, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public My Commission Expires _____

Printed name

Surveyed For :
Donald and Joanne Tierney
3564 Egge Road
DeForest, Wis. 53532
837-0102

Surveyed: CKC
Drawn: MAP
Check: MAP
Approved: DVB
Field book:
Tape/File: J:\CARLSON Document No. _____

CERTIFIED SURVEY MAP DATED: JUNE 16



BIRRENKOTT
SURVEYING, INC.

P.O. Box 237
1677 N. Bristol Street
Sun Prairie, Wisconsin 53590
Phone (608) 837-7463
Fax (608) 837-1081

Surveyor's Certificate

I, Daniel V. Birrenkott, hereby certify that this survey is in full compliance with Chapter 236.34 of Wisconsin Statutes. I also certify that by the direction of the owners listed hereon, I have surveyed, divided and mapped the lands described hereon and that the map is a correct representation of all of the exterior boundaries of the land surveyed and division of that land, in accordance with the information provided.

Daniel V. Birrenkott, Registered Land Surveyor No. S-1531

Description:

Lot 266, Kilkenny Farms, located in the Southwest 1/4 of the Northwest 1/4, Section 17, T8N, R9E, Village of Waunakee, Dane County, Wisconsin; Containing 342,223 square feet, or 7.856 acres.

Owners Certificate:

As owner, Kilkenny Farms, LLC, does hereby certify that it has caused the lands described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as shown. It also certifies that this Certified Survey Map is required to be submitted to the Village of Waunakee as a required approving authority.

Kilkenny Farms, LLC

Donald C. Tierney, Member

State of Wisconsin)
Dane County) ss Personally came before me this _____ day of _____, 2016, the above-named Donald C. Tierney, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public My Commission Expires _____

Printed name

Village of Waunakee Approval Certificate:

Resolved, that this Certified Survey Map is hereby acknowledged and accepted by the Village of Waunakee and is approved for recording this _____ day of _____, 2016.

Julee R. Helt, Village of Waunakee clerk Dated _____

Notes:
Utility Easement: No poles or buried cables are to be placed on any lot line or corner. The disturbance of a survey stake by anyone is in violation of Section 236.32 of Wisconsin Statutes.
Wetlands if present have not been delineated.
This survey is subject to any and all easements and agreements both recorded and unrecorded.

Surveyed For :
Donald and Joanne Tierney
3564 Egge Road
DeForest, Wis. 53532
837-0102

Register of Deeds Certificate:
Received for recording this _____ day of _____, 20____
at _____ o'clock __ . m and recorded in Volume _____ of Certified Survey Maps
of Dane County on Pages _____ .

Kristi Chlebowski, Register of Deeds
Document No. _____

Surveyed: CKC
Drawn: MAP
Check: MAP
Approved: DVB
Field book:
Tape/File: J:\CARLSON

ITEM #2.

SET NO.	DATE	SCALE	AS SHOWN	NO.	DATE	REVISION	BY
501	JUNE 2018	DRAWN BY:	INIT				
502		CHECKED BY:	INIT				
PLOT DATE: 8/20/16, P:\8708\877008\0\Construction Documents\8708\877008 Lot 266.dwg							

MSA

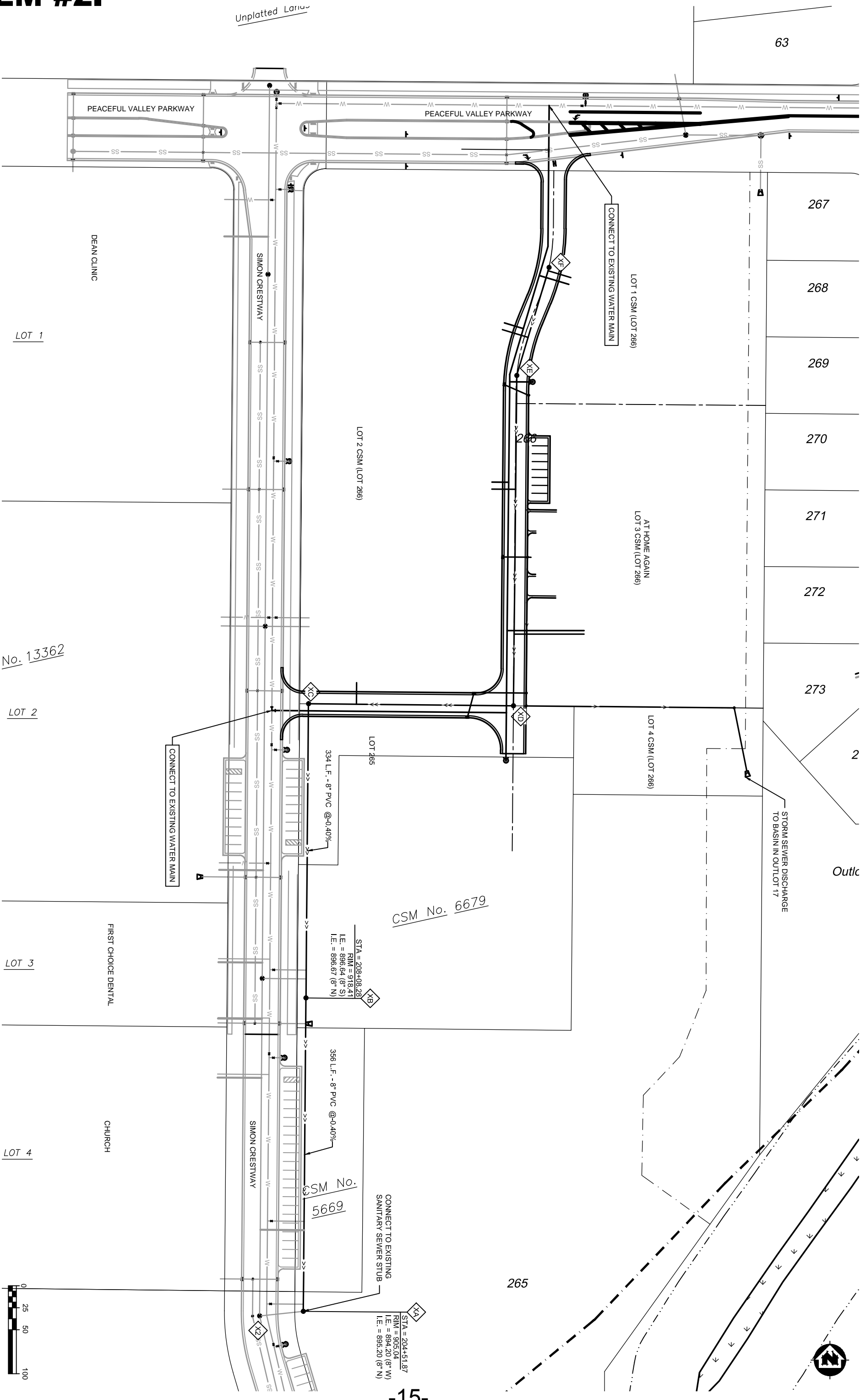
ARCHITECTURE | ENGINEERING | ENVIRONMENTAL
PLANNING | SURVEYING
15221 W. WISCONSIN AVE. SUITE 100
MILWAUKEE, WI 53227
(608) 356-2771 (800) 362-4505 Fax: (608) 356-2770
Web Address: www.msa-pe.com
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(608) 356-2771 (800) 362-4505 Fax: (608) 356-2770
Web Address: www.msa-pe.com
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OVERALL (LOT 266)

KILKENNY FARMS
DON TIERNEY / VILLAGE OF WAUNAKEE
DANE COUNTY, WISCONSIN

FILE NO.
00877008
SHEET
G1





To: Kevin Even
Tracy Meinholz
From: Randy Dorn
Dave Dresen
Tim Herlitzka
RE: Tech Staff Meeting Comments – Kilkenny Farms Lot 264
Date: April 1, 2016

This memo provides comments for the Kilkenny Farms Lot 264 submittal.

Easements

We request that the following changes be made to the attached draft Certified Survey Map regarding easements so that we can adequately install and maintain utility facilities.

ITEM #2.



Strand Associates, Inc.®

910 West Wingra Drive

Madison, WI 53715

(P) 608-251-4843

(F) 608-251-8655

DRAFT

July 1, 2016

Mr. Kevin Even, P.E.
Village of Waunakee
500 West Main Street
Waunakee, WI 53597

Re: Lot 266 Kilkenny Farms Commercial Plat
CSM, Access Drive and Utilities

Dear Kevin,

We received drawings for the construction of an access road and utilities to serve the resulting lots of a proposed subdivision of Lot 266 of subject plat. The lot is proposed to be divided into four smaller lots by a proposed Certified Survey Map (CSM). We have the following comments.

CSM

The CSM splits Lot 266 in to four lots. Three are larger, but Lot 4 is smaller than 1/2 acre. There also appears to be a sizable drainage easement area designated on Lot 4, possibly making the lot too small to support commercial or office use. Perhaps the applicant can comment on its intentions for this small lot.

There are also a few minor technical issues to address. First, the description of the West 1/4 Corner of Section 17 tie should be made the same as that shown on the Plat of Kilkenny Farms. Next, there is a typographical error in the legend to correct. Finally, the applicant should check the bearing on the new easement along the north line of Lot 4. Should it be S 89-26-56 E?

Utilities

Sewer and water service to the original Lot 266 was to be from Simon Crestway main. Because of the division of this lot into three viable lots, service to the proposed Lots 1 and 3 of this subdivision are proposed to be from new sewer and water mains to be installed in a cross access and public utility easement. We agree that these 8-inch mains are necessary for proper service to the two lots. The easement is also intended to provide vehicle access to the lots, with a 29 foot roadway constructed over the top of the mains. This should give proper access to those public facilities for cleaning and maintenance. We request that the plan callout the station/offset of the water main bend near station 36+25.

There are a few issues that should be addressed by the applicant.

1. The proposed water main that runs east to west to serve the newly divided lots is not within the proposed utility easement. A separate easement should be granted across Lot 265 to contain the proposed water main. This main is also not shown in the profile view of the drawings provided to us. We request that an updated drawing be provided for review.

RKS:tlw\S:\MAD\1600--1699\1602\701\WRD\2016 Site Plan Comments\Kilkenny Lot 266 At Home again\Lot 266 CSM_assess drive_utilities.docx

Mr. Kevin Even, P.E.
Village of Waunakee
Page 2
July 1, 2016

2. There is considerable off-site construction required to get the sanitary sewer to Lots 1 and 3. The applicant proposes to install these sewers on Lot 265, just east of the Simon Crestway right of way. If they are installed there, an easement will be needed to contain the sewer, and plan/profile drawings should be provided for review of this off-site work.

The location of this sewer is challenging in that the sewer will need to be very deep along Simon Crestway to serve Lots 2 and 3, and installation of these sewers in the location intended will likely require the removal and replacement of the existing parking areas along the east side of Simon Crestway along the route. Further, if Lot 265 is ever subdivided to create eastern lots (similar to this division of Lot 266), this proposed off-site sewer will not effectively serve those lots, thus another off site sewer would be needed in addition to this one. We request that the applicant consider, if not already done so, how development of Lot 265 may affect the location of the off-site sewer and consider a different route through Lot 265 that could more effectively serve the lands east of Simon Crestway (all lands of Lots 266 and 265) and better avoid very deep sewers, duplicate mains, and reconstruction of existing improvements.

Access Easement

As a private access roadway, the 28 foot wide roadway will adequately serve vehicle access to the various lots within the subdivision. The proposed roadway will connect to Peacefully Valley Parkway (PVP) on the north end at a location where the existing median will need to be removed to accommodate left turning vehicles into and out of the subdivision. While PVP was intended to be a limited access roadway, the connection location of the proposed road will allow right turning vehicles space to move right and be avoided by vehicles traveling east on PVP. Trucks will be better off using Simon Crestway access to these lots, so that access drive should be designed to accommodate these vehicles.

The access easement is proposed to be 34 feet wide. With a 29-foot back to back of curb roadway, that only leaves 2.5 feet of space outside of the roadway within the easement. This does not give adequate space for any sidewalk for pedestrians to access the development along the road. There should be a sidewalk on one or preferably both sides of the roadway. It seems that it would be easier to build the sidewalks as part of the road construction (thus also providing a wider access easement to accommodate sidewalk) than to require each development along the easement to construct the sidewalk on private property. (The first proposed development, At Home Again, shows some sidewalk on their site plan but it is not continuous along the lot line that fronts the access roadway).

At 28 feet wide, the access road is too narrow to allow parking on one or both sides. Thus, it will be very important moving forward that the individual site plans that are proposed have more than enough space for adequate parking on their lots, or a plan for shared parking if peak demands for parking on various lots offset.

DRAFT

Mr. Kevin Even, P.E.
Village of Waunakee
Page 3
July 1, 2016

Please call me with questions.

Sincerely,

STRAND ASSOCIATES, INC.®



R. Kent Straus, P.E.

c: Todd Schmidt, Administrator (via e-mail)
Bryan Kleinmaier, Stafford Rosenbaum (via e-mail)
Mike King, TKG Planning (via e-mail)
Ed Freer, JJR (via e-mail)



Engineering and Planning Staff Memo

MEETING: Plan Commission July 11, 2016

**AGENDA ITEM: DISCUSSION / ACTION ON AT HOME AGAIN SITE PLAN/SIP, LOT 266
KILKENNY FARMS**

SUMMARY: The attached site plan is for a 64 unit senior assisted living facility with future expansion of an additional 18 units to the south.

ISSUES TO CONSIDER:

1. Fire Dept. Concerns with access have been addressed
2. Parking exemption required by the Plan Commission, but seems reasonable
3. Stalls on private drive must be at least 28' deep to allow safe backing into traffic.
4. They have agreed to add sidewalk to the east side of the private access road
5. The lighting plan is being revised per staff request
6. Subject to review and approval of the stormwater plan

STAFF RECOMMENDATION: Staff recommends approval conditioned upon all outstanding staff concerns addressed to the satisfaction of the Village Engineer

SUGGESTED MOTION: Motion to approve the site plan conditioned upon all outstanding staff concerns addressed to the satisfaction of the Village Engineer and grant a parking exception for Phase1 with re-evaluation prior to approval of Phase 2.

ATTACHMENTS: Site Plan, Staff Comments

MORE INFORMATION:

Kevin Even 849-6276 keven@vil.waunakee.wi.us

ITEM #3.



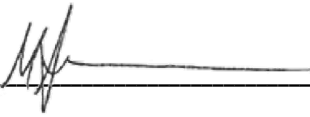
PLAN COMMISSION APPLICATION

PROJECT ADDRESS / NAME: Home Again Waunakee Assisted living Community

APPLICANT: At Home Again Waunakee LLC	
ADDRESS: 110 Stuart Street Columbus WI 53925	
PHONE: 608-712-1463	EMAIL: marty@homeagainliving.com

OWNER: Same as Above	
ADDRESS:	
PHONE:	EMAIL:

PROJECT DESCRIPTION: 64 unit assisted living community. Including 12 unit memory care and 52 unit assisted apartments. Additional expansion planned on site with up to 18 additional assisted apartments as part of a phase II planned.

OWNER/APPLICANT SIGNATURE:  DATE: 6-17-2016

FEES: (CHECK ALL THAT APPLY)		ESCROW DEPOSIT:
• SITE PLAN	<input checked="" type="checkbox"/> \$320	An escrow deposit is required in accordance with the Development Application Agreement.
• REZONE	<input type="checkbox"/> \$345	
• CONDITIONAL USE PERMIT	<input type="checkbox"/> \$350	
• CERTIFIED SURVEY MAP	<input type="checkbox"/> \$100 + \$25 per lot	
• PRELIMINARY PLAT	<input type="checkbox"/> \$100 + \$50 per dwelling unit	
• FINAL PLAT	<input type="checkbox"/> \$100 + \$50 per dwelling unit	
• GDP/SIP APPROVAL	<input checked="" type="checkbox"/> \$475	
TOTAL: <u>\$795.00</u>		ESCROW FEE PAID: _____ DATE: _____ FEE WAIVED BY: _____



PLAN COMMISSION APPLICATION

The Village of Waunakee Plan Commission meets the 4th Monday of each month. All submittals must be received 28 days prior to the meeting date. A schedule of deadlines can be found on the Village's website at www.vil.waunakee.wi.us. The following are required for submittal:

- 1) Plan Commission Application form, filled out and signed, with the appropriate fees
- 2) Signed Development Application Agreement and appropriate fees
- 3) Written narrative of the proposed project
- 4) 20 copies of plans (11x17), 5 copies of plans (24x36), 10 color renderings of elevations (11x17) one electronic copy either emailed to meinholtz@waunakee.com or on a USB

All submittals shall contain the following to be considered complete:

- 1) Written narrative listing owners and/or developers name and address. Where applicable, architects and/or engineers name and address. Description of proposed uses. Calculation indicating total site size, building floor area, number of parking stalls, amount of impervious surface, and amount of non-impervious green space.
- 2) A scaled site plan with the following information:
 - a. Name of project and date of plan preparation
 - b. Scale of drawing and north arrow
 - c. Property boundaries
 - d. Where applicable, both the one hundred (100) year recurrence interval floodplain and the floodway delineations
 - e. Where applicable, wetlands as delineated in the WDNR Wetland Inventory and 75' setback line from such wetlands
 - f. Existing and proposed easements on the subject property
 - g. Adjoining public street rights-of-way, street pavements, and sidewalk locations; existing and proposed driveways and curb cuts; and parking and loading areas
 - h. Location of existing and proposed building footprints with building and yard setback lines indicated
 - i. Location of any existing or proposed ground signs or pylon signs
 - j. Location and type of all outdoor lighting proposed to illuminate the site
- 3) Building Plans with the following information shown:
 - a. Elevation drawing of each new or remodeled building façade, indicating materials and building dimensions
 - b. 10 (11x17) colored renderings and one electronic version of the front façade of the principal building showing the proposed colors
 - c. Building materials samples (upon request)

ITEM #3.



PLAN COMMISSION APPLICATION

- 4) Grading and Stormwater Management Plan with the following information:
 - a. Existing and proposed topography shown at a contour interval of not less than two (2) feet at National Geodetic Vertical Datum
 - b. Location and dimension of Stormwater retention or detention basins and/or stormwater conveyances
- 5) Landscaping Plan in compliance with Village Code Sec. 106-924 Parking area landscaping requirements. This can be found on the Village website under Codes
- 6) Lighting Plan showing proposed foot candles
- 7) Parking Calculations in accordance with Village Code Sec. 106-923
- 8) Escrow fees as outlined in the Development Application Agreement
- 9) Fees for Erosion Control per Sec. 18-366. No person may begin a land disturbing construction activity or land developing activity subject to this division until the person has paid the Erosion Control Review and Inspection fee to the Director of Public Works. The fee shall be paid to the Director of Public Works when the person submits an application for an erosion control permit along with a proposed erosion control plan pursuant to Section 18-333(a). The Erosion Control Review and Inspection fee shall be \$950 plus \$0.03 for every square foot of the building or structure, or addition to an existing building or structure, that is part of the land disturbing construction activity or land developing activity.

DEVELOPMENT APPLICATION AGREEMENT

This Development Application Agreement (the “Agreement”) is made and entered into this 17 day of June, 2016, by and between the Village of Waunakee, a Wisconsin municipal corporation (the “Village”), and At Home Again Waunakee LLC (the “Applicant”).

RECITALS

- A. The Applicant plans to file, or has filed, an application for approval by the Village of one or more of the following activities within the Village’s jurisdiction: site plan / conditional use permit / rezone / variance / other development (hereinafter referred to as the “Development”).
- B. The Village desires to review and take action on the Development in a timely manner in accordance with all applicable federal, state and local laws and regulations, and without unreasonable expense to Village taxpayers.
- C. The Applicant agrees and acknowledges that decisions and approvals regarding the Development are legislative determinations to be made in the Village’s discretion and that the Applicant’s compliance with this Agreement does not, in any way, entitle the Applicant to approval of the Development.
- D. The process of reviewing the plans and documents associated with the Development will cause the Village to incur direct and indirect expenses including, but not limited to, staff time and fees and expenses incurred by the Village for outside consultant services related to review of the Development (*e.g.*, engineers, attorneys, accountants, planners, and other professionals).

NOW, THEREFORE, for and in consideration of the mutual covenants contained herein, and for good and valuable consideration, the Village and the Applicant agree as follows:

- 1. *Recitals.* The representations and recitations set forth in the foregoing paragraphs are material to this Agreement and are hereby incorporated into and made a part of this Agreement as though they were fully set forth in this paragraph.
- 2. *Applicant to Reimburse Village Review Costs.* The Applicant shall reimburse the Village for all direct and indirect costs and expenses related to the Village’s review of the Development. The direct and indirect costs and expenses include, but are not limited to, staff time and fees and expenses incurred by the Village for outside consultant services (*e.g.*, engineers, attorneys, accountants, planners, and other professionals). For purposes of this Agreement, the direct and indirect costs and expenses shall be referred to as “Review Costs.” Village staff time shall be charged at current rates.

ITEM #3.

3. *Deposit Required to Fund Reimbursement Account.*

- a. To ensure that funds are readily available to the Village for reimbursement of the Review Costs as provided in paragraph 2 above, the Applicant shall deposit with the Village an amount determined by the Village Zoning Administrator to be used to pay the Review Costs (the "Deposit"). The Village Zoning Administrator shall use the following table as a guide to determine the amount of the Deposit:

- (1) Small additions shall require a \$1,500 Deposit.
- (2) Small-sized projects shall require a \$3,500 Deposit.
- (3) Medium-sized projects shall require a \$5,500 Deposit.
- (4) Large-sized projects shall require a \$10,000 Deposit.
- (5) In addition to the amounts identified in (1) through (4), any Development that requires a development agreement or tax incremental financing assistance from the Village shall require an additional \$5,000 to \$10,000 Deposit.

All Deposit amounts shall be determined by the Village Zoning Administrator in his/her sole discretion and are not subject to challenge by the Applicant. Generally small additions will be less than 2,500 square feet, small projects less than 5,000 square feet, medium projects less than 10,000 square feet and large projects are over 10,000 square feet.

- b. The Applicant is responsible for payment of all Review Costs regardless of whether the amount exceeds the amount initially deposited with the Village. The Village reserves the right to require the Applicant to deposit additional amounts if the Village Zoning Administrator determines that additional amounts are necessary because of the size of the Development or because the Reimbursement Account (defined below) has been depleted.
- c. The Deposit may be provided in the form of cash, a certified check, cashier's check, personal check, or some other form as approved by the Village.
- d. The required Deposit must be made by the Applicant upon execution of this Agreement.
- e. The Applicant agrees and acknowledges that the Village will not process the application(s) associated with the Development and that the Village may suspend or otherwise stop activities associated with the Development if the Applicant fails to comply with this Agreement.
- f. The Village shall place and maintain the Deposit in a segregated, non- interest bearing account to be used solely for the purpose of reimbursing the Review Costs in accordance with paragraph 4 below (the "Reimbursement Account").

4. *Village Withdrawals from the Reimbursement Account.*
- a. After complying with the notification requirements of paragraph 4.b. below, the Village is entitled to make withdrawals from the Reimbursement Account to pay Review Costs in accordance with paragraph 2 above.
 - b. Not less than 5 days prior to making any withdrawal from the Reimbursement Account, the Village shall provide the Applicant with an itemized invoice for Review Costs incurred, together with a written notice of the Village's intent to withdraw such funds from the Reimbursement Account.
 - c. Withdrawals from the Reimbursement Account may be made as often as necessary to reimburse the Review Costs. In the event that the balance of Applicant's Reimbursement Account reaches \$1,000 or less, the Village shall have the discretion to continue withdrawing funds from the Reimbursement Account; to invoice the Applicant directly for payment; or to require the Applicant to pay additional monies to the Village, which monies shall be deposited in the Reimbursement Account. Payments for directly invoiced bills shall be due 30 days from the date the invoice is mailed to the Applicant.
 - d. Any amounts remaining in the Reimbursement Account after the Village has taken final action on the Development and all Review Costs have been paid shall be promptly refunded to the Applicant.
5. *Authority/Binding Effect.* The parties agree that the undersigned signatories to this Agreement have full power and authority to act on behalf of the Village and the Applicant, and that all necessary and enabling resolutions have been enacted. This Agreement shall bind the heirs, successors and assigns of the Applicant and the Village.
6. *Notification of Parties.*

Any notices to be provided under this Agreement may be made by delivery in person, by First Class mail, or by electronic mail (request a read receipt required) as provided below:

To Village: Village of Waunakee
 Attn: Village Zoning Administrator
 500 West Main Street
 P.O. Box 100
 Waunakee, WI 53597
 Email: kevin@waunakee.com

ITEM #3.

To Applicant: Home Again Assisted Living Inc.
Attn: Marty O'Connor
110 Stuart Street
Columbus WI 53925
Email: marty@homeagainliving.com

7. *Severability.* If any provision of this Agreement is deemed invalid, then the invalidity of said provision shall not affect the validity of any other provision hereof.
8. *Amendment, Withdrawal, or Release.* This Agreement may be withdrawn, amended or released only by a written document duly executed by both parties.
9. *Effective Date.* This Agreement shall be effective commencing on the date indicated in the first paragraph above.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by the duly authorized individuals and officers below.

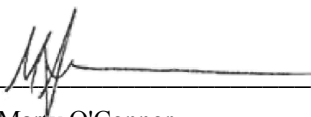
VILLAGE OF WAUNAKEE

By: _____

Kevin Even

Village Zoning Administrator

APPLICANT

By:  _____

Print name: Marty O'Connor

Title: Managing Member



June 17, 2016

Mr. Kevin Even
Director of Public Work / Village Engineer
Village of Waunakee
500 W Main Street
Waunakee, WI 53598

Re: Initial Consultation Waunakee Westport Joint Planning Commission
Lot 266 – KilKenny Farms Development

Dear Mr. Even:

The following is a submittal of initial plans for the development of an aging in place Assisted Living Community in the KilKenny Farms development.

Organizational Structure:

Owner: At Home Again Waunakee, LLC
Developer: Realm Real Estate Development
Construction Manager: JA Connery Development Inc.
Architect: Midwest Modern
Civil Engineer: MSA Professional Service

Introduction:

Home Again Assisted Living Inc. is continuing its efforts to work with Waunakee on providing a new top tier senior assisted living community in the Village. This effort was started almost three years ago with the planned clean-up and redevelopment of the Waunakee Alloy site. After getting significant momentum and making significant investment in the Alloy venture the project was derailed with the environmental impacts discovered by the development team. With the need for senior services only growing the plans have shifted to a new site in KilKenny Farms which now has the surrounding momentum to make a similarly significant impact on the community.

Based on the area demographics and current growth rate in the number of seniors in need of assisted living services the Village of Waunakee is significantly underserved today. No assisted living facilities providing “aging in place services” (independent assisted apartments, assisted living, and memory care on one campus) have been built in the community in almost 20 years. The lack of a supply and the age of the existing facilities is leading to a large number of seniors exiting the Village to other surrounding communities for services.

ITEM #3.

Description of site and building:

The site would be located on an approximately 2 acre parcel being created via CSM at the southeast corner of Lot 266 in the KilKenny Farms development. The most current and historical use of the site was agricultural and it is adjacent to an old farm homestead to the south. As currently planned the site would be adjacent to single family lots to the east and commercial lots to the north and west. The proposed use will provide a great transition between the commercial and residential development.

The building being proposed is a 82 unit Assisted Living Community, which includes a total of 70 assisted living apartments and 12 memory care units to be construction in two phases. The first phase would include all community area common spaces, 12 memory care units, 52 assisting living apartments, underground parking for residents and staff, and all related site improvement. Phase 2 would include 18 additional assisted living apartments and is projected to start 12-18 months following the start of Phase 1.

The building will include an estimated 66,000 square feet which comprises of the private apartment units and a significant amount of community space. The community space will have a commercial kitchen and restaurant style dining areas, a variety of community living rooms and group meeting spaces, multiple activity rooms, an exercise and physical therapy room, an on-site beauty salon, and therapeutic bathing room. A number of outside areas will also be available to residents including: an elevated patio / outdoor dining area, multiple casual community patios, raised garden beds for resident use, and a secured memory care outdoor flower garden.

The elevation / height of the building will vary greatly as a result of the significant grade changes on site and to reduce the building mass as much as possible along the lot line shared with the residential lots. Although a much larger structure then a single family home, the building design is such that it has the feel of a large parade style home vs. a more traditional commercial structure.

The unit sizes in the assisted living apartment will be range from just over 450 square feet to about 900 square feet. All of the units will include a modern kitchenette and large private bathrooms with no barrier walk-in showers. The memory care specialized units will average about 340 square feet in size and will also include a large private bath and accessible shower.

The exterior of the building will meet or exceed the high standards set by the KilKenny Farms development. The exterior of the building will be a combination of composite vertical siding, shakes style siding, lap style siding, and brick and stone masonry. Key architectural features will include large exposed heavy timber trusses supported by matching beams and masonry.

The building will have 26 surface parking stalls for visitors, and 24 underground stalls for staff and a few residents that will have cars. It is our experience that almost all residents in the assisted living units of our facilities do not own cars. The residents in the memory care unit also do not own cars. The maximum number of staff that will be working at one time will be 10 employees. At full buildout of both phases a ratio of almost 1 visitor stall per 3 residents will more than meet the needs or the building.

Description of proposed use and end users:

The local Home Again Assisted Living Inc. team and its owners and affiliated companies Realm Development, and JA Connery, will develop, construct, own, and manage the proposed assisted living community. This approach, and commitment from the very start to longer term involvement insures the success and quality of the project. For more information on the team you can visit www.homeagainliving.com and www.realmdevelopers.com.

Project timeline and schedule:

Plan Commission Submittal: April 15, 2016
Plan Commission Meeting: May 9, 2016
Joint Plan Commission Meeting: May 10, 2016
CSM Approval: anticipated July 18, 2016
Development Agreement Final: August 1, 2016
Start Construction Phase I: August 15, 2016
Opening Phase I: August 15, 2017
Start Phase II: September 1, 2017
Opening Phase II: June 1, 2018

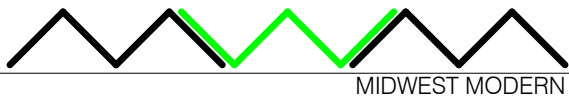
END



-31-



-32-



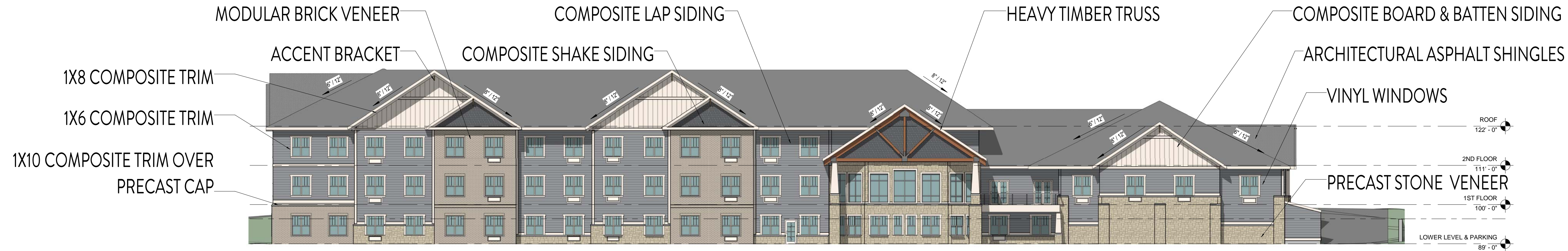
AT HOME AGAIN - WAUNAKEE

VIEW FROM NORTHWEST
ARTISTIC REPRESENTATION

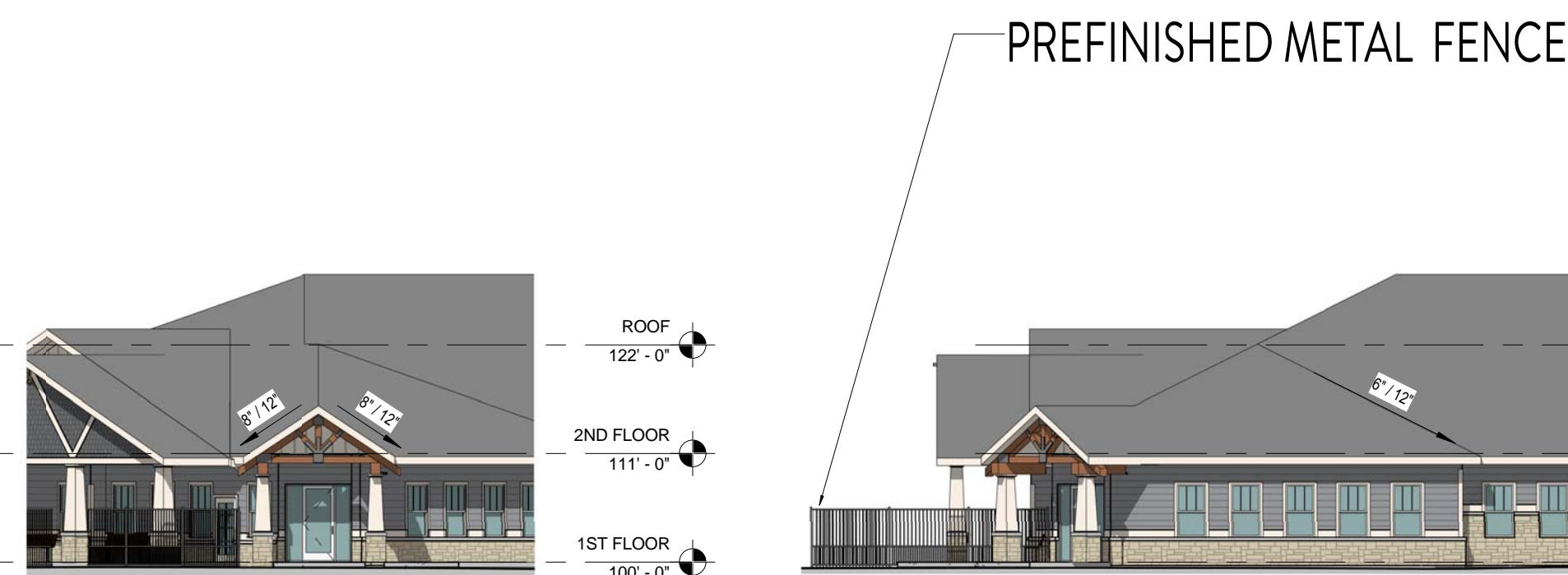
REALM REAL ESTATE DEVELOPMENT

06/17/16

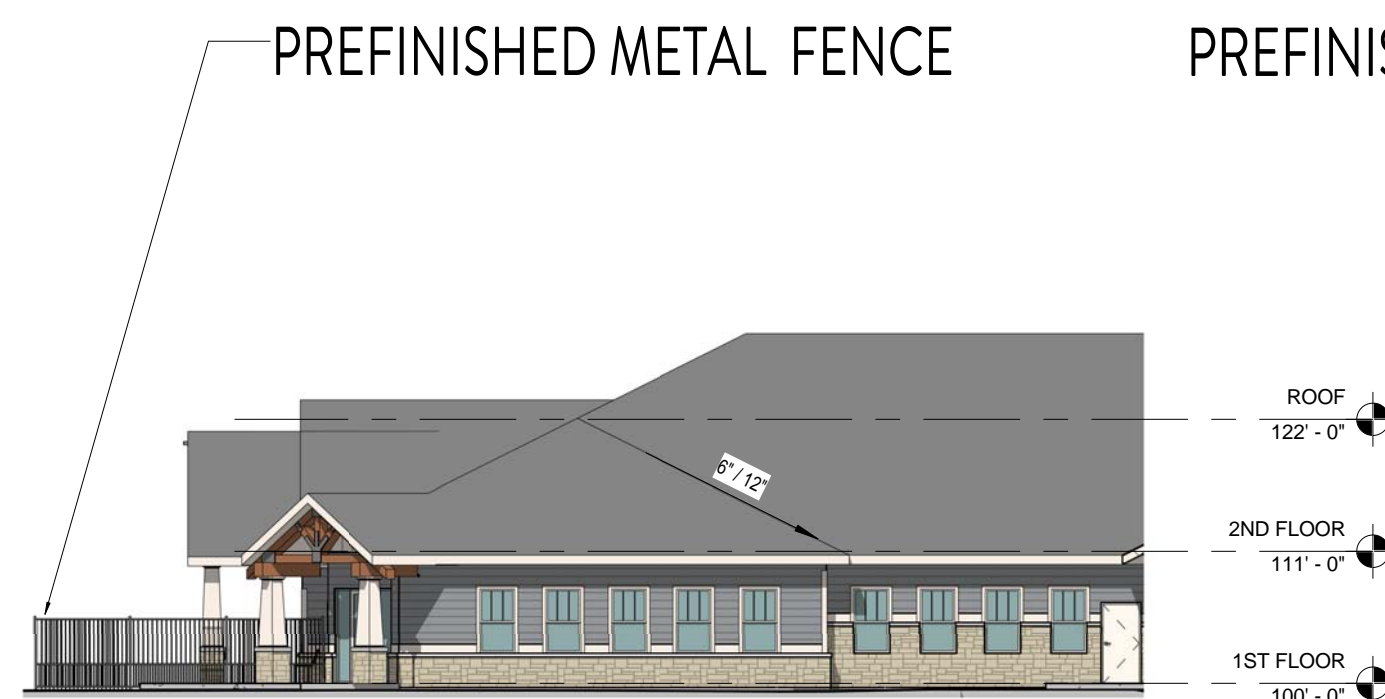
ITEM #3.



9 EAST ELEVATION
1/16" = 1'-0"



8 MEMORY CARE ENTRY ELEVATION
1/16" = 1'-0"



7 MEMORY CARE SOUTH ELEVATION
1/16" = 1'-0"



6 ASSISTED LIVING ENTRY
1/16" = 1'-0"



5 ASSISTED LIVING NORTH ELEVATION
1/16" = 1'-0"



4 WEST ELEVATION
1/16" = 1'-0"



3 ASSISTED LIVING WEST ELEVATION
1/16" = 1'-0"



2 ASSISTED LIVING SOUTH ELEVATION
1/16" = 1'-0"



1 MEMORY CARE NORTH ELEVATION
1/16" = 1'-0"

DRAWING NOTES

FIRST FLOOR ELEVATION: 100'-0" = 918.0'
LOWER LEVEL FLOOR ELEVATION:
89'-0" = 907.0'

CODE NOTES

MIDWEST MODERN
P. 608-445-7869 - INFO@MIDWESTMODERN.COM

REALM REAL ESTATE DEVELOPMENT
AT HOME AGAIN - WAUNAKEE
WAUNAKEE, WI

PLAN COMMISSION SUBMITTAL
06.17.2016

ELEVATIONS

SCALE AT
ANSI D 34"x22" SHOWN
1/2 SCALE AT 17"x11"
1/16" = 1'-0"

A2.1

PEACEFUL VALLEY PARKWAY

SIMON CRESTWAY

APPROXIMATE LOCATION
OF EXISTING BUILDING

EXISTING STREETS ARE APPROXIMATE
AND SHOWN FOR REFERENCE
SEE CIVIL PLANS

VERIFY PROPERTY LINES WITH CSM

APPROXIMATE LOCATION OF
PROPERTY LINE AND ACCESS DRIVE
BY OTHERS

267

268

APPROXIMATE LOCATION
OF RETAINING WALL, SEE CIVIL PLANS

269

270

271

272

273

TOPOGRAPHY IS CUT
IN PLAN VIEW TO REFLECT
PLAN DATUM AT 4'-0" ABOVE
FINISHED FLOOR=100'-0"
(LIGHT GRAY COLOR)

APPROXIMATE LOCATION
OF MONUMENT SIGN TO BE
COORDINATED WITH
MASTER DEVELOPER

LOT 3

LOT 1

APPROXIMATE LOCATION
OF MONUMENT SIGN

OUTDOOR
FLOWER GARDEN
AND PORCH

UNDERGROUND PARKING
ENTRY BELOW

REFUSE ENCLOSURE (BELOW)

ONE STORY MEMORY
CARE OVER PARKING

ELEVATED PATIO

OUTDOOR TERRACE BELOW

COVERED ENTRY

COVERED ENTRY

FUTURE SIDEWALK

FUTURE ADDITION (SHOWN
FOR REFERENCE ONLY)

LIGHT WELL (TYP)

2-3 STORY
ASSISTED LIVING

(18) TREES TO BE FURNISHED BY MASTER
DEVELOPER, COORDINATE W/ LANDSCAPE
PLANS (SHOWN FOR REFERENCE)

ACCESS DRIVE

AT HOME AGAIN
2.19 acres 95,400 SF +/-

GRADES ARE APPROXIMATE
SEE CIVIL PLANS

APPROXIMATE LOCATION
OF EXISTING BUILDINGS

SINGLE FAMILY NEIGHBORHOOD

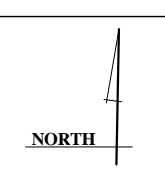
DRAWING NOTES

FIRST FLOOR ELEVATION: 100'-0" = 918.0'
LOWER LEVEL FLOOR ELEVATION:
89'-0" = 907.0'

26 SURFACE PARKING STALLS
24 UNDERGROUND PARKING STALLS
50 TOTAL PARKING STALLS

CODE NOTES

MIDWEST MODERN
P. 608-445-7869 - INFO@MIDWESTMODERN.COM



REALM REAL ESTATE DEVELOPM
AT HOME AGAIN - WAUNAKEE
WAUNAKEE, WI

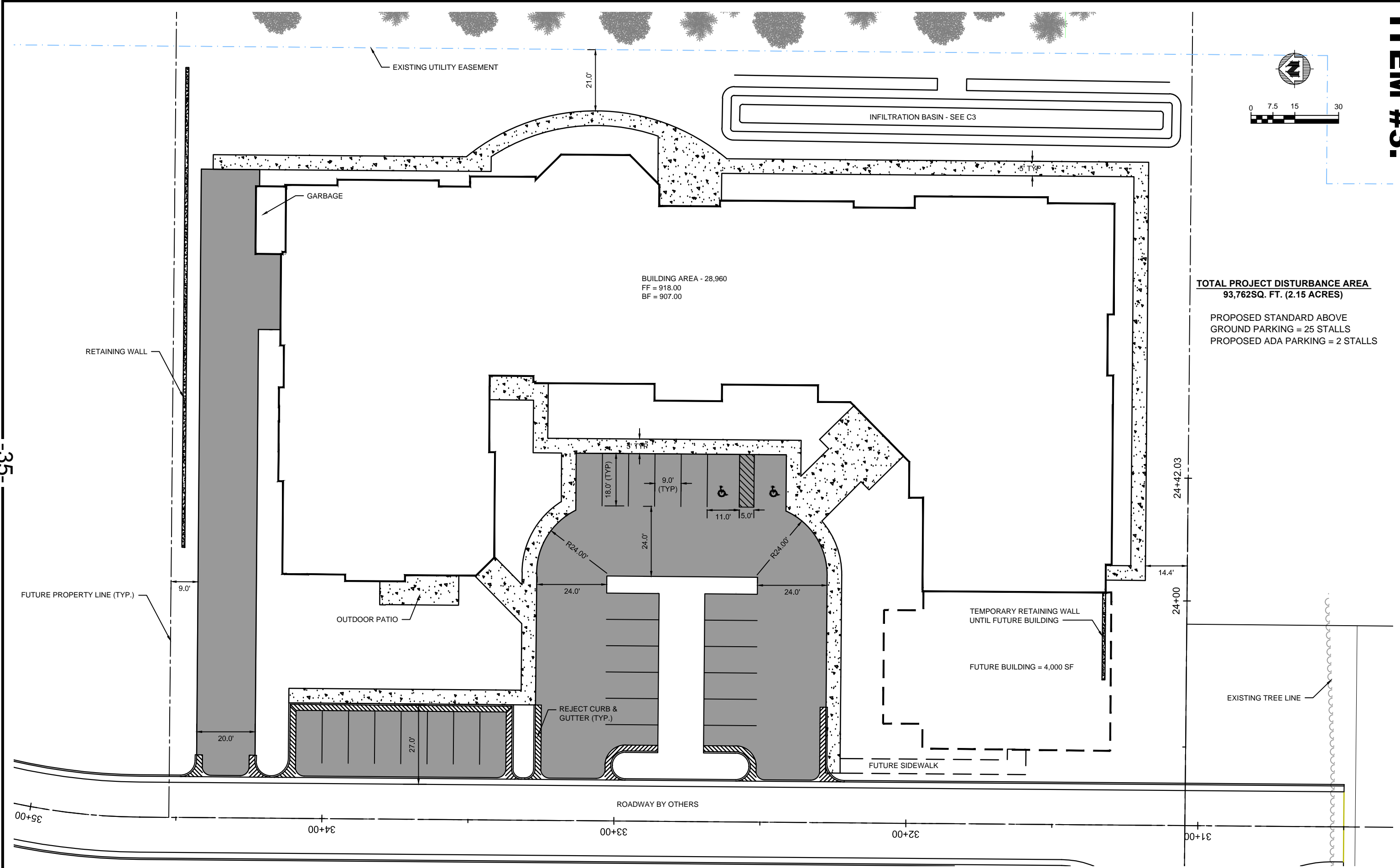
PLAN COMMISSION SUBM
06.17.16

OVERALL AREA ARCHITECT
SITE PLAN

SCALE AT
ANSI D 34"x22" SHOWN
1/2 SCALE AT 17"x11"
1" = 50'-0"

AS101

ITEM #3.



TOTAL PROJECT DISTURBANCE AREA
93,762SQ. FT. (2.15 ACRES)

PROPOSED STANDARD ABOVE
GROUND PARKING = 25 STALLS
PROPOSED ADA PARKING = 2 STALLS

PROJECT NO.:	12236006	SCALE:	AS SHOWN	NO.	DATE	REVISION	BY
PROJECT DATE:	6/17/16	DRAWN BY:	TCM	-	-	-	-
F.B.:	-	CHECKED BY:	JD	-	-	-	-
PLOT DATE:	6/16/16	P:	1220061223061223612236006/CADD/C3D12236006 Design.dwg	-	-	-	-

MSA
TRANSPORTATION • MUNICIPAL
DEVELOPMENT • ENVIRONMENTAL
2901 International Lane Madison, WI 53704
608-242-7779 1-800-446-0679 Fax: 608-242-5664
Web Address: www.msa-ps.com
© MSA Professional Services, Inc.

SITE PLAN

AT HOME AGAIN - WAUNAKEE AT HOME AGAIN WAUNAKEE, DANE COUNTY, WI	FILE NO. 12236006 SHEET C1
--	-------------------------------------

GENERAL PROJECT NOTES:

1. ALL EXISTING UTILITIES SHOWN WITHIN THIS PLAN ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND NO RESPONSIBILITY IS ASSUMED BY THE ENGINEER OR OWNER FOR THEIR ACCURACY OR DEGREE OF COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS/HER OWN DETERMINATION AS TO THE TYPE, LOCATION, AND ELEVATION OF ALL UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGING ANY SUCH UTILITIES. THE CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE AT (800) 242-8511 PRIOR TO ANY CONSTRUCTION SO THAT THE SITE MAY BE MARKED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE, AND CABLE TV UTILITIES REGARDING THE DEPTH AND LOCATION OF EXISTING UTILITIES. (INCIDENTAL TO CONSTRUCTION)

2. WHEN "CONTRACTOR" IS MENTIONED WITHIN THIS PLAN IT SHALL MEAN THE SITE CONTRACTOR(S).

3. EXISTING KNOWN SURVEY MONUMENTS (SHOWN ON THE PLANS) ENCOUNTERED DURING CONSTRUCTION ARE TO BE PRESERVED AND LEFT UNDISTURBED. SHOULD THE CONTRACTOR ENCOUNTER UNKNOWN MONUMENTS, PROPERTY STAKES, ETC. (NOT SHOWN ON THE PLANS), THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO ANY DISTURBANCE. FAILURE TO PRESERVE SUCH MONUMENTS SHALL NOT BE ALLOWED AND REPLACEMENT BY A REGISTERED LAND SURVEYOR SHALL BE AT THE CONTRACTOR'S EXPENSE.

4. REFER TO PROJECT ARCHITECTURAL/STRUCTURAL DRAWINGS FOR DETAIL DIMENSIONS OF THE PROPOSED BUILDING, AND ASSOCIATED ARCHITECTURAL FEATURES.

5. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, DIMENSIONS, AND ELEVATIONS SHOWN ON THIS PLAN TO THE ACTUAL FIELD CONDITIONS. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS ARE APPARENT, THE CONTRACTOR SHALL BRING IT TO THE ATTENTION OF THE PROJECT ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR RE-DESIGN MAY OCCUR. (INCIDENTAL TO CONSTRUCTION)

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MANAGEMENT AND COORDINATION OF ALL ASPECTS PERTAINING TO THIS PROJECT, WHICH INCLUDES BUT IS NOT LIMITED TO JOB SITE SAFETY, TRAFFIC CONTROL, BARRICADES/FENCING, SITE SECURITY, EROSION CONTROL, WORKMANSHIP, MATERIAL QUALITY, ETC. (INCIDENTAL TO CONSTRUCTION)

7. ALL WORK, LABOR, MATERIALS, ETC. INCLUDED IN THIS PROJECT SHALL BE GUARANTEED AGAINST ANY DEFECTS IN WORKMANSHIP OR MATERIALS FOR A PERIOD OF AT LEAST ONE YEAR FOLLOWING THE DATE OF ACCEPTANCE OF ALL IMPROVEMENTS BY THE OWNER. ANY MATERIAL OR EQUIPMENT PRESENT AT THE CONSTRUCTION SITE SHALL BE THE PROPERTY OF THE OWNER AND DISPOSITION SHALL BE AS DIRECTED BY THE OWNER. ALL SALVAGED MATERIALS SHALL BE CAREFULLY REMOVED AND STORED CAREFULLY AT THE OWNER'S STORAGE AREA. (INCIDENTAL TO CONSTRUCTION)

8. THE CONTRACTOR SHALL SAWCUT A CLEAN & STRAIGHT MATCHLINE AT ALL CONNECTIONS TO EXISTING CURB, ASPHALT, AND CONCRETE. (INCIDENTAL TO CONSTRUCTION) FINAL LOCATION OF SAW CUTS TO BE DETERMINED BY ENGINEER.

GENERAL TRAFFIC CONTROL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL NECESSARY TRAFFIC CONTROL, DETOURING, SIGNAGE, AND CONSTRUCTION BARRICADES DURING THE DURATION OF CONSTRUCTION AND SHALL COORDINATE WITH THE CITY STAFF RELATIVE TO THE PLACEMENT OF ALL TRAFFIC CONTROL MEASURES USED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCHEDULE AND SEQUENCE HIS/HER WORK TO MINIMIZE THE INCONVENIENCE TO THE LOCAL TRAFFIC, THE BUSINESSES, AND THE RESIDENTS LOCATED ADJACENT TO THIS PROJECT. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST TWO DAYS PRIOR TO CLOSING ANY SECTION OF STREET.

2. ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE UNITED STATES DEPARTMENT OF TRANSPORTATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD) AS WELL AS ANY CITY REQUIREMENTS. IF REQUIRED BY THE CITY, THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN TO ILLUSTRATE THE TYPE AND LOCATION OF THE PROPOSED TRAFFIC CONTROL MEASURES TO BE USED FOR THE PROJECT. THE CONTRACTOR SHALL INSPECT ALL TRAFFIC CONTROL MEASURES DAILY AND PERFORM ANY NECESSARY MAINTENANCE OR ADJUSTMENTS BASED ON THE ACTIVITIES PLANNED.

ANTICIPATED SEQUENCE OF WORK:

1. INSTALL ALL EROSION CONTROL MEASURES..
2. STRIP TOPSOIL AND STOCKPILE AT THE LOCATION SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER.
3. MASS GRADE THE PROJECT SITE AS SHOWN ON THE GRADING PLAN.
4. INSTALL THE PROPOSED UNDERGROUND UTILITIES.
5. CONSTRUCT THE PROPOSED BUILDING.
6. CONSTRUCT THE PROPOSED PARKING LOT AREA.
7. CONSTRUCT THE INFILTRATION BASIN
8. DEEP TILL AND RESTORE UNPAVED DISTURBED AREAS.
9. REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM THE POND AREA, DRAINAGE SWALES, AND STORM STRUCTURES.
10. REMOVE AND DISPOSE OF SILT FENCE AND OTHER EROSION CONTROL MEASURES AFTER RE-STABILIZATION OF THE PROJECT SITE HAS OCCURRED.

GENERAL EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL INSTALL ALL NECESSARY EROSION CONTROL MEASURES TO PREVENT EROSION ONTO THE ADJACENT PROPERTIES AND INTO THE ADJACENT EXISTING STREETS. ADDITIONAL EROSION CONTROL, NOT SHOWN ON THIS PLAN, MAY BE REQUIRED BY THE OWNER AND/OR THE ENGINEER DURING CONSTRUCTION BASED ON THE CONSTRUCTION ACTIVITIES. EROSION CONTROL AND SITE STABILIZATION MEASURES SHALL BE INSTALLED AND PERFORMED IN ACCORDANCE WITH THIS CONSTRUCTION PLAN, THE WISCONSIN DNR EROSION CONTROL TECHNICAL STANDARDS, ANY LOCAL EROSION CONTROL ORDINANCES, AND ANY CONDITIONS OF APPROVAL. INSTALL EROSION CONTROL MEASURES PRIOR TO INITIATION OF ANY SITE WORK.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REMOVAL OF ALL EROSION CONTROL MEASURES DURING THE DURATION OF CONSTRUCTION. THE SITE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPER REGARDING ANY RESTORATION REQUIRED IN AREAS WHERE EROSION CONTROL MEASURES ARE REMOVED. ALL DISTURBED OPEN SPACE AREAS SHALL BE TOPSOILED (MINIMUM 4" THICK) AND SEEDED IN ACCORDANCE WITH THE WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1059.

3. A TRACKING PAD SHALL BE REQUIRED AT ANY CONSTRUCTION ENTRANCE USED BY THE CONTRACTOR. ADDITIONAL CONSTRUCTION ENTRANCES USED BY THE CONTRACTOR, NOT SHOWN ON THIS PLAN, SHALL REQUIRE A TRACKING PAD TO THE DIMENSIONS INDICATED ON THE DETAIL SHEET.

4. CONTRACTOR SHALL PROTECT ALL EXISTING AND PROPOSED DRAINAGE SWALES, CULVERTS, STREET INLETS, AND STORM MANHOLES FROM SILTATION DURING CONSTRUCTION AND UNTIL FINAL STABILIZATION OCCURS. SEE THE DETAIL SHEETS FOR INLET PROTECTION REQUIREMENTS.

5. IN THE EVENT GROUNDWATER IS ENCOUNTERED DURING UTILITY INSTALLATION, WATER PUMPED FROM THE UTILITY TRENCH SHALL BE DISCHARGED INTO A FILTER BAG OR OTHER APPROVED SEDIMENTATION DEVICE SUCH THAT THE WATER DISCHARGED OUT OF THE DEVICE IS CLEAR AND FREE OF SILT OR SANDY PARTICLES. ALL DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1061.

6. ALL EROSION CONTROL MEASURES AND STRUCTURES SHALL BE INSPECTED, MAINTAINED, AND DOCUMENTED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN D.N.R. STORM WATER DISCHARGES ASSOCIATED WITH LAND DISTURBING CONSTRUCTION ACTIVITIES GENERAL PERMIT. THESE INSPECTIONS SHALL BE DOCUMENTED BY THE CONTRACTOR AND AVAILABLE TO THE OWNER, CITY, AND/OR STATE UPON REQUEST. (INCIDENTAL)

GENERAL UTILITY NOTES:

1. ALL EXISTING UTILITIES SHOWN WITHIN THIS PLAN ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND NO RESPONSIBILITY IS ASSUMED BY THE ENGINEER OR OWNER FOR THEIR ACCURACY OR DEGREE OF COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS/HER OWN DETERMINATION AS TO THE TYPE, LOCATION, AND ELEVATION OF ALL UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGING ANY SUCH UTILITIES. THE CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE AT (800) 242-8511 PRIOR TO ANY CONSTRUCTION SO THAT THE SITE MAY BE MARKED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY UTILITIES.

2. ALL SEWER AND WATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THIS CONSTRUCTION PLAN, THE MOST RECENT EDITION OF THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES CHAPTER SPS 382 AND 384 OF THE WISCONSIN ADMINISTRATIVE CODE, THE LATEST EDITION OF THE WISCONSIN STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION (FOR SANITARY & WATER), THE LATEST EDITION OF THE WIS. DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION (STORM), AND THE CITY OF COLUMBUS STANDARDS.

3. THE CONTRACTOR SHALL COORDINATE THE WORK WITH THE PROJECT ARCHITECT, BUILDING PLUMBER, AND ELECTRICIAN REGARDING THE LOCATION OF UTILITY CONNECTIONS INTO THE PROPOSED BUILDING AS WELL AS OTHER REQUIREMENTS. MARK ALL UTILITY PIPE ENDS WITH 2x4 (MIN. 2' ABOVE GROUND).

4. CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITIES (GAS, ELECTRIC, TELEPHONE CABLE TV, ETC.) REGARDING THE LOCATION, SIZE, DEPTH, ETC. OF EXISTING AND PROPOSED SERVICE LINES WITHIN THE PROJECT SITE AS WELL AS THE RELOCATION OF ANY EXISTING UTILITIES IN CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS. (INCIDENTAL TO CONSTRUCTION)

5. THE CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF EXISTING SANITARY SEWER, WATER, AND STORM SEWER MAINS & LATERALS AS WELL AS CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN CAN OCCUR.

6. ALL ONSITE UTILITIES ARE THE SOLE RESPONSIBILITY OF THE OWNER, WHICH INCLUDES ALL FUTURE REPAIRS AND MAINTENANCE.

WATER UTILITY NOTES:

1. CONTRACTOR TO COORDINATE WITH WAUNAKEE UTILITIES 48 HOURS PRIOR TO SHUTTING WATER OFF TO SITE.

2. WAUNAKEE UTILITIES WILL OPERATE ALL WATER MAIN VALVES.

3. PIPE MATERIAL - WATER SERVICE PIPING SHALL BE DUCTILE IRON PIPE AND SHALL CONFORM TO ANSI/AWWA C800.

4. CONTRACTOR SHALL MAINTAIN 6.5 FEET OF COVER (FROM FINISHED GRADE) OVER THE PROPOSED WATER SERVICE. IF THE NEWLY INSTALLED WATER SERVICE IS INSTALLED WITH COVER LESS THAN 6.5 FEET, THE CONTRACTOR SHALL INSULATE THE WATER PIPING ACCORDING TO THE INSULATION DETAIL. INSULATION SHALL ALSO BE INSTALLED AT ALL LOCATIONS WHERE STORM SEWER CROSSES THE WATER SERVICE.

5. BACKFILLING AND BEDDING - SHALL BE IN ACCORDANCE WITH "CLASS II - FLEXIBLE PIPE EMBEDMENT DETAIL.". BACKFILL SHALL BE SPREAD AND COMPACTED UNIFORMLY IN 8-INCH LIFTS TO AT LEAST 90 PERCENT MODIFIED PROCTOR (ASTM D1557) BELOW A DEPTH OF 5 FEET FROM THE PROPOSED SURFACE. COMPACT TO 95 PERCENT MODIFIED PROCTOR (ASTM D1557) AT DEPTHS WITHIN 5 FEET OF THE PROPOSED SURFACE.

6. VERTICAL SEPARATION - IF THE WATER SERVICE CROSSES A SEWER PIPE, THE WATER PIPE WITHIN 10 FEET OF THE POINT OF CROSSING SHALL BE INSTALLED AT LEAST 12" ABOVE THE TOP OF SEWER PIPE (CROSSING OVER) OR AT LEAST 18" BELOW THE BOTTOM OF SEWER PIPE (CROSSING UNDER).

SANITARY SEWER UTILITY NOTES:

1. PIPE MATERIAL - SANITARY SEWER PIPING SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 WITH ELASTOMERIC JOINTS.

2. BACKFILLING AND BEDDING - SHALL BE IN ACCORDANCE WITH "CLASS II - FLEXIBLE PIPE EMBEDMENT DETAIL.". BACKFILL SHALL BE SPREAD AND COMPACTED UNIFORMLY IN 1-FOOT LIFTS TO AT LEAST 90 PERCENT MODIFIED PROCTOR (ASTM D1557) BELOW A DEPTH OF 5 FEET FROM THE PROPOSED SURFACE. COMPACT TO 95 PERCENT MODIFIED PROCTOR (ASTM D1557) AT DEPTHS WITHIN 5 FEET OF THE PROPOSED SURFACE.

LEGEND

	EXISTING WATER MAIN
	EXISTING GATE VALVE & HYDRANT
	WATER SERVICE & CURB STOP
	PROPOSED WATERMAIN, VALVE, & HYDRANT
	PROPOSED WATER SERVICE & CURB STOP
	EXISTING SANITARY SEWER & MANHOLE
	EXISTING FORCEMAIN
	EXISTING STORM SEWER & INLET
	PROPOSED STORM SEWER & INLET
	PROPOSED MANHOLE & SEWER MAIN
	BURIED ELECTRIC
	BURIED GAS & VALVE
	BURIED CABLE TELEVISION
	BURIED TELEPHONE
	BURIED FIBER OPTICS
	OVERHEAD UTILITY
	RAILROAD TRACKS
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	EXISTING CULVERT PIPE
	PROPOSED CULVERT PIPE
	FENCE LINE
	DRAINAGE ARROW
	SILT FENCE
	RIGHT-OF-WAY
	BASELINE
	PROPERTY LINE
	TREE LINE
	BENCHMARK
	IRON PIPE
	IRON ROD
	CONTROL POINT
	UTILITY POLE & GUY
	SOIL BORING
	LIGHT POLE
	PEDESTAL
	STREET SIGN
	MAILBOX
	FLAGPOLE
	TREE - DECIDUOUS
	TREE - CONIFEROUS
	TREE TO BE REMOVED

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PROJECT DATE:	-	DRAWN BY: TCM	-	-	-	-
F.B.:	-	CHECKED BY: JD	-	-	-	-
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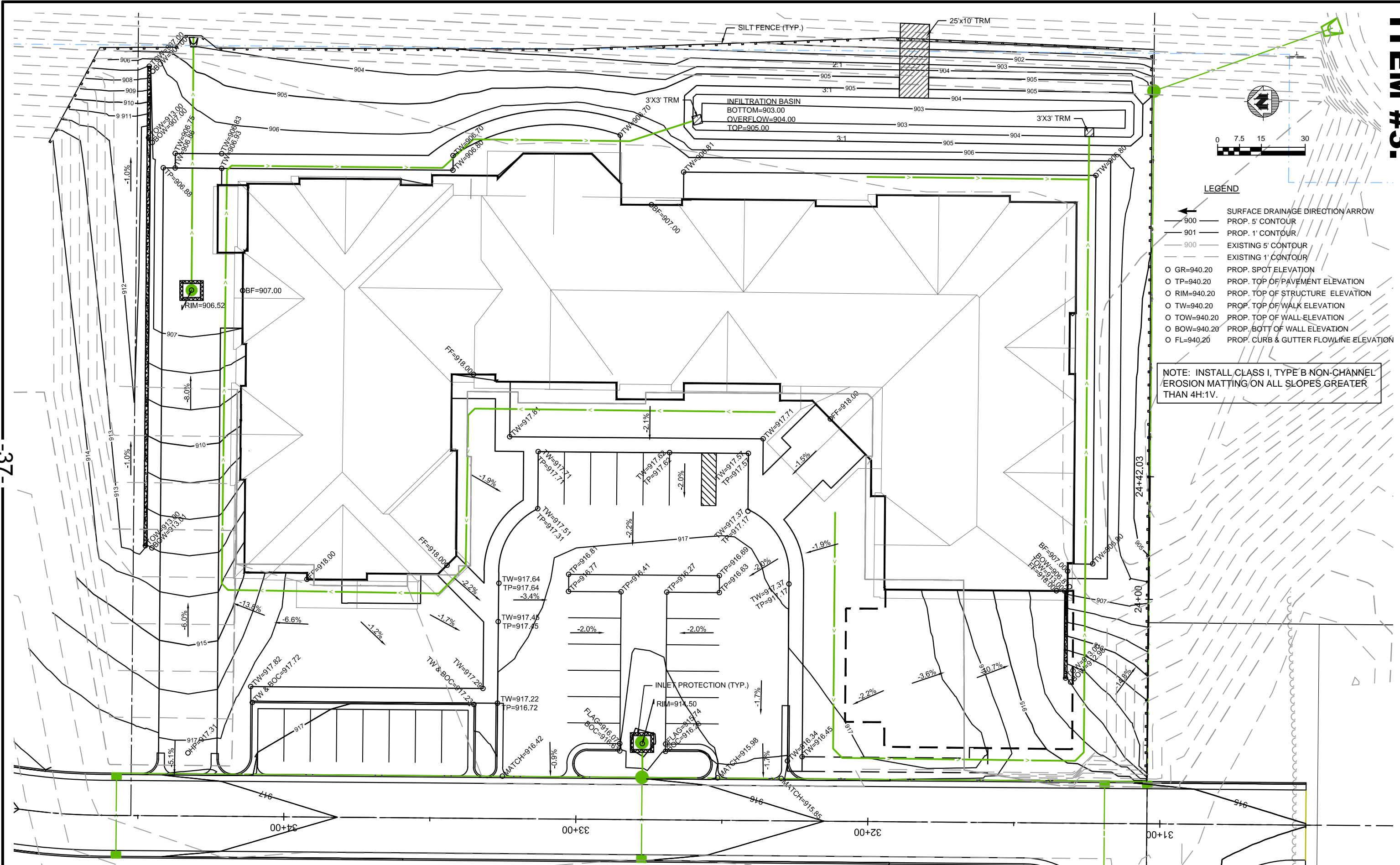
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SITE NOTES

AT HOME AGAIN - WAUNAKEE
AT HOME AGAIN
WAUNAKEE, DANE COUNTY, WI

FILE NO	12236006
SHEET	C2



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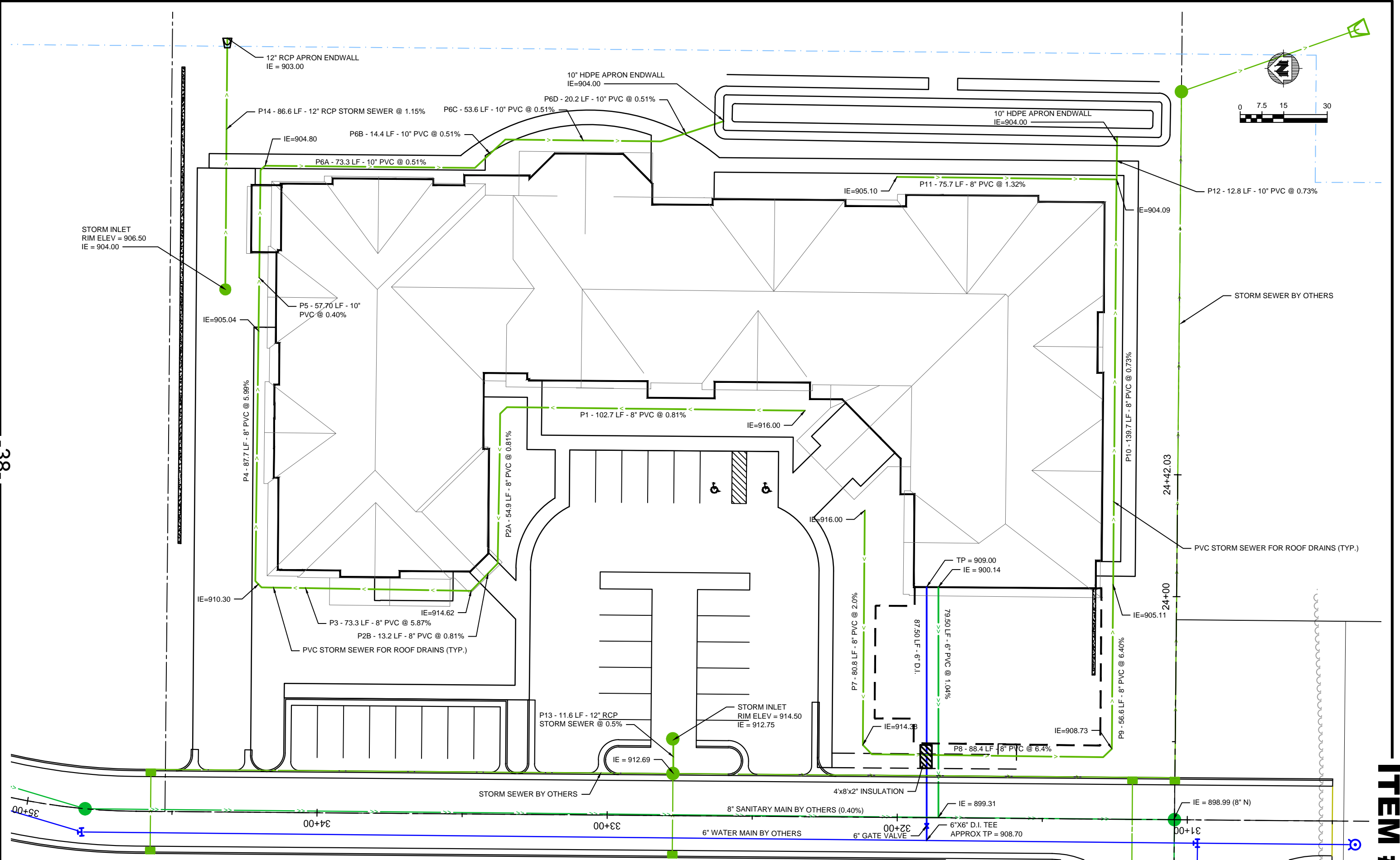


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GRADING AND EROSION CONTROL PLAN

AT HOME AGAIN - WAUNAKEE
AT HOME AGAIN
WAUNAKEE, DANE COUNTY, WI

FILE NO.
12236006
SHEET
C3



PROJECT NO.:	12236006	SCALE:	AS SHOWN	NO.	DATE	REVISION	BY
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UTILITY PLAN

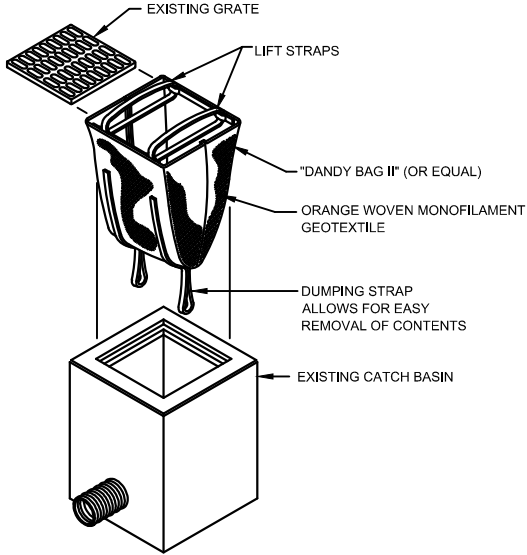
AT HOME AGAIN - WAUNAKEE
AT HOME AGAIN
WAUNAKEE, DANE COUNTY, WI

FILE NO.	122361
SHEET	C4

ITEM #3.

CONSTRUCTION SITE
EROSION CONTROL REQUIREMENTS

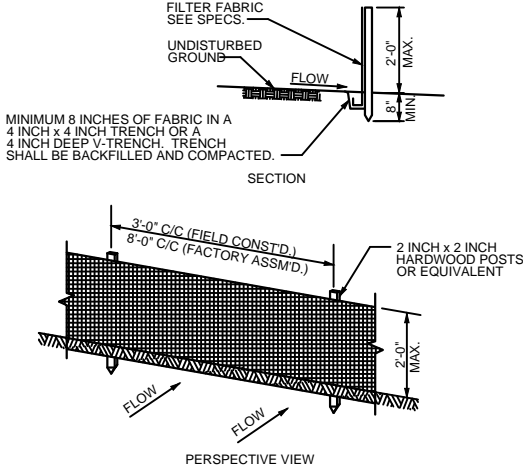
- 1.) SECTION NR216.46 OF WISCONSIN STATE ADMINISTRATIVE CODE IDENTIFIES REQUIREMENTS FOR CONSTRUCTION SITE AND POST-CONSTRUCTION EROSION CONTROL. IT IS THE INTENT OF THESE PLANS TO SATISFY THESE REQUIREMENTS. THE METHODS AND STRUCTURES USED TO CONTROL EROSION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL IMPLEMENT AN APPROPRIATE MEANS OF CONTROLLING EROSION DURING SITE OPERATION AND UNTIL THE VEGETATION IS RE-ESTABLISHED. ADJUSTMENTS TO THE CONTROL SYSTEM SHALL BE MADE AS REQUIRED.
- 2.) ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE WISCONSIN DNR'S CONSERVATION PRACTICE STANDARDS. THESE STANDARDS ARE PERIODICALLY UPDATED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND REFERENCE THE MOST RECENTLY RELEASED STANDARD.
- 3.) THIS INFORMATION IS ONLY ONE PART OF THE OVERALL EROSION CONTROL REQUIREMENTS. ADDITIONAL REQUIREMENTS MAY ALSO BE SHOWN ON THE CONTRACT DRAWINGS AND IN THE ACCOMPANYING SPECIFICATIONS.
- 4.) ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE OWNER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- 5.) THE AREA OF EROSION LAND EXPOSED TO THE ELEMENTS BY GRUBBING, EXCAVATION, TRENCHING, BORROW AND FILL OPERATIONS AT ANY ONE TIME SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING. ALL DISTURBED AREAS SHALL BE TREATED WITH PERMANENT STABILIZATION MEASURES WITHIN 3 WORKING DAYS OF FINAL GRADING.
- 6.) ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN HAS OCCURRED. ALL NECESSARY REPAIR AND MAINTENANCE WILL BE DONE AT THIS INSPECTION TIME.
- 7.) ALL EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE PROPERLY INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS WITHIN THEIR RESPECTIVE DRAINAGE AREAS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
- 8.) ALL EROSION CONTROL DEVICES SHALL BE PROPERLY INSTALLED PRIOR TO ANY SOIL DISTURBANCE.
- 9.) ANY SLOPES STEEPER THAN 3H:1V SHALL BE STAKED WITH EROSION CONTROL FABRIC UNLESS INDICATED ON THE PLAN.
- 10.) ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- 1.) WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH, OR A TACKING AGENT MAY BE REQUIRED TO PROTECT NEARBY RESIDENCES AND WATER RESOURCES.
- 2.) CHANNELIZED RUNOFF ENTERING THE PROJECT SITE FROM ADJOINING LANDS SHALL BE DIVERTED THROUGH NATURALLY OR ARTIFICIALLY EROSION-RESISTANT CONVEYANCES. IF CHANNELIZED RUNOFF CANNOT BE DIVERTED, SITE BEST MANAGEMENT PRACTICES MUST ACCOUNT FOR THE ADDITIONAL FLOW RATES AND EROSION POTENTIAL THAT SUCH RUNOFF PRESENTS.
- 13.) THE CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS TO PREVENT SOILS FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPPED (NOT FLUSHED) PERIODICALLY TO REMOVE SOIL, DIRT, AND/OR DUST.
- 14.) EROSION CONTROLS SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF TEMPORARY STOCKPILES. ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING. ALL STOCK PILES SHALL BE PLACED AT LEAST 75 FEET FROM STREAMS OR WETLANDS.
- 15.) ADDITIONAL EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) SHALL INCLUDE THE FOLLOWING:
- a. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
- b. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
- c. DISCHARGE OF TRENCH WATER OR DEWATERING EFFLUENT MUST BE PROPERLY TREATED TO REMOVE SEDIMENT IN ACCORDANCE WITH THE WDNR CONSERVATION PRACTICE STANDARD 1061 - DEWATERING OR A SUBSEQUENT WDNR DEWATERING STANDARD PRIOR TO DISCHARGE INTO A STORM SEWER, DITCH, DRAINAGEWAY, OR WETLAND OR LAKE.
- 16.) ALL DRAINAGE CULVERTS, STORM DRAIN INLETS, MANHOLES, OR ANY OTHER EXISTING STRUCTURES THAT COULD BE DAMAGED BY SEDIMENTATION SHALL BE PROTECTED ACCORDING TO THE VARIOUS METHODS PROVIDED IN THE PRINTED CONSERVATION PRACTICE STANDARDS.
- 17.) ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- 18.) DURING THE FIRST SIX WEEKS AFTER INITIAL STABILIZATION OF A DISTURBED WATERING OF ALL NEWLY SEEDED AND MULCHED AREAS SHALL BE PROVIDED WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- 19.) WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BMP'S SUCH AS SILT FENCES, STRAW BALES, AND SEDIMENT TRAPS SHALL BE REMOVED AND THESE AREAS STABILIZED.
- 20.) ALL TEMPORARY BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED.
- 21.) ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED AND MULCH UNLESS OTHERWISE SPECIFIED. A MINIMUM OF FOUR INCHES OF TOPSOIL SHALL BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.



MAINTENANCE REQUIREMENT:
FOLLOWING EACH RUNOFF EVENT, MONITOR AND, IF NECESSARY, REMOVE ALL ACCUMULATED SEDIMENT & DEBRIS FROM THE UNIT AFTER THE HEIGHT OF THE ACCUMULATED MATERIAL REACHES 1/3 OF THE HEIGHT OF THE SEDIMENT BAG.

INLET PROTECTION DETAIL, TYPE D

NTS

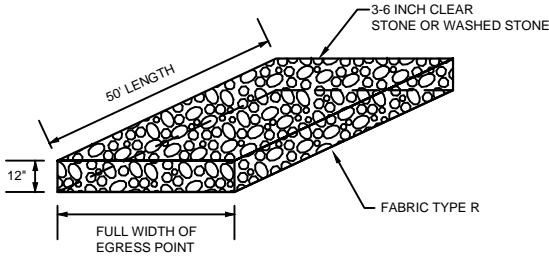


GENERAL NOTES:

1. ENDS OF FENCE SHALL BE TURNED UPSLOPE 1 TO 2 FEET IN ELEVATION TO PREVENT FLANKING.
2. STAPLE FABRIC WITH 1/2 INCH (MINIMUM) STAPLES TO THE UPSLOPE SIDE OF THE POSTS.
3. WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.

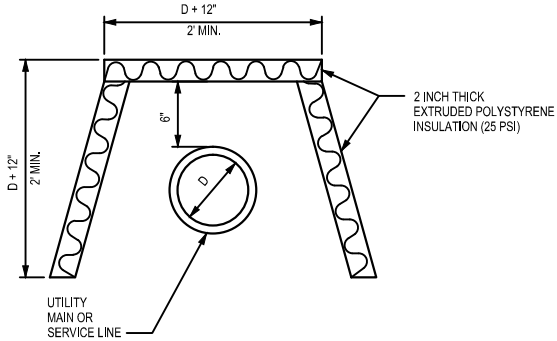
SILT FENCE INSTALLATION AT SITE PERIMETER DETAIL

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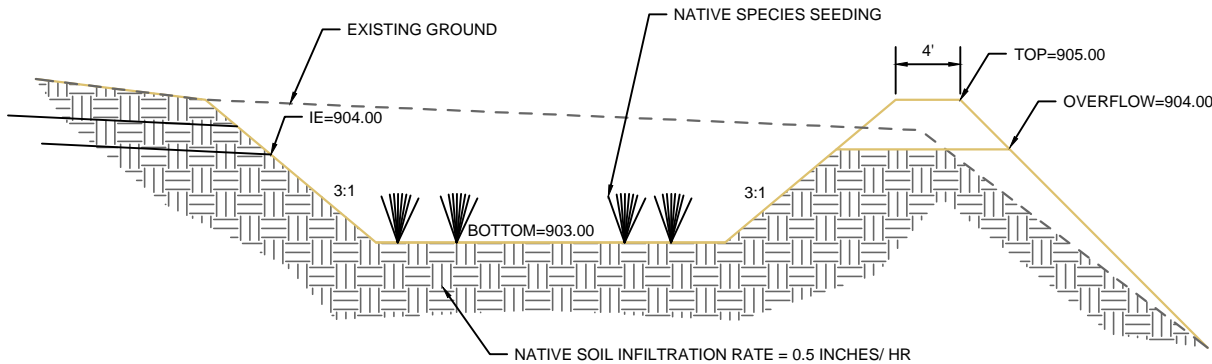
STONE TRACKING PAD DETAIL

NTS



PIPE INSULATION DETAIL

SCALE: NONE



INFILTRATION BASIN CROSS SECTION

NO SCALE

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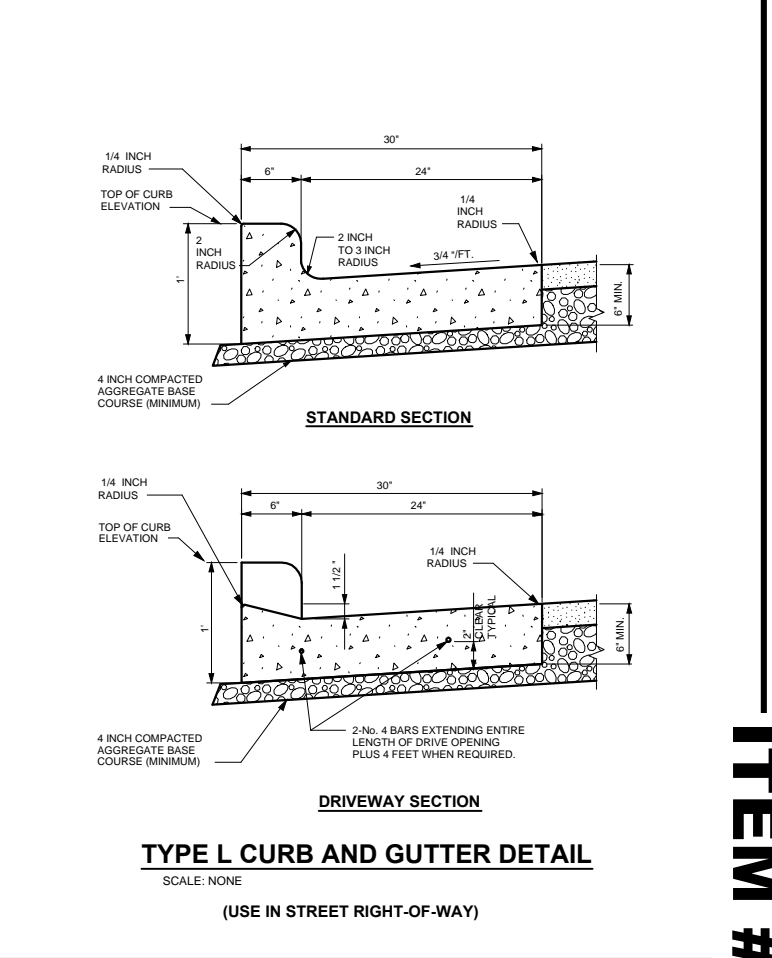
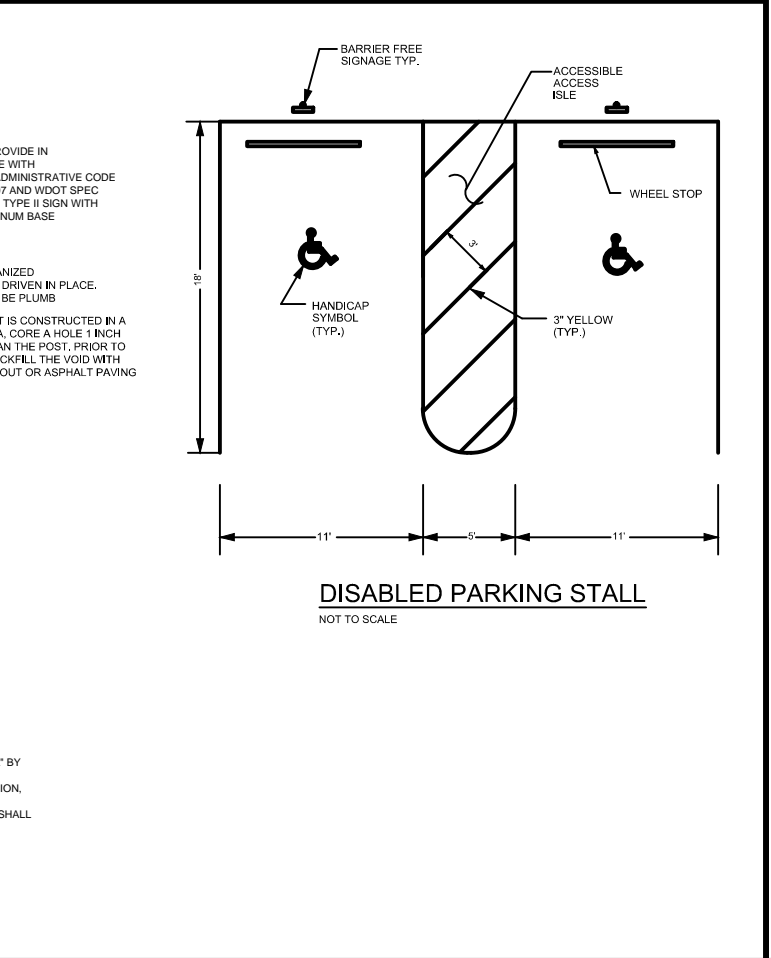
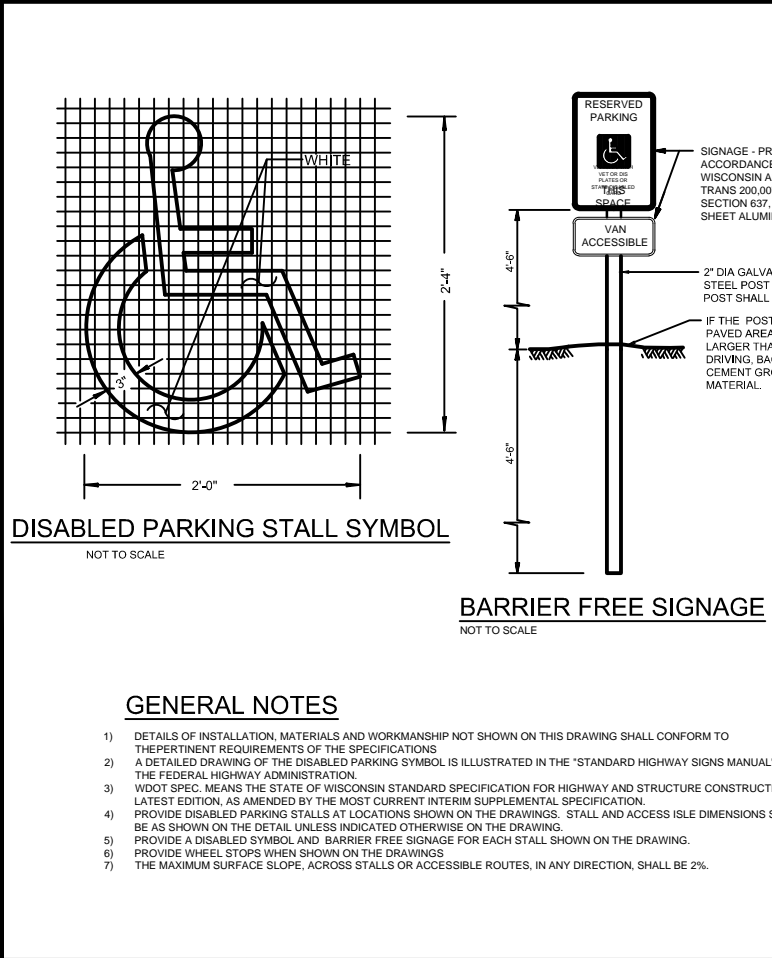
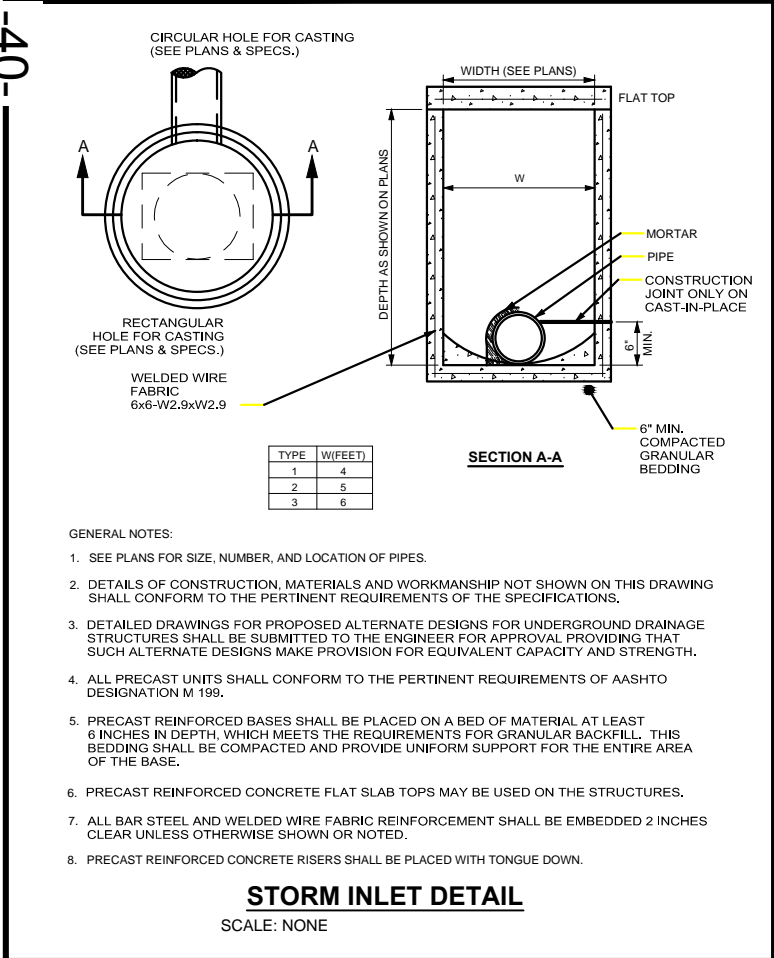
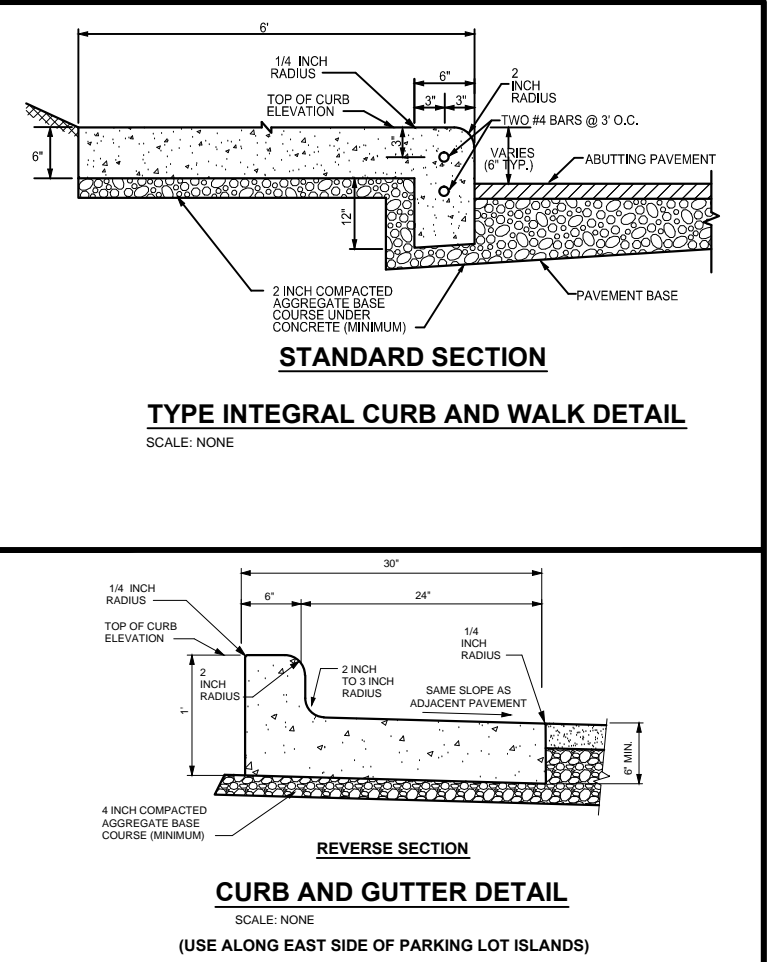
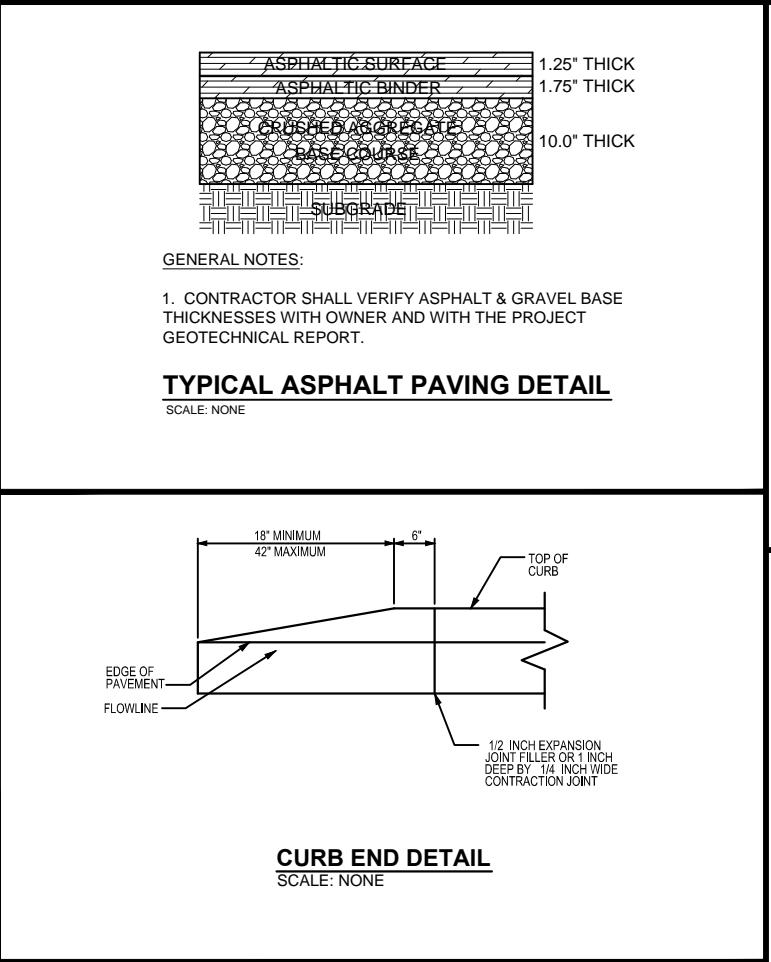
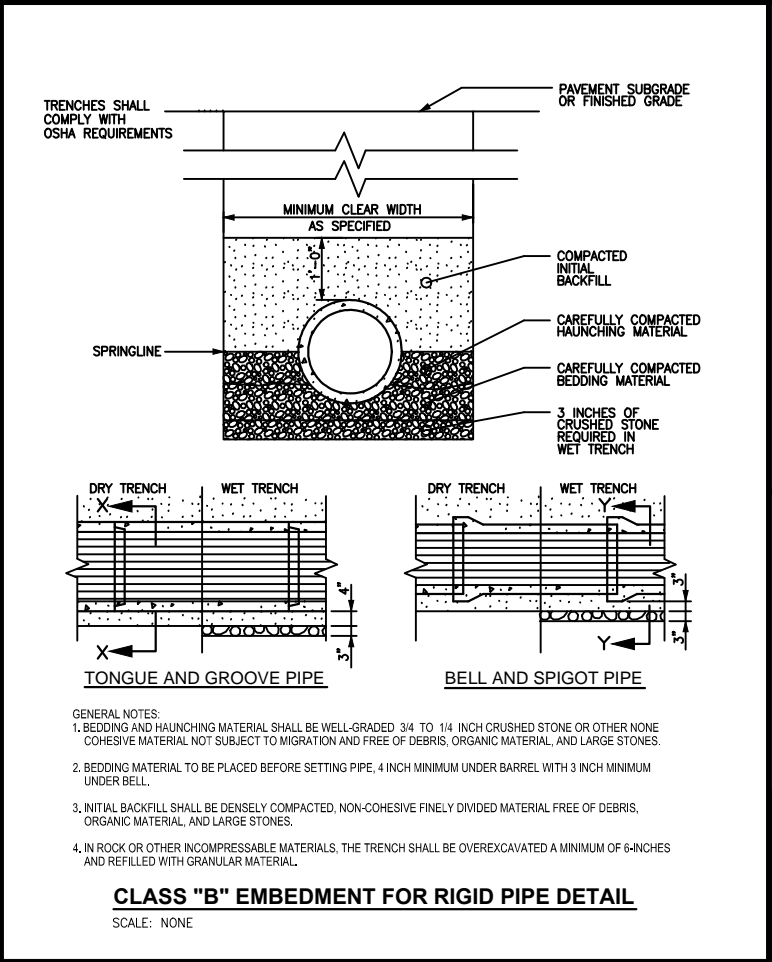
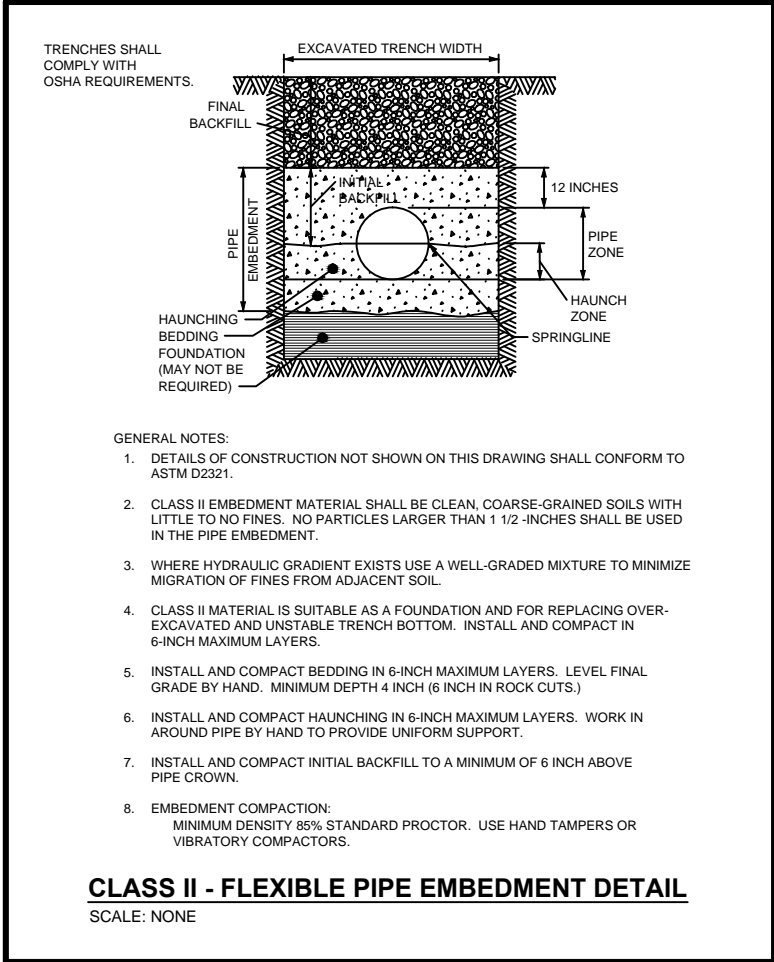
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DETAIL SHEET

AT HOME AGAIN - WAUNAKEE
AT HOME AGAIN
WAUNAKEE, DANE COUNTY, WI

FILE NO. 12236006
SHEET C5



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DETAIL SHEET

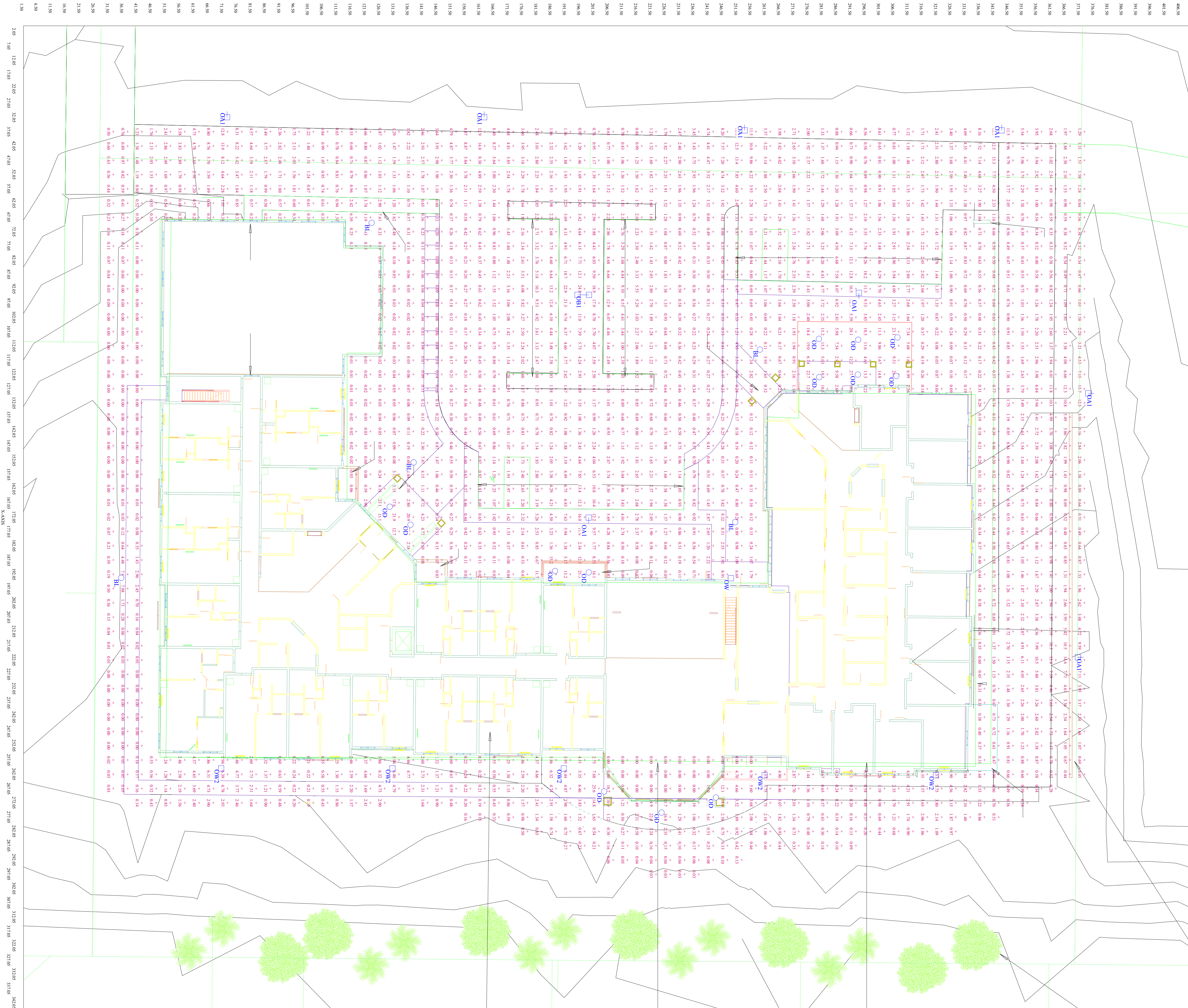
AT HOME AGAIN - WAUNAKEE
AT HOME AGAIN
WAUNAKEE, DANE COUNTY, WI

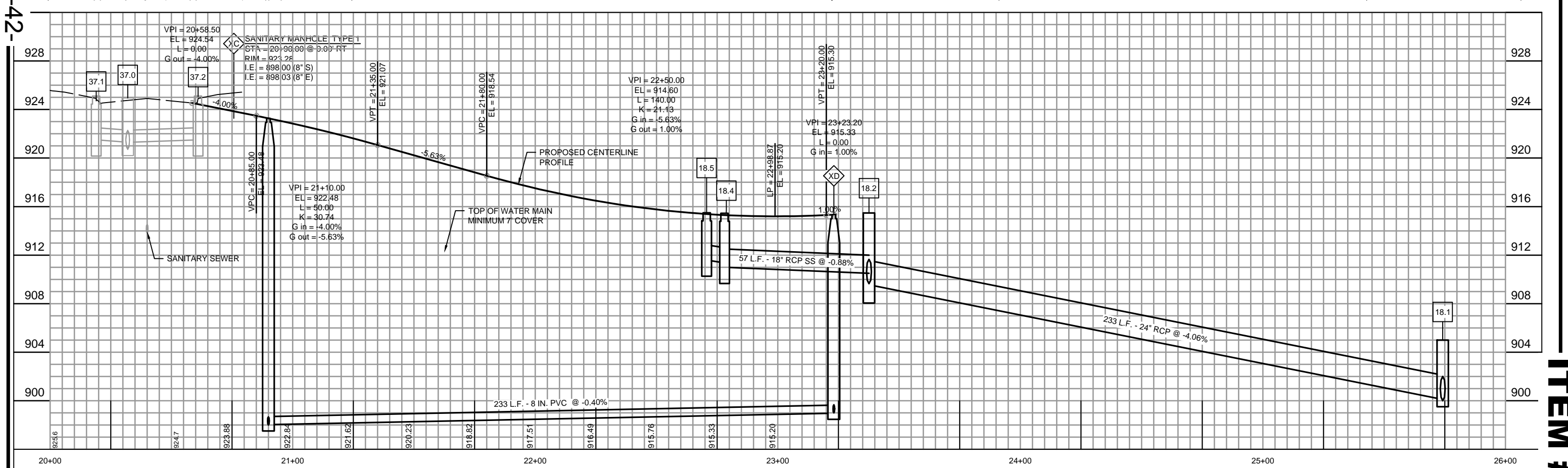
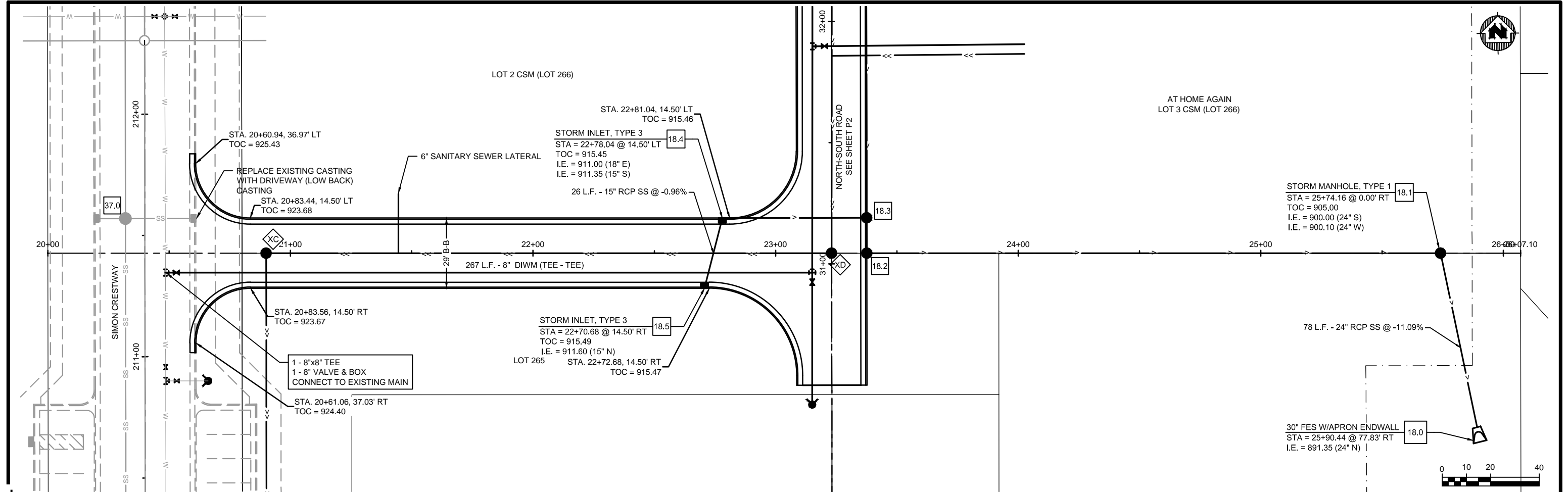
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ITEM #3.

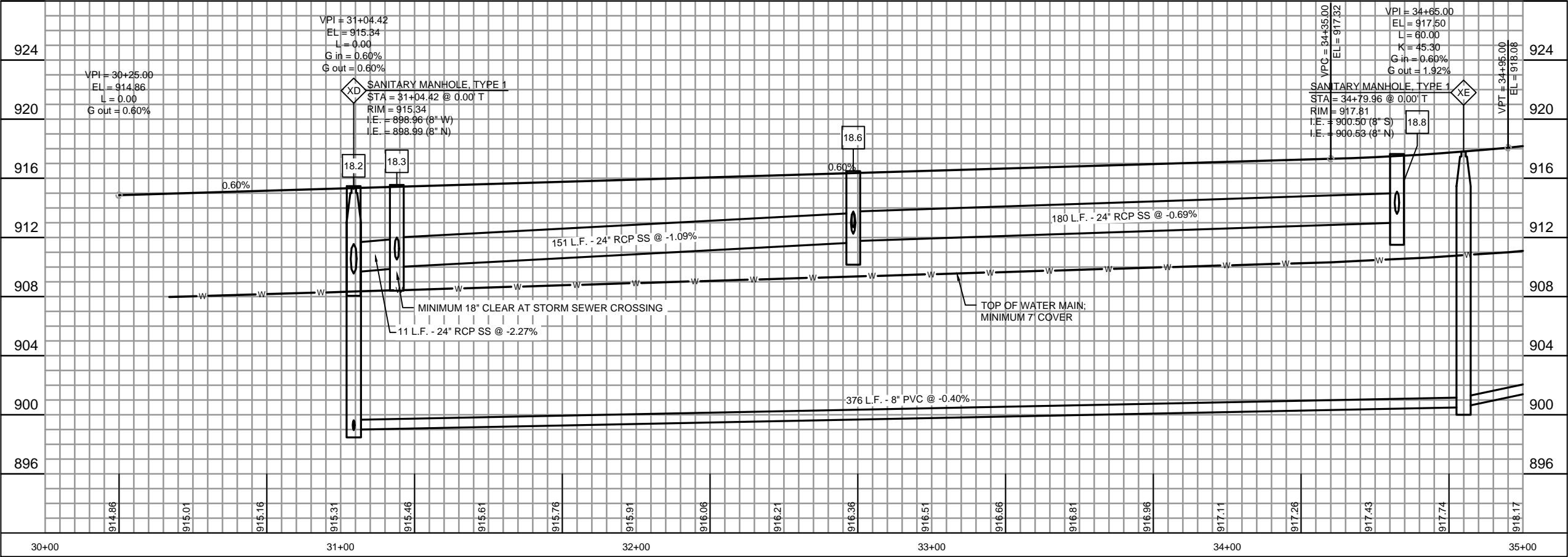
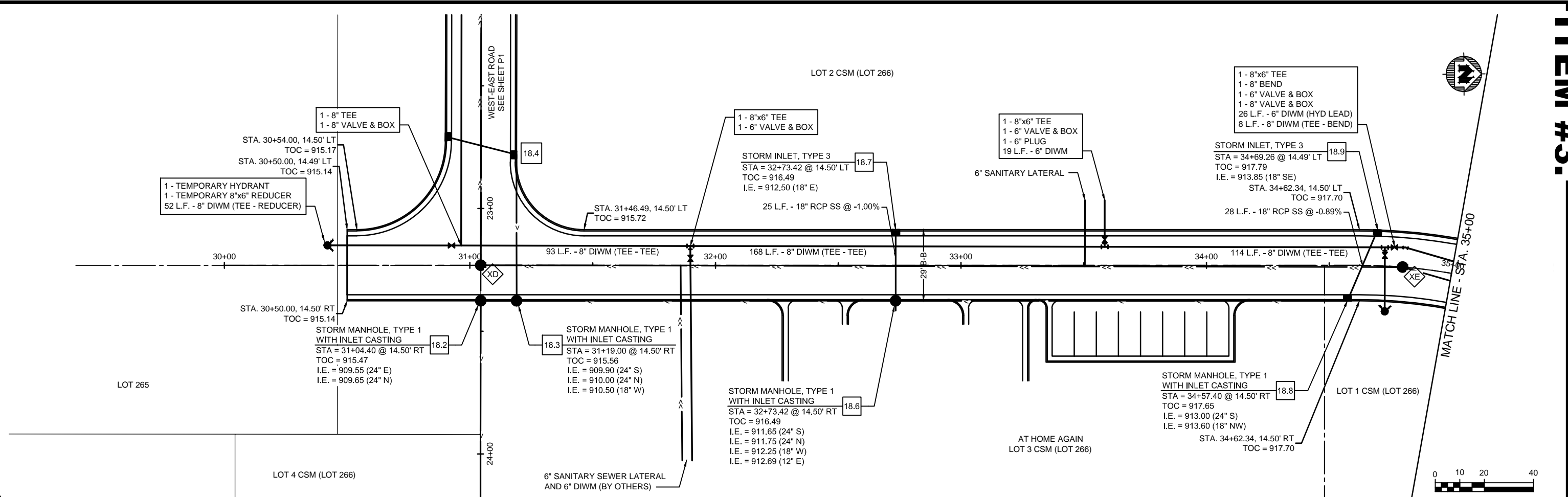
GROUP	MIN	MAX	AVE	AVE/MIN	MAX/MIN
Statistcs...	0.00	27.19	2.37	N/A	N/A

Luminaires Used		TYPE	QTY	TEST#	DESCRIPTION
BL	5	-----			XHYVP-180 Baffle. (1) B <XHYVP-180-LED-16-350-NW-UEP>, LTF= 1.00;
OA1	8	-----			Single smt Slic, 15 SSS, Cone Pour (1) A1 <XLIC3-3-LED-SS-NW>, LTF= 1.00;
OB1	1	-----			Double Smt Slic, 15 SSS, Cone Pour (2) A1 <XLIC3-3-LED-SS-NW>, LTF= 1.00;
OD	13	-----			LED downlig LST. (1) D <L6-18-LED-40-52-TR68-HZ-WH>, LTF= 1.00;
OW	1	-----			Wall SWS LST. (1) W <SWS-2-LED-CW-UEP>, LTF= 1.00;
OW2	5	-----			Wall SWS LST. (1) W2 <SWS-2-LED-CW-UEP>, LTF= 1.00;





ITEM #3.



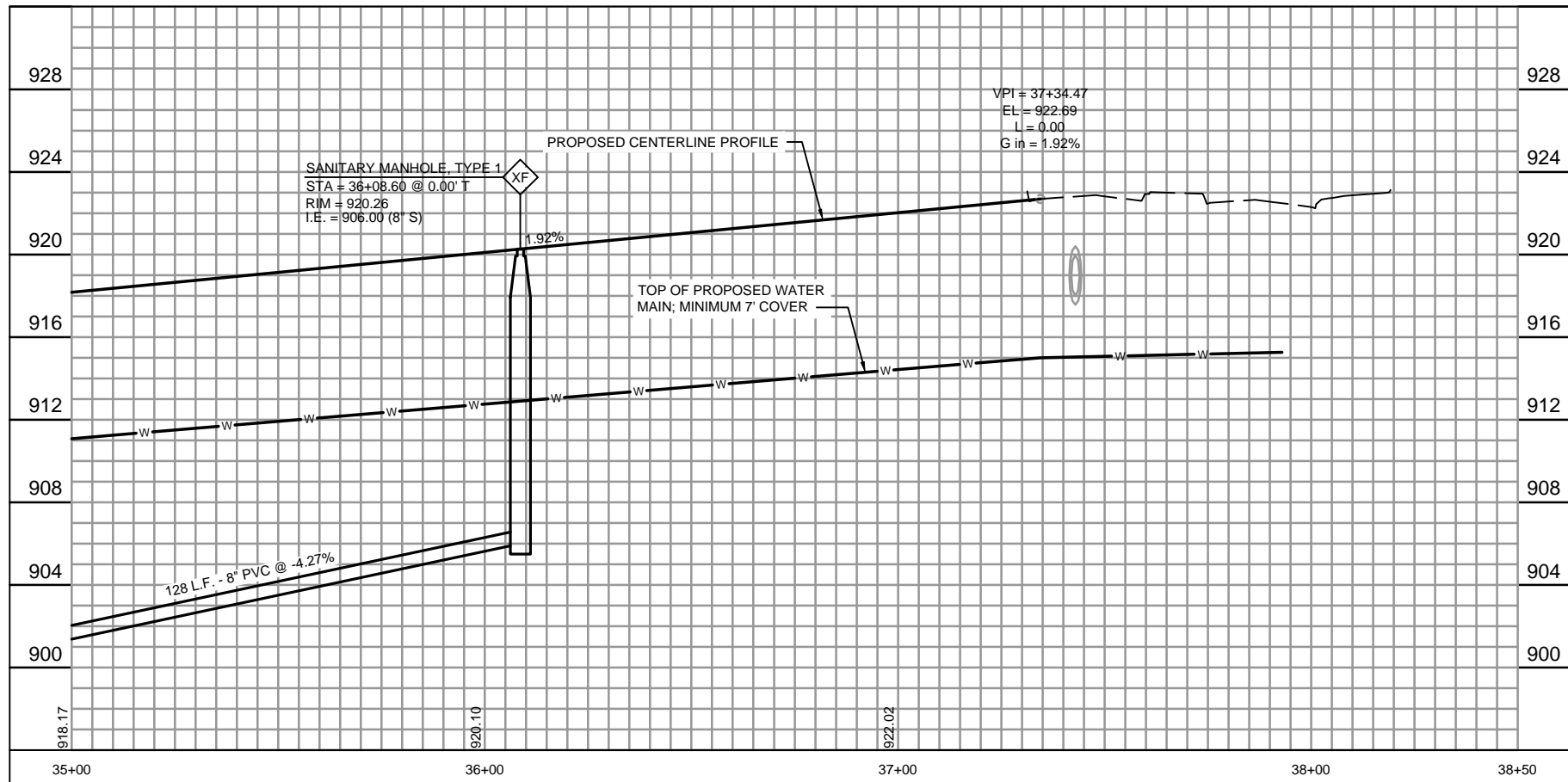
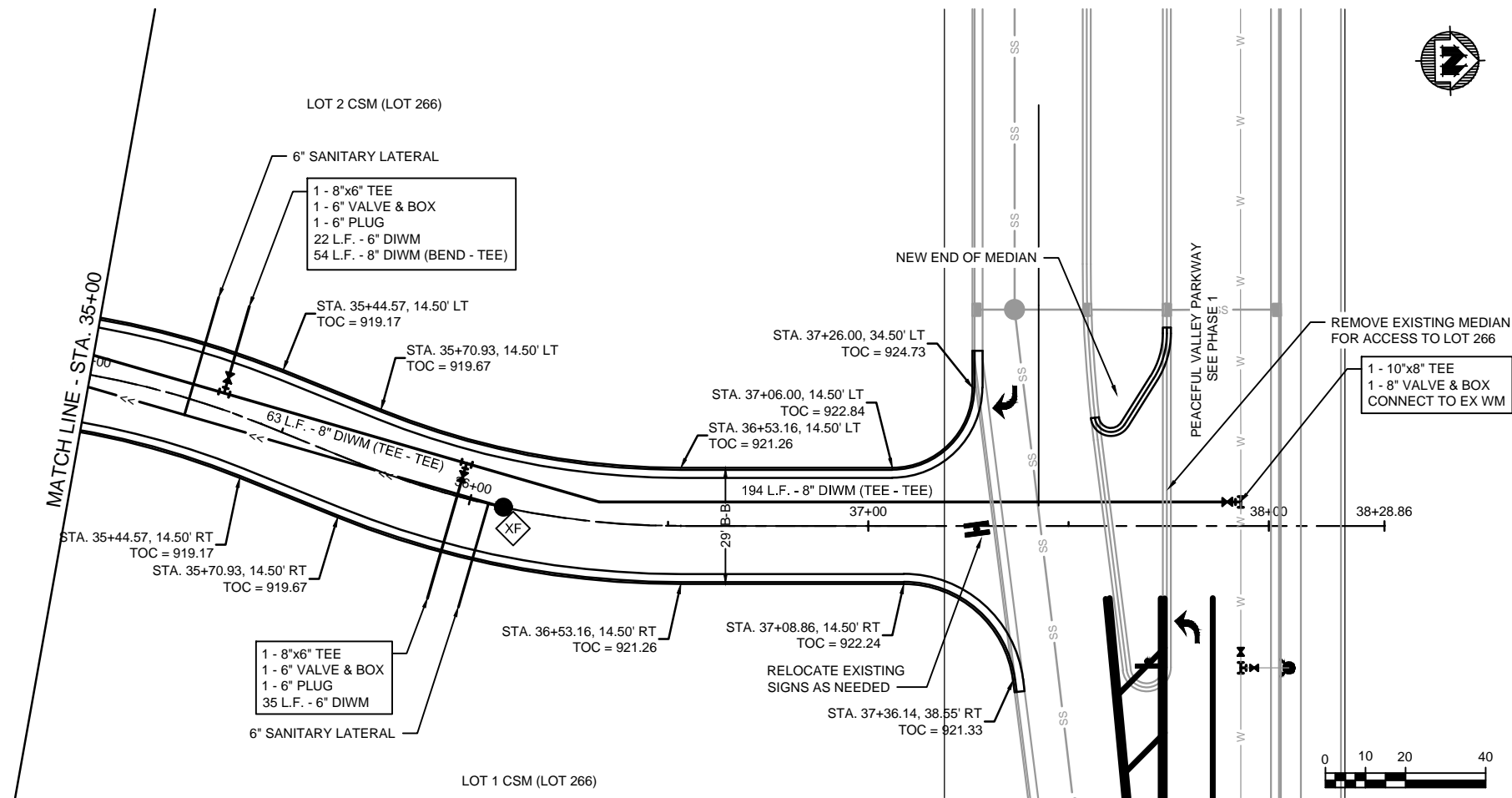
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PROJECT DATE:	JUNE 2016	DRAWN BY:	INIT				
F.B.:		CHECKED BY:	INIT				
PLOT DATE:	6/20/16	P:\870\877\00877008\CAD\Construction Documents\Lot 266\NS Lot 266 1.dwg					

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ARCHITECTURE | ENGINEERING | ENVIRONMENTAL
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(608) 356-2771 (800) 362-4505 Fax: (608) 356-2770
Web Address: www.msa-ps.com
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NORTH-SOUTH ROAD (LOT 266)

KILKENNY FARMS
DON TIERNEY / VILLAGE OF WAUNAKEE
DANE COUNTY, WISCONSIN

FILE NO.	00877008
SHEET	P2



PROJECT NO.: 00877008	SCALE: AS SHOWN	NO.	DATE	REVISION	BY
PROJECT DATE: JUNE 2016	DRAWN BY: INIT	-	-	-	-
F.B.:	CHECKED BY: INIT	-	-	-	-
PLOT DATE: 6/20/16	P:\870s\877\00877008\CAD\Construction Documents\Lot 266\NS Lot 266 1.dwg	-	-	-	-

MSA

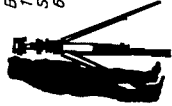
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NORTH-SOUTH ROAD (LOT 266)

KILKENNY FARMS
DON TIERNEY / VILLAGE OF WAUNAKEE
DANE COUNTY, WISCONSIN

FILE NO. 008770
SHEET P3

BIRRENKOTT SURVEYING
BIRRENKOTT SURVEYING INC.
1677 N. BRISTOL STREET
SUN PRAIRIE, WIS. 53590
608-837-7463



PREPARED FOR:
DON TIERNEY
3564 EGRE ROAD
DEFOREST, WI 53532
608-241-0102

L:\2011\110118-Tierney\Lot 266\160495-CSM

Curve Data

CURVE	RADIUS	ARC	CHORD	CHORD BEARING	DELTA ANGLE
C1	25.00'	39.27'	35.36'	N 45°27'55" E	90°00'00"
C2	214.50'	82.23'	81.73'	N11°26'52"E	21°57'54"
C3	214.50'	82.23'	81.73'	S11°26'52"W	21°57'54"

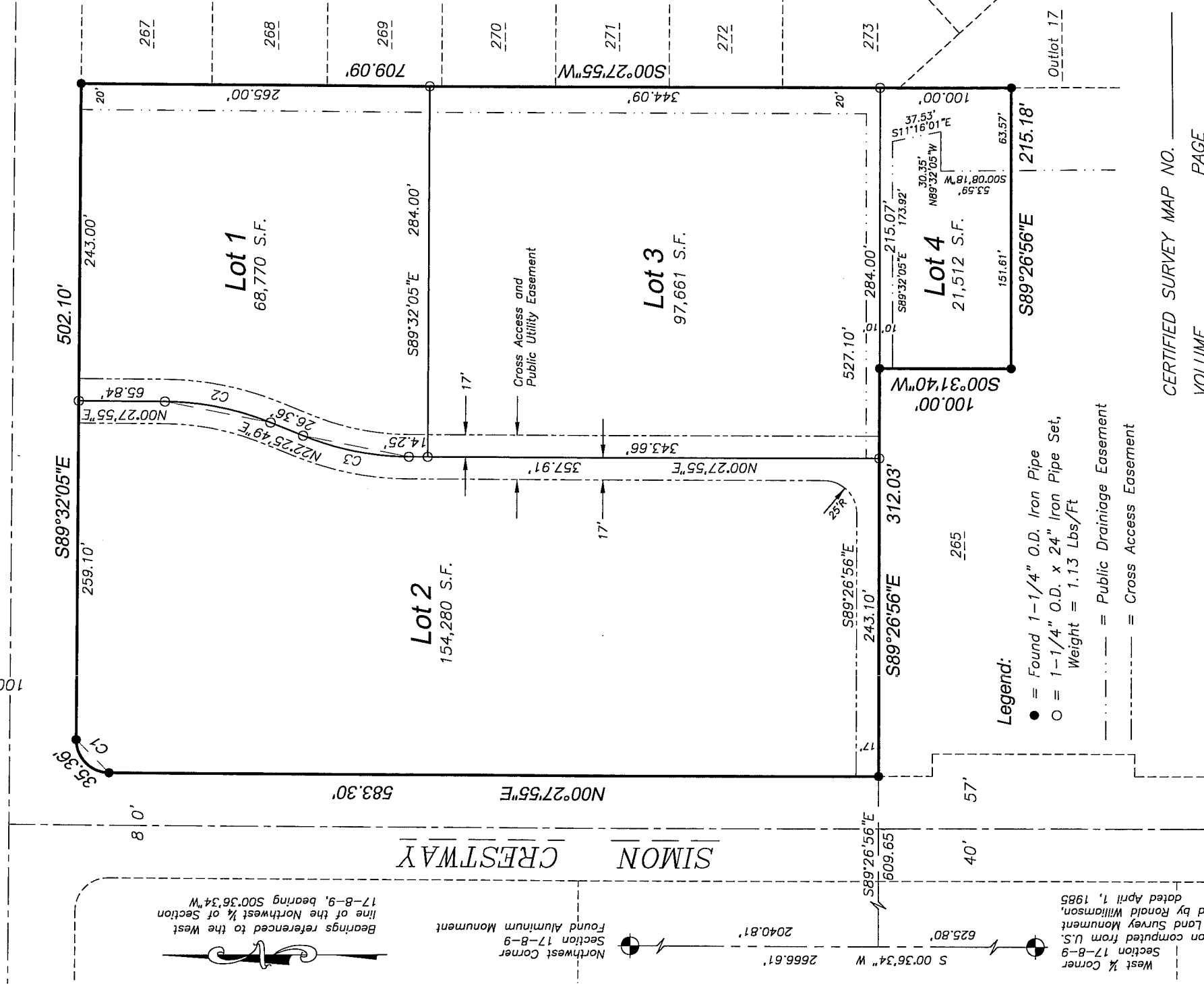
CERTIFIED SURVEY MAP

Lot 266, Kilkenny Farms, located in the Southwest 1/4 of the Northwest 1/4, Section 17, T8N, R9E, Village of Waunakee, Dane County, Wisconsin



Scale: 1" = 100'

PEACEFUL VALLEY PARKWAY



Legend:

- = Found 1-1/4" O.D. Iron Pipe
- = 1-1/4" O.D. x 24" Iron Pipe Set, Weight = 1.13 Lbs/Ft
- = Public Drainage Easement
- = Cross Access Easement

Bearings referenced to the West line of the Northwest 1/4 of Section 17-B-9, bearing S00°36'34"W

Northwest Corner
Section 17-B-9
Found Aluminum Monument

West 1/4 Corner
Section 17-B-9
Position computed from U.S. Public Land Survey Monument
Record by Ronald Williamson,
dated April 1, 1985

CERTIFIED SURVEY MAP NO. _____
VOLUME _____ PAGE _____
DOCUMENT NO. _____



CERTIFIED SURVEY MAP

DATED: JUNE 16, 2016

**BIRRENKOTT
SURVEYING, INC.**

P.O. Box 237
1677 N. Bristol Street
Sun Prairie, Wisconsin 53590
Phone (608) 837-7463
Fax (608) 837-1081

Mortgagee Certificate:

First Business Bank, mortgagee of certain of the lands described hereon, does hereby consent to the surveying, dividing, mapping and dedicating of the land described on this Certified Survey Map, and does hereby consent to the certificate of Kilkenny Farms, LLC, owner.

First Business Bank

Brian E. Hagen, Vice-President

**State of Wisconsin)
Dane County) ss**

Personally came before me this _____ day of _____, 2016, the above-named Brian E. Hagen, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public

My Commission Expires _____

Printed name

Surveyed For :

Donald and Joanne Tierney
3564 Egge Road
DeForest, Wis. 53532
837-0102

Surveyed: CKC
Drawn: MAP
Check: MAP
Approved: DVB
Field book:
Tape/File:

J:\CARLSON

Document No. _____

Sheet 2 of 3

Office Map No.: **160495**

Certified Survey Map No. _____, Volume _____, Page _____

ITEM #3.



CERTIFIED SURVEY MAP

DATED: JUNE 16, 2016

**BIRRENKOTT
SURVEYING, INC.**

P.O. Box 237
1677 N. Bristol Street
Sun Prairie, Wisconsin 53590
Phone (608) 837-7463
Fax (608) 837-1081

Surveyor's Certificate

I, Daniel V. Birrenkott, hereby certify that this survey is in full compliance with Chapter 236.34 of Wisconsin Statutes. I also certify that by the direction of the owners listed hereon, I have surveyed, divided and mapped the lands described hereon and that the map is a correct representation of all of the exterior boundaries of the land surveyed and division of that land, in accordance with the information provided.

Daniel V. Birrenkott, Registered Land Surveyor No. S-1531

Description:

Lot 266, Kilkenny Farms, located in the Southwest 1/4 of the Northwest 1/4, Section 17, T8N, R9E, Village of Waunakee, Dane County, Wisconsin; Containing 342,223 square feet, or 7.856 acres.

Owners Certificate:

As owner, Kilkenny Farms, LLC, does hereby certify that it has caused the lands described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as shown. It also certifies that this Certified Survey Map is required to be submitted to the Village of Waunakee as a required approving authority.

Kilkenny Farms, LLC

Donald C. Tierney, Member

**State of Wisconsin)
Dane County) ss**

C. Tierney, to me known to be the person who executed the foregoing instrument and acknowledged the same.

My Commission Expires _____

Notary Public

Printed name

Village of Waunakee Approval Certificate:

Resolved, that this Certified Survey Map is hereby acknowledged and accepted by the Village of Waunakee and is approved for recording this _____ day of _____, 2016.

Julee R. Helt, Village of Waunakee clerk Dated _____

Notes:

Utility Easement: No poles or buried cables are to be placed on any lot line or corner. The disturbance of a survey stake by anyone is in violation of Section 236.32 of Wisconsin Statutes.

Wetlands if present have not been delineated.

This survey is subject to any and all easements and agreements both recorded and unrecorded.

Surveyed For :

Donald and Joanne Tierney
3564 Egge Road
DeForest, Wis. 53532
837-0102

Register of Deeds Certificate:
Received for recording this _____ day of _____, 20____

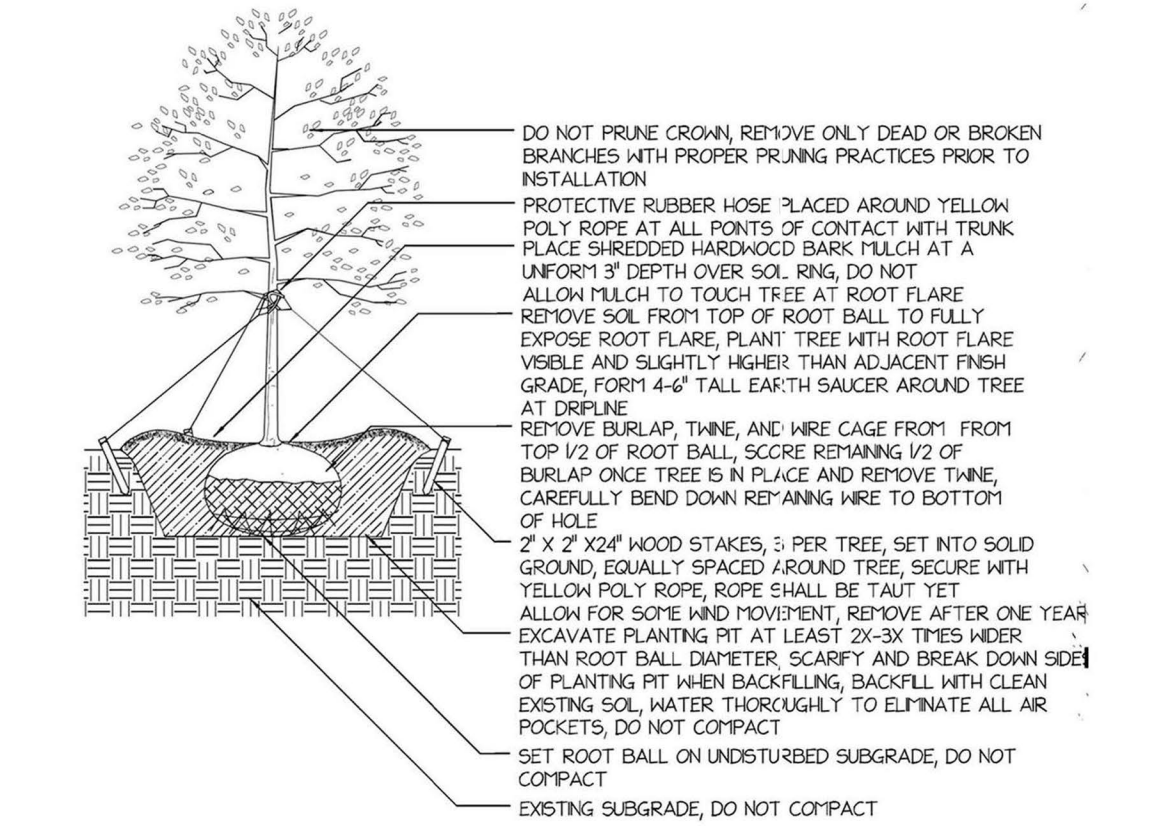
Surveyed: CKC
Drawn: MAP
Check: MAP
Approved: DVB
Field book: _____
Tape/File: J:\CARLSON

at _____ o'clock ____ . m and recorded in Volume _____ of Certified Survey Maps of Dane County on Pages _____.

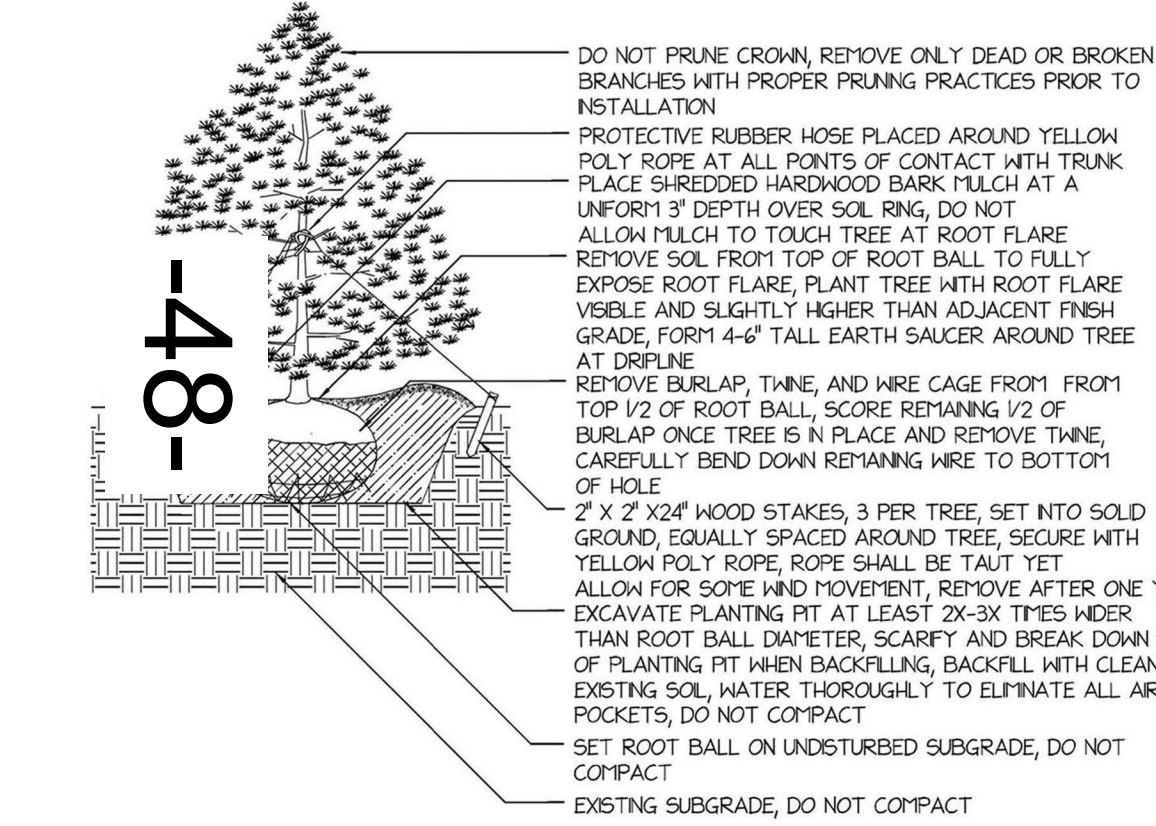
Document No. _____
Kristi Chlebowski, Register of Deeds

Planting Notes:

1) CONTRACTOR SHALL VERIFY LOCATION OF ALL ON-SITE UTILITIES PRIOR TO COMMENCING ANY WORK ON-SITE.
2) STATE STATUTE 182.0175 REQUIRES THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGER'S HOTLINE AT 1-800-242-8511.
3) SUPPLY AND INSTALL ALL WISCONSIN GROWN NURSERY STOCK. GUARANTEE ALL STOCK FOR A PERIOD OF ONE YEAR. ALL PLANTING MATERIAL IS TO MEET AMERICAN STANDARDS FOR NURSERY STOCK ANSI Z60.1-2004. ALL PLANT MATERIAL IS TO BE PLANTED IMMEDIATELY AFTER ARRIVAL AND UNLOADING ON SITE. PLANT TYPES, SIZES, AND QUANTITIES ARE ACCORDING TO THE PROPOSED PLANS. IF ANY DISCREPANCIES ARE PRESENT BETWEEN PLANT LEGEND AND GRAPHIC DEPICTION, GRAPHICALLY DEPICTED QUANTITIES SHALL HOLD PRECEDENCE.
4) ACTUAL LOCATIONS OF PLANT MATERIAL ARE SUBJECT TO FINAL SITE LAYOUT AND CONDITIONS AND MAY BE ADJUSTED ACCORDINGLY.
5) GUY AND STAKE ALL LARGE TREES AND EVERGREENS.
6) ALL PLANTS ARE TO BE BACKFILLED WITH A 50/50 MIX OF PLANT STARTER AND TOPSOIL BLEND AND IS TO BE FREE OF ROOTS, ROCKS LARGER THAN 1" IN DIAMETER, SUBSOL DEBRIS, AND WEEDS.
7) GUY AND REMOVE THE TOP BURLAP AND TWINE OR STRING FROM ALL BALLED AND BURLAPPED PLANTS AND SET ALL PLANTS AT FINISHED GRADE.
8) SUPPLY AND INSTALL 3-4" OF SHREDED HARDWOOD BARK MULCH IN ALL PLANTING BEDS, AND 1-1 1/2" IN ALL PERENNIAL BEDS. TREAT ALL AREAS WITH A PRE-EMERGENT HERBICIDE (GRANULAR FORM) TREFLAN OR APPROVED EQUAL FOLLOWING ALL MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS PRIOR TO PLACING MULCH.
9) SUPPLY AND INSTALL 3-4" OF SHREDED HARDWOOD MULCH 1" PAST THE DRIP LINE OF ALL INDIVIDUAL TREES. DO NOT PLANT MULCH AGAINST TRUNK OF TREE.
10) GUY AND INSTALL ALL BLACK VINYL EDGING "ACE OF DIAMOND" MANUFACTURED BY VALLEYVIEW INDUSTRIES OR APPROVED EQUAL IN ALL PLANTING BEDS THAT ADJOIN TURF AREAS ACCORDING TO THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
11) ALL TURF AREAS ARE TO BE FINE-GRADED. ALL TURF AREAS ARE TO BE SEEDED, AREAS ARE TO BE SOWN AT THE MANUFACTURER'S RECOMMENDED RATES AND COVERED WITH A CLEAN OAT STRAW. TURF AREAS ARE TO BE SOWN WITH NELSON LANDSCAPE'S CUSTOM BLENDED SEED FOR LAWNS AND IS TO BE APPLIED AT THE RECOMMENDED RATE, A STARTER FERTILIZER APPLIED, AND COVERED WITH A CLEAN OAT STRAW. ANY AREAS WHERE POTENTIAL EROSION EXISTS DUE TO WIND OR WATER OR OTHER MEANS INCLUDING ALL SLOPES OF 3:1 OR GREATER SHALL BE COVERED WITH STRAW EROSION CONTROL BLANKETS (D5-75) MANUFACTURED BY NORTH AMERICAN GREEN, INSTALLED TO MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.



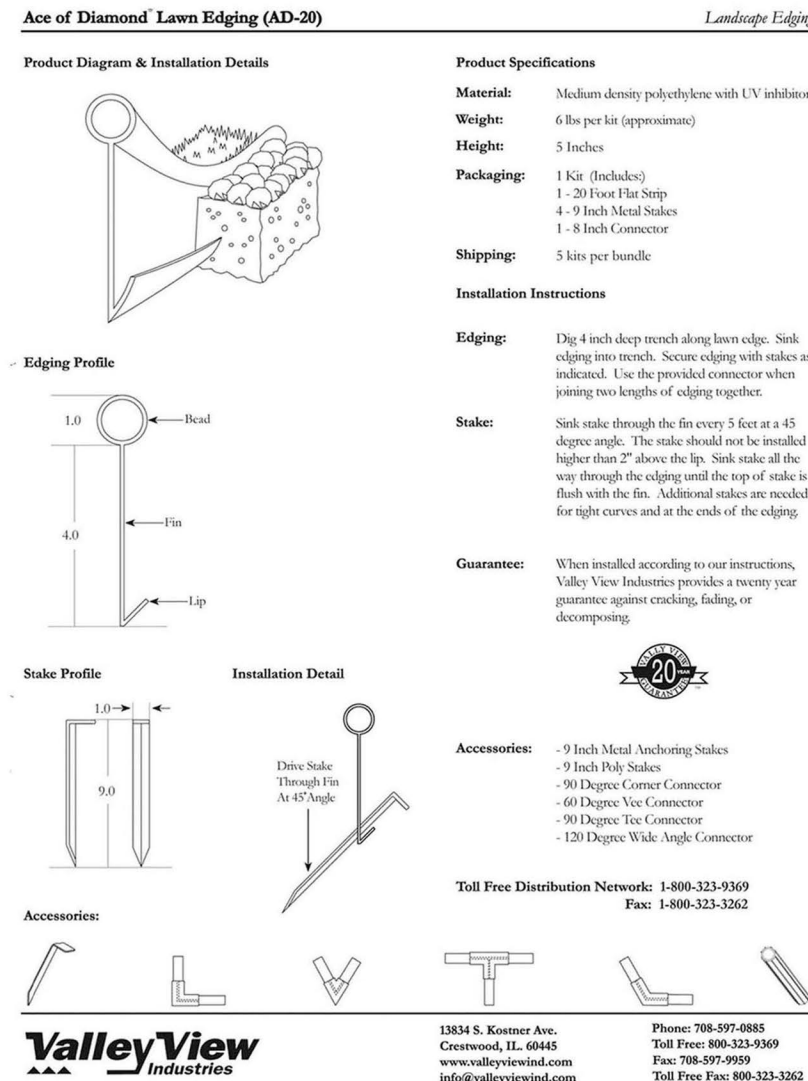
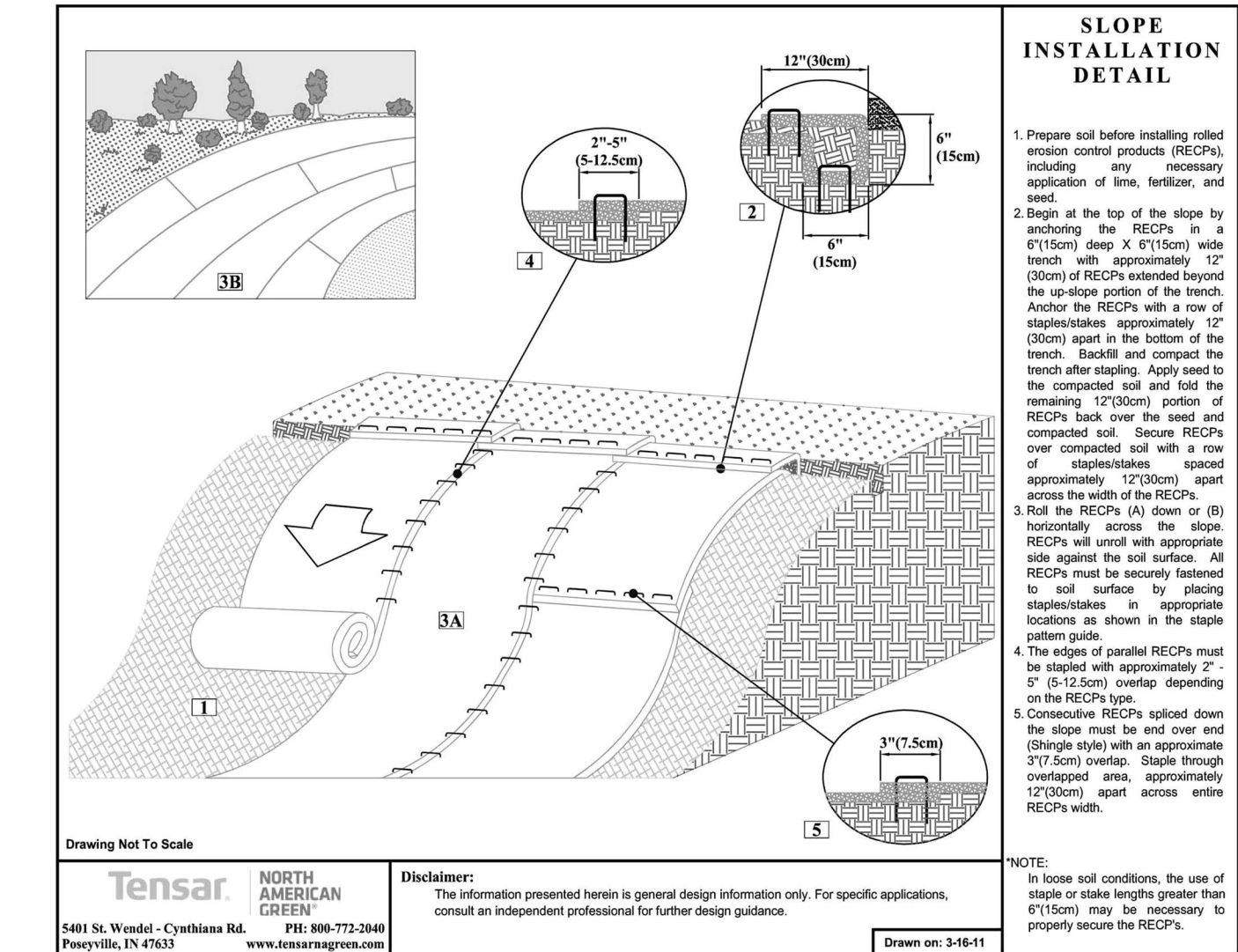
DECIDUOUS TREE PLANTING DETAIL
TYPICAL INSTALLATION- NOT TO SCALE



CONIFEROUS TREE PLANTING DETAIL
TYPICAL INSTALLATION- NOT TO SCALE

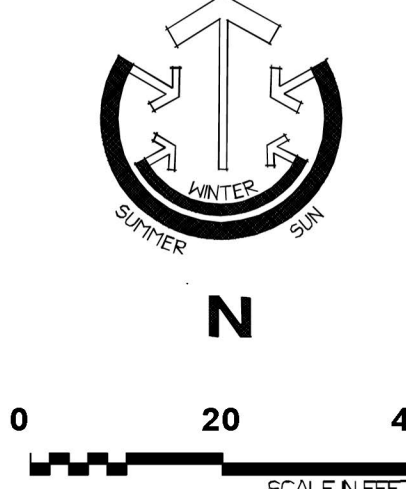
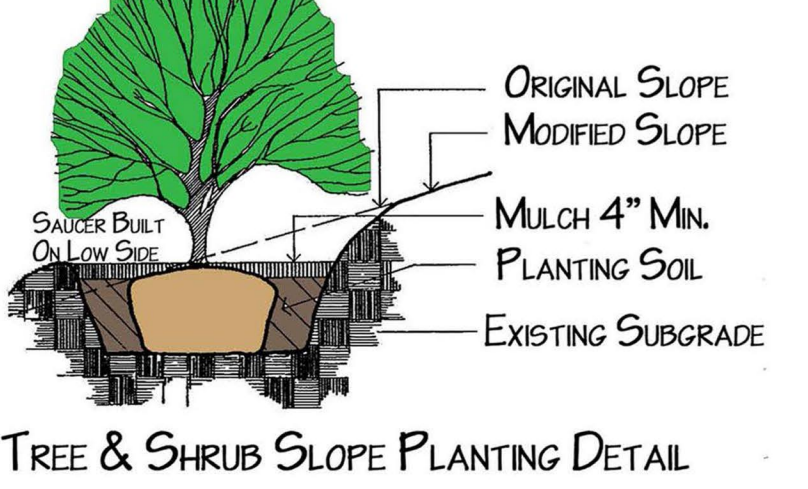
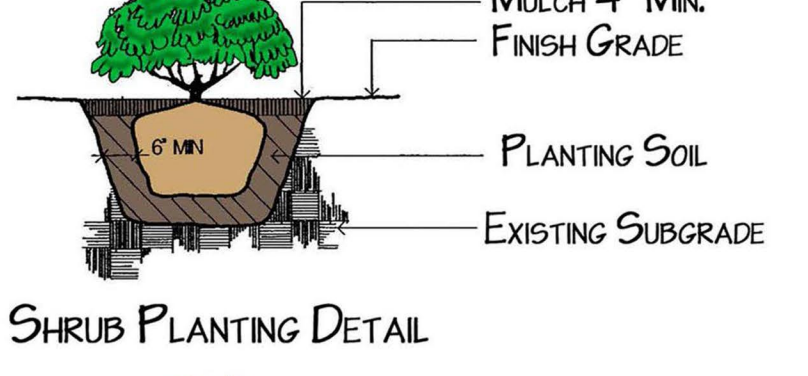
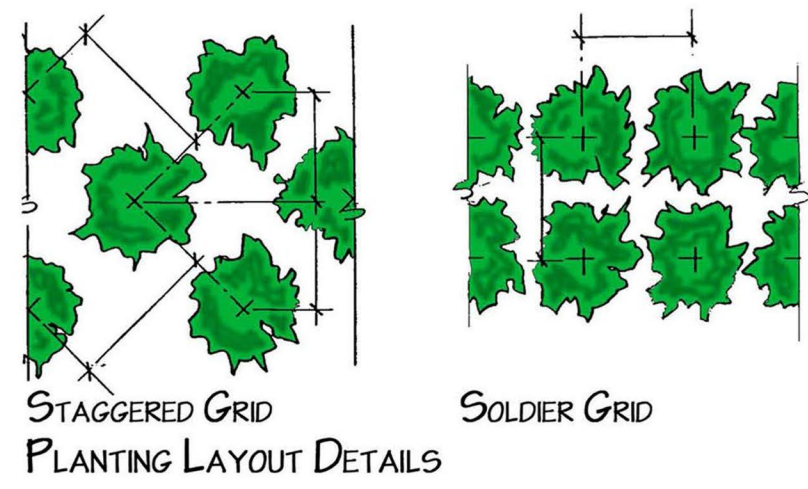
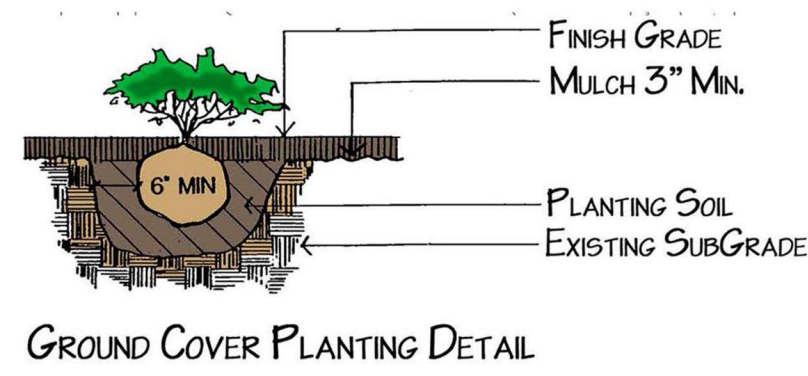
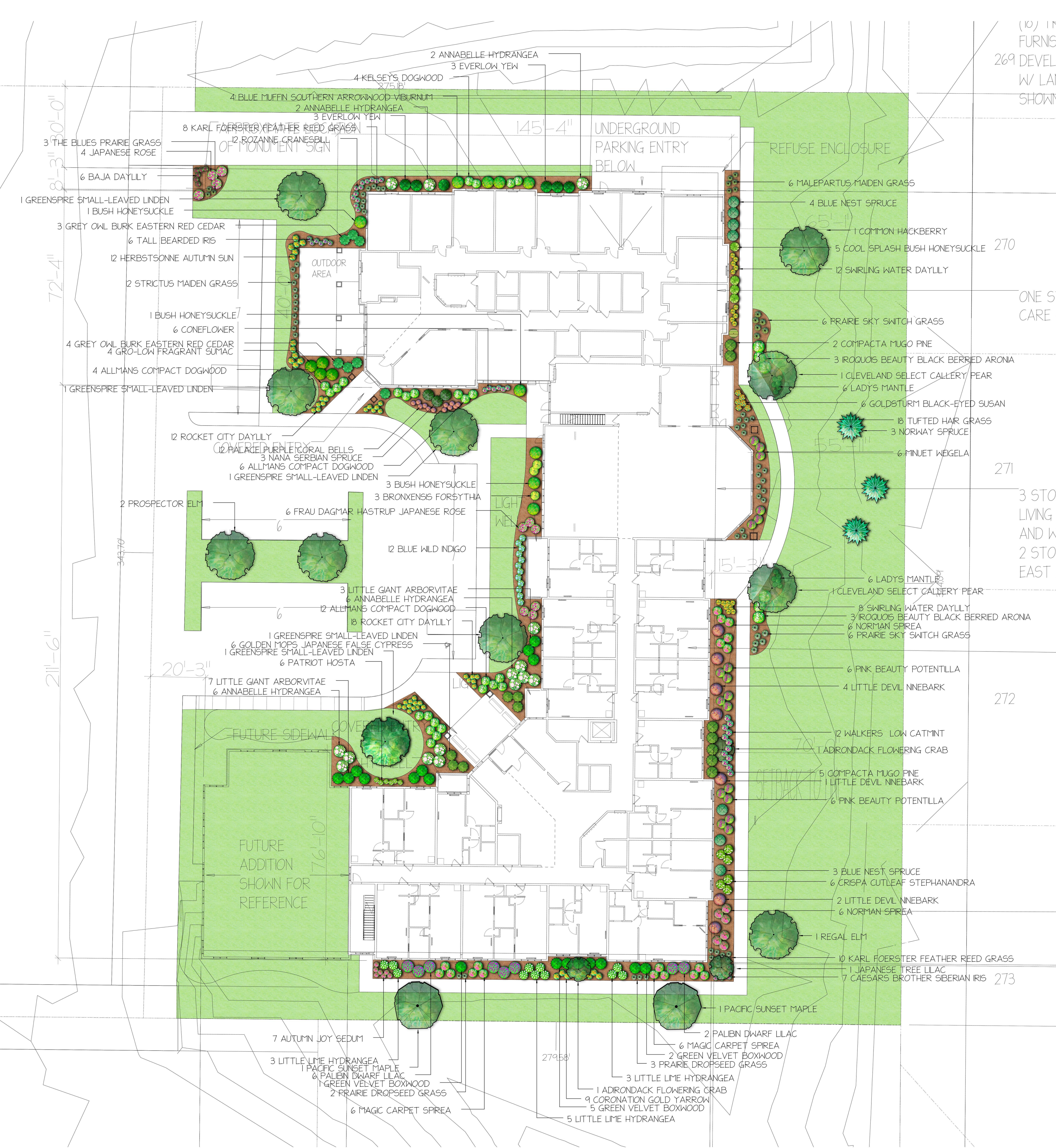
Qty	Botanical Name	Common Name	Size/Condition
Trees			
2	Acer platanoides x truncatum 'Warrenred'	PACIFIC SUNSET MAPLE	2- 1/2-3'/b. b.
1	Celtis occidentalis	COMMON HACKBERRY	2- 1/2-3'/b. b.
3	Ficus x 'Adirondack'	ADIRONDACK FLOWERING CRAB	2-2 1/2'/b. b.
3	Picea abies	NORWAY SPRUCE	7-8'/b. b.
2	Pinus caryoniana 'Cleveland Select'	CLEVELAND SELECT CALLERY FEAR	2-2 1/2'/b. b.
1	Syringa reticulata	JAPANESE TREE LLAC	2-2 1/2'/b. b.
5	Tilia cordata 'Greenspire'	GREENSPIRE SMALL-LEAVED LINDEN	2- 1/2-3'/b. b.
2	Ulmus ulmifolia 'Prospector'	PROSPECTOR ELM	2- 1/2-3'/b. b.
1	Ulmus x 'Regal'	REGAL ELM	2- 1/2-3'/b. b.
Shrubs			
6	Aronia melanocarpa 'Marlot'	ROQUOIS BEAUTY BLACK BERRIED ARONIA	8-24'/cont.
8	Buxus 'Green Velvet'	GREEN VELVET BOXWOOD	8-24'/b. b.
3	Chamaecyparis pisifera 'Golden Mops'	GOLDEN MOPS JAPANESE FALSE CYPRESS	8-24'/cont.
22	Cornus stolonifera 'Allmanns Compact'	ALLMANS COMPACT DOGWOOD	8-24'/cont.
4	Cornus stolonifera 'Kelley'	KELEYS DOGWOOD	8-24'/cont.
4	Diervilla lonicera	BUSH HONEYSUCKLE	8-24'/cont.
5	Diervilla sessilifolia 'Cool Splash'	COOL SPLASH BUSH HONEYSUCKLE	8-24'/cont.
3	Forseythia viridissima 'Bronzenis'	BRONZENIS FORSYTHIA	8-24'/cont.
16	Hydrangea arborescens 'Annabelle'	ANNABELLE HYDRANGEA	8-24'/cont.
11	Hydrangea paniculata 'Lane'	LITTLE LIME HYDRANGEA	8-24'/cont.
7	Juniperus virginiana 'Grey Owl'	GREY OWL BURK EASTERN RED CEDAR	8-24'/cont.
7	Physocarpus opulifolius 'Donna May'	LITTLE DEVIL NINEBARK	24-30'/cont.
7	Picea mariana 'Nand'	BLUE NEST SPRUCE	8-24'/cont.
3	Picea amara 'Nand'	NANA GERBIAN SPRUCE	8-24'/cont.
3	Pinus mugo 'Compact'	COMPACTA MUGO PINE	8-24'/cont.
12	Potentilla fruticosa 'Pink Beauty'	PINK BEAUTY POTENTILLA	8-24'/cont.
4	Rhus aromatica 'Gro-lau'	GRO-LOW FRAGRANT SUMAC	8-24'/cont.
4	Rosa rugosa	JAPANESE ROSE	8'/cont.
6	Rosa rugosa 'Frau Dagmar Hastrup'	FRAU DAGMAR HASTRUP JAPANESE ROSE	8'/cont.
12	Spiraea japonica 'Magic Carpet'	MAGIC CARPET SPIREA	8'/cont.
12	Spiraea japonica 'Norman'	NORMAN SPIREA	8'/cont.
12	Stephanandra incisa 'Crisp'	CRISPA CUTLEAF STEPHANANDRA	8-24'/cont.
6	Syringa meyeri 'Palati'	PALLEN DWARF LLAC	24-30'/cont.
6	Taxus x media 'Everlow'	EVERLOW YEW	8-24'/cont.
10	Thuja occidentalis 'Little Giant'	LITTLE GIANT ARBORVITAE	8-24'/cont.
4	Viburnum dentatum 'Christini'	BLUE MUFFIN SOUTHERN ARROWWOOD VIBURNUM	8-24'/cont.
Ornamental Grasses			
6	Calamagrostis x acutiflora 'Karl Foerster'	KARL FOERSTER FEATHER REED GRASS	III cont.
16	Miscanthus sinensis 'Malepartus'	MALEPARTUS MADDEN GRASS	III cont.
12	Miscanthus sinensis 'Strictus'	STRICTUS MADDEN GRASS	III cont.
12	Panicum virgatum 'Prairie Sky'	PRAIRIE SKY SWITCH GRASS	III cont.
3	Schizachyrium scoparium 'The Blues'	THE BLUES PRAIRIE GRASS	III cont.
3	Sporobolus heterolepis	PRAIRIE DROPSEED GRASS	III cont.
3	Deschampsia cespitosa	TUFTED HAIR GRASS	III cont.
Perennials			
4	Achillea 'Coronation Gold'	CORONATION GOLD YARROW	III cont.
12	Alchemilla mollis	LADYS MANTLE	III cont.
12	Baptisia australis	BLUE WILD INDIGO	III cont.
6	Echinacea purpurea	CONEFLOWER	III cont.
3	Geronium 'Rozanne'	ROZANNE CRANESBILL	III cont.
3	Hemerocallis 'Bajal'	BAJA DAYLILY	III cont.
30	Hemerocallis 'Rocket City'	ROCKET CITY DAYLILY	III cont.
20	Hemerocallis x 'Shining Water'	SHINING WATER DAYLILY	III cont.
12	Heuchera micrantha 'Palace Purple'	PALACE PURPLE CORAL BELLS	III cont.
6	Hosta 'Fortune Patriot'	PATRIOT HOSTA	III cont.
6	Iris germanica	TALL BEARDED IRIS	III cont.
12	Iris sibirica 'Caesars Brother'	CAESARS BROTHER SIBERIAN IRIS	III cont.
12	Nepeta x 'fossensis' Walkers' Low'	WALKERS' LOW CATMINT	III cont.
12	Rudbeckia 'nita' Herbstonne'	HERBSTSONNE AUTUMN SUN	III cont.
7	Sedum 'Autumn Joy'	AUTUMN JOY SEDUM	III cont.
6	Rudbeckia 'fulda' Goldsturm'	GOLDSTURM BLACK-EYED SUSAN	III cont.

PROXIMATE LOCATION
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262-549-9229
www.nelsonlandscape.com

Sheet Title:

LANDSCAPE PLAN

Project:

HOME AGAIN
WAUNAKEE, WI

Client:

Plan Notes:

Designed By: C. J. N.
Drawn By: C. J. N.
Date:
Revisions:

Notice:

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Nelson Landscape Incorporated

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This plan is subject to final on-site conditions and may be modified to account for unforeseen obstacles, other changes, or site modifications that were not made known at the time of preparation dated on this plan.



ITEM #3.



Strand Associates, Inc.®

910 West Wingra Drive

Madison, WI 53715

(P) 608-251-4843

(F) 608-251-8655

DRAFT

July 1, 2016

Mr. Kevin Even, P.E.
Village of Waunakee
500 West Main Street
Waunakee, WI 53597

Re: At Home Again Site Plan
Lot 266 Kilkenny Farms Commercial Plat

Dear Kevin,

We received drawings and a narrative related to the construction of an elderly care facility on part of Lot 266 of the Kilkenny Farms Commercial plat. The site is also identified as Lot 2 of a proposed CSM that is intended to split Lot 266. Our comments on the plans relative to village ordinances are as follows.

Site

Assisted living is an acceptable use on Lot 266, according to the General Development Plan for the plat. Building setback requirements for this lot appear to be 15 feet to the front, rear and side lot line. The plan appears to meet these requirements, however, the improvements are densely placed on the site, which impacts design of some site features. A roadway is planned to access this building, and presumably future buildings in the area. We presume this roadway is intended to be a private road. An easement is provided to contain the public sewer and water utilities.

The plan provides 27 surface parking stalls, and 24 underground parking stalls, for a total of 51. All would be constructed in the first phase of construction. The first phase of construction is indicated to have 52 assisted living units. The village ordinances require between 1 and 1.2 stall per bed, depending on which use you consider, so this would indicate the parking for the first phase of development would be basically met. Once the additional 18 assisted living units in Phase 2 are constructed, the parking requirement of the code would be exceeded.

The applicant indicates that the 51 proposed stalls are more than enough for the anticipated staff, residents and visitors at any one time at full build out. Perhaps this is true, but it would be helpful if the applicant provided supporting information, say data from their existing similar facilities, that would show the actual count of the number of cars per resident. This would help establish a basis for a waiver of the ordinance.

Eight stalls are planned adjacent to the access road to be constructed by others. This configuration is not ideal, as vehicles will have to back into traffic. A larger site could allow for incorporation of these stalls into a more acceptable parking layout and circulation pattern.

Waste and recycling pick-up is accessed along the same drive that serves the underground parking spaces. There is no place to turn around, so waste haulers will have to back in or back out the entire way, some 200 feet along a steep driveway. This is not ideal in terms of the mixing of the trucks and cars, but

RKS:tlw\S:\MAD\1600--1699\1602\701\WRD\2016 Site Plan Comments\Kilkenny Lot 266 At Home again\At Home Again.docx

DRAFT

Mr. Kevin Even, P.E.
Village of Waunakee
Page 2
July 1, 2016

assuming waste will be collected once per week, the times where conflicts could occur should be minimal.

The roadway serving this site (and other lots created by the subdividing of Lot 265) is proposed to be 28 feet wide from face to face of curb. This is adequate for two way traffic, but dedicated bike lanes would not work here, nor should on street parking be allowed. Also, no sidewalk is shown that would provide continuous access to and across the proposed lot. This seems like a facility that would benefit from a sidewalk connection to Simon Crestway and to Peaceful Valley Parkway. Lastly, if this were to become a public road, the front yard setback of the Phase 2 addition would violate the 15-foot setback requirement.

Lighting for the site seems to be unusually strong. Intensity in the interior exceeds 24 foot-candles, and some intensities at the lot lines are greater than 8 foot-candles. A justification of this light intensity should be provided. Ordinances allow for up to 3 foot-candle intensity at any lot line, so some adjustments should be made. The lighting plan should be very sensitive to the adjacent residential lands to the east, and provide evidence that cutoff shades for the fixtures which direct light downward to the ground surface are being provided. Finally, the light poles on the north and west sides of the property appear to be placed off the property, so that should be addressed.

There are two retaining walls on the site, with heights up to 6 feet. These walls will require protective railings, and should be shown on the plan.

There were no sign plans provided, so separate review of those will be required. Space for a ground sign near the access road is very limited due to the proposed future expansion, driveways and parking areas, and a stormwater management area.

There was no landscaping plan provided. This is a required part of their site plan submittal.

Utilities

Sewer and water utilities will serve the site from the proposed access road. The services appear reasonable. We will provide comments on the sewer and water mains to be extended to the site in a separate letter, regarding Lot 266 Certified Survey Map.

Stormwater Management

Regional stormwater ponds will provide the stormwater quantity and quality measures required for this site. Storm sewer collection basins and piping appear to effectively collect and route the runoff from this site to these regional basins. The applicant should provide a stormwater management report to confirm the adequacy of the infiltration basin shown on the site. For efficiency of review, we will wait on our review of that facility until we are provided the report.

DRAFT

Mr. Kevin Even, P.E.
Village of Waunakee
Page 3
July 1, 2016

Please call me with questions.

Sincerely,

STRAND ASSOCIATES, INC.®



R. Kent Straus, P.E.

c: Todd Schmidt, Administrator (via e-mail)
Bryan Kleinmaier, Stafford Rosenbaum (via e-mail)
Mike King, TKG Planning (via e-mail)
Ed Freer, JJR (via e-mail)

Tracy Meinholz

From: Brian Adler <waunakeefire@tds.net>
Sent: Wednesday, July 06, 2016 9:44 AM
To: Tracy Meinholz
Subject: At Home Again Assisted Living

Tracy,

After meeting with the representatives from At Home Again Assisted Living, the fire department is more comfortable with their site plan and how we would operate in the event of a fire. We learned that we will have additional access roads and they will include a turnaround at the bottom of the parking garage approach, which allows us to access another side of the building.

Thank you!

Brian