



**VILLAGE OF WAUNAKEE/TOWN OF WESTPORT
JOINT PLAN COMMISSION
333 S. Madison St., Waunakee
September 12, 2016 - 7:00 PM**

Agendas may change prior to the commencement of the meeting.
Please check the posting board at the Village Hall, 500 W. Main Street,
Waunakee, Wisconsin for the current agenda.

AGENDA

CALL TO ORDER

ROLL CALL: Ken Sipsma, John Van Dinter, Eileen Bruskewitz, Pat McGowan, Brad Zeman, Mark McGuire

MINUTES

1. **August 9, 2016**

PUBLIC COMMENT

NEW BUSINESS

1. **Discuss and Take Action on Site Plan/SIP, Rainbow Daycare, Kilkenny Farms Lot 266**
2. **Administrative Lot Line Adjustment, Whitehouse Associates, 5407 CTH M, Town of Westport**

ADJOURN

Any person who has a qualifying disability as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format should contact the municipal clerk at (608) 850-8500, 500 West Main Street, Waunakee, Wisconsin, at least twenty-four hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

**VILLAGE OF WAUNAKEE BOARD AND PLAN COMMISSION MEETING
TOWN OF WESTPORT BOARD AND PLAN COMMISSION MEETING**

Notice is hereby given that the Village or Town Board or Village or Town Plan Commission may attend this meeting. No action will be taken by the Village or Town Board or Village or Town Plan Commission at this meeting.

Next scheduled meeting is October 11, 2016.

ITEM #1.



Village of Waunakee and Town of Westport Joint Plan Commission Minutes

A regular meeting of the Waunakee/Westport Joint Plan Commission was held
Tuesday, August 9, 2016, 6:00 p.m. at the Waunakee Village Hall
500 W. Main Street, Waunakee, Wisconsin

CALL TO ORDER

Mr. Sipsma called the meeting to order at 6:02 p.m.

Members Present: Ken Sipsma, John Van Dinter, Eileen Bruskewitz, Pat McGowan, Brad Zeman

Members Absent: Mark McGuire

Also Present: Tom Wilson, Kevin Even, Tracy Meinholz, Don & Jerry Tierney, Jon Schultz, Tom Hoch, Glenn Hovde, Ryon Savasta, Chuck Bongard, Randy Meffert, Jason Valerius.

APPROVAL OF MINUTES

Motion McGowan, second Zeman, to approve the minutes from the July 12, 2016 Joint Plan Commission meeting. Motion carried 4-1 with Bruskewitz abstaining.

PUBLIC COMMENT

None

NEW BUSINESS

Public Hearing & Discussion/Action on a Conditional Use Permit, Shed Exceeding Allowable Square Footage, 5570 River Road, Town of Westport

Mr. Wilson stated that the Town Board recommended rejection of the CUP at it's August 1, 2016 meeting. They felt that the code allowing Mr. Schultz to attach an additional stall to the existing garage and build an 800 s.f. shed was sufficient, and that the request did not meet the standards for granting the CUP. Motion Van Dinter, second McGowan, to reject the conditional use permit as presented as requested by action taken by the Town Board. Motion carried 4-1 with Bruskewitz opposed.



Initial Consultation, Rainbow Child Care Site Plan/SIP, Lot 266, Kilkenny Farms

No action necessary.

Initial Consultation, Meffert's Site Plan/SIP, Lot 266, Kilkenny Farms

No action necessary.

Consult, Proposed Billboard Revision on STH 19, Carl F. Statz and Sons Property

Ryon Savasta of Adams Outdoor Advertising presented plans to upgrade the billboard located at the Statz property to an LED display. Mr. Even stated that this use would likely require a code revision, but Village Plan Commissioners were not opposed. No action taken.

Comprehensive Plan Update/Action-Housing and Economic Prosperity Elements

Members and staff discussed key issues and made recommendations. Jason Valerius of MSA will take these suggestions and work on the final draft for the next meeting.

ADJOURN

Motion McGowan, second Bruskewitz, to adjourn the meeting at 7:34 p.m. Motion carried.

Submitted By: Tracy Meinholz, Recording Secretary

Approved: _____



Proposed Front Elevation

Scale: 3/16" = 1'-0"

Front Elevation Material Calculations:	
Glass/Window/Door =	344 sq.ft. (18%)
Stone =	46 sq.ft. (3%)
Brick =	653 sq.ft. (33%)
CMU =	218 sq.ft. (13%)
Siding =	535 sq.ft. (28%)
Total =	1,796 sq.ft.



Proposed Right Elevation

Scale: 3/16" = 1'-0"

Right Side Material Calculations:	
Glass/Window/Door =	119 sq.ft. (18%)
Stone =	24 sq.ft. (4%)
Brick =	372 sq.ft. (20%)
CMU =	122 sq.ft. (7%)
Total =	644 sq.ft.

Total Building Elevation Material Calculations:	
Glass/Window/Door =	463 sq.ft. (18.8%)
Stone =	70 sq.ft. (3.1%)
Brick =	2,147 sq.ft. (86.0%)
CMU =	644 sq.ft. (15.6%)
Siding =	535 sq.ft. (12.3%)
Total =	4,259 sq.ft.



Proposed Rear Elevation

Scale: 3/16" = 1'-0"

Rear Elevation Material Calculations:

Glass/Window/Door =	291 sq.ft. (25%)
Stone =	44 sq.ft. (3%)
Brick =	733 sq.ft. (57%)
CMU =	212 sq.ft. (17%)
Total =	1,283 sq.ft.



Proposed Left Elevation

Scale: 3/16" = 1'-0"

Left Elevation Material Calculations:

Glass/Window/Door =	91 sq.ft. (14%)
Stone =	23 sq.ft. (3%)
Brick =	429 sq.ft. (65%)
CMU =	102 sq.ft. (13%)
Total =	655 sq.ft.

Preliminary - Not For Construction

krieger klatt
ARCHITECTS
architecture interiors consulting
1412 East Eleven Mile Road, Royal Oak, MI 48067
Phone: 248.414.9270 Fax: 248.414.9275 Web: kriegerklatt.com

Client:
Rainbow Child Care Center
1732 Crooks Rd
Troy, MI 48084

Project:
Waunakee
Peaceful Vally Pkwy & Simon Crtwy
Waunakee, WI

Issued:
8.12.16 SPA Submittal

Seal:

Note:
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow:

Sheet Title:

Exterior
Elevations

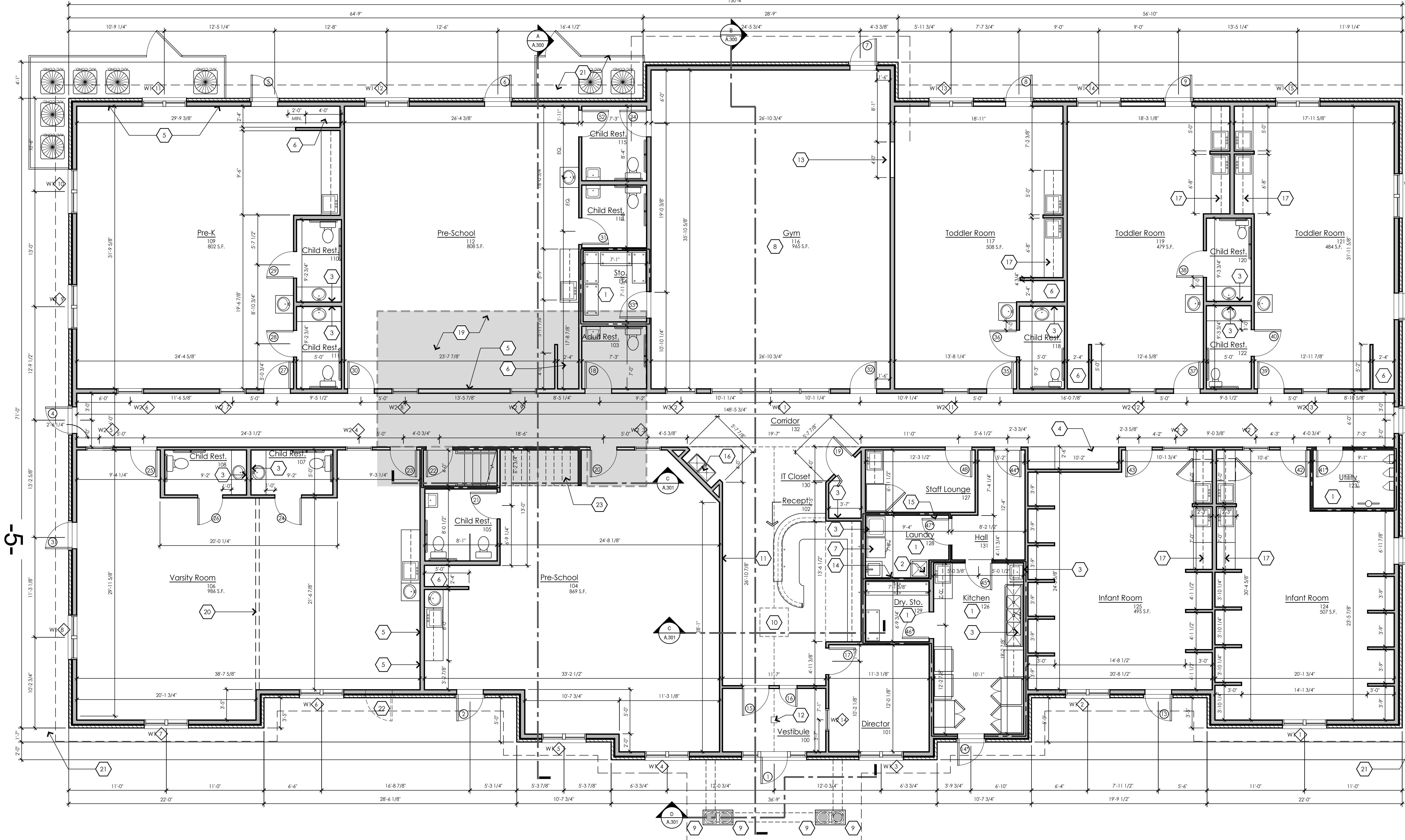
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As Noted

Project Number
16-130

Sheet Number:

A.20

ITEM #1.



-5-

W1

DOUBLE HUNG VINYL WINDOWS (2 WIDE) W/ 1" INSULATED CLEAR GLASS. JELD-WEN OR OWNER APPROVED EQUAL. UPPER OPERABLE - SASH TO HAVE SCREEN APPROXIMATE SIZE: 5'-0" WIDE (OVERALL) X 5'-0" HIGH - MANUFACTURER TO USE STANDARD SIZES. VERIFY ARCHITECT OF ANY DISCREPANCIES. PROVIDE TEMPERED GLASS FOR ALL WINDOWS WITHIN 24 INCHES OF A DOOR SWING & LESS THAN 18 INCHES FROM FINISH FLOOR

W2

36" X 36" SAFETY GLASS (TEMP.) LAMINATED WINDOW IN HOLLOW METAL PAINTED FRAME

W3

42" X 36" SAFETY GLASS (TEMP.) LAMINATED WINDOW IN HOLLOW METAL PAINTED FRAME @ GYMNASIUM

- Floorplan Height Notes:**
- ALL FIRST FLOOR DOOR, WINDOW, AND HEADER HEIGHTS ARE TO BE 6'-8" UNLESS OTHERWISE NOTED. (NOTE: WINDOWS AND DOORS ARE TO LINE-UP IN THE FINISH. ALL ROUGH FRAMING HEIGHTS ARE TO MATCH)
 - ALL FIRST FLOOR CEILING HEIGHTS ARE TO BE 8'-0" EXCEPT FOR OPEN STAIRWELL, GYM & KITCHEN. KITCHEN TO RECEIVE 9'-0" CEILING HEIGHT. GYM TO RECEIVE 12'-0" CEILING HEIGHT
 - MECHANICAL EQUIPMENT ENCLOSURE CEILING HEIGHTS ARE TO BE 8'-0" UNLESS NOTED OTHERWISE (ATTIC FLOOR PLAN)
 - UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS, LOCATE ALL DOORS MINIMUM 4" FROM ADJACENT WALLS ON HINGE SIDE. IF A CASING LARGER THEN 2 1/4" IS SELECTED, ADJUST AS NECESSARY. IF DOORS ARE NOT LOCATED NEXT TO ADJACENT WALL, CENTER ON SPACE THEY ENTER INTO.

- General Floor Plan Notes:**
- ALL EXTERIOR WALLS ARE TO BE 2X6 WOOD FRAMING U.N.O.
 - INSULATION IN CONCEALED AND EXPOSED SPACES MUST HAVE A FLAME SPREAD RATING OF 25 OR LESS AND SMOKE DEVELOPED INDEX 450 OR LESS PER CODE.
 - ANY OCCUPANT SUSPECTED OF HAVING AN ILLNESS OR DISEASE SHALL BE TAKEN TO THE DIRECTOR'S OFFICE WHERE THEY CAN BE ISOLATED FROM THE OTHER OCCUPANTS AND CARED FOR. IN THE DIRECTOR'S OFFICE THERE SHALL BE A COT FOR THIS PURPOSE.
 - PROVIDE EXTERIOR FROST FREE HOSE BIBS @ LOCATIONS DIRECTED BY M.E.P.
 - PROVIDE SOLID BLOCKING IN WALLS FOR ALL WALL MOUNTED ITEMS NOT LIMITED TO THE FOLLOWING:
 - DOOR STOPS
 - TOWEL BARS
 - TOILET TISSUE DISPENSER
 - MISC. WALL MOUNTED ACCESSORIES
 - MIRRORS
 - ALL WOOD AND WOOD BASED PRODUCTS WITHIN 8" OF GRADE MUST BE PRESSURE TREATED AS REQUIRED PER CODE
 - PROVIDE INTERIOR AND/OR EXTERIOR JAMB EXTENSIONS AS REQ'D FOR ALL WINDOWS VER. W/DESIGNER
 - PROVIDE MAGNETIC CHLD LOCKS ON ALL CABINET DOORS AND DRAWERS
 - GC TO COORDINATE ALL ROUGH CARPENTRY WITH MEP
 - GC TO COORDINATE CONTROL JOINTS IN DRYWALL WITH MANUFACTURERS RECOMMENDATION TO PREVENT CRACKING.

- Keyed First Floor Plan Notes:**
- ALL MECHANICAL AND STORAGE ROOMS ARE TO BE PROTECTED BY 1-HOUR RATED WALLS, CEILINGS, DOOR AND FRAME (SEE WALL LEGEND)
 - PROVIDE F.R.P. (WHITE OR AS DIRECTED BY OWNER) TO A 60" A.F.F. BEHIND MOP SINK
 - PROVIDE 16" DEEP WIRE SHELVING OVER WASHER/DRYER TO OWNER SPECIFICATION
 - BUILT-IN CAR SEAT CUBBIES
 - PARTITIONED STORAGE UNITS (BY OWNER)
 - COT STORAGE AREA - PROVIDE FULL HEIGHT F.R.P. WITH OS CORNER PROTECTION
 - LOCATE DRYER VENT IN WALL CAVITY
 - PROVIDE 2X6 BLOCKING IN WALLS @ 42" A.F.F. TO CENTER @ ENTIRE PERIMETER OF GYM
 - CONTINENTAL CAST STONE DORIC COLUMN. INSTALL PER MANUF. SPECS - STRUCTURAL STEEL IS TO BE LOCATED WITHIN COLUMN
 - LINE OF ROOF CUPOLA ABOVE
 - PROVIDE BLOCKING IN WALL FOR T.V. MOUNT - 72" WIDE @ 65" A.F.F. TO MID POINT 14'-4" FROM ADJACENT VESTIBULE WALL (VERIFY EXACT LOCATION WITH OWNER)
 - PROVIDE 12" X 12" HORIZONTAL BLOCKING, FINISHED TO ACCOMMODATE CEILING MOUNTED LIGHT FIXTURE
 - PROVIDE BLOCKING AS REQ'D 54"-78" A.F.F. FOR WALL MOUNTED BASKETBALL HOOP - EXACT LOCATION TO BE VERIFIED BY OWNER
 - DOOR TO BE LOCKED AND INACCESSIBLE TO CHILDREN
 - ADA COMPLIANT HIGH/LOW DRINKING FOUNTAIN
 - CHANGING LOCATION
 - AREA OF ROOF TOP CONDENSING UNIT PAD (ABOVE)
 - AREA OF MECHANICAL MEZANINE (ABOVE)
 - LOCATION OF FUTURE WALL
 - SEE CIVIL DRAWINGS BY OTHERS FOR EXISTING WALK LOCATIONS & DETAILS
 - FUTURE DOOR - FRAME IN OPENING
 - LINE OF STAIRS & SLOPED CEILING (ABOVE) - PROVIDE STORAGE SPACE UNDER STAIRS

krieger klatt
ARCHI
architecture interiors co
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Phone: 248.414.9270 Fax: 248.414.9275 Web: i

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North Arrow:

Sheet Title:
First Floor Plan

Scale:
3/16" = 1'-0"

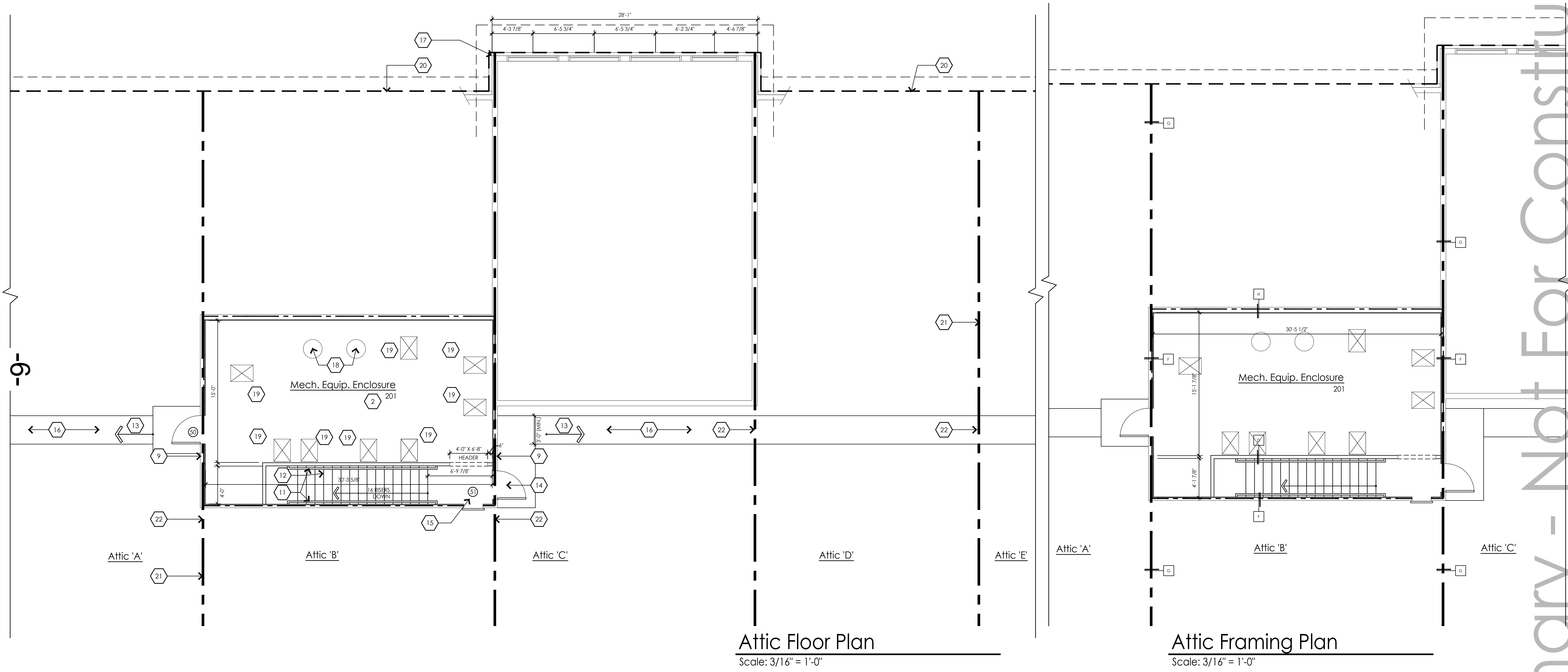
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16-130

Sheet Number:

A.101

ITEM #1.

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Wall Legend			
A		EXTERIOR WALL (BRICK): EXTERIOR BEARING WALL: BRICK VENEER EXTERIOR FINISH W/ 1" AIR SPACE ON TYVEK AIR INFILTRATION BARRIER ON 1/2" APA RATED PLYWOOD SHEATHING ON 2X6 WOOD STUDS @ 16" O.C. W/ R-21 KRAFT FACED BATT INSUL. W/ 5/8" GYPSUM BOARD FINISH	
B		2X6 INTERIOR PARTITION WALL: 5/8" GYPSUM BOARD EACH SIDE OF 2X6 WOOD STUDS @ 16" O.C. PROVIDE ACOUSTICAL SOUND BATT INSULATION @ ALL INTERIOR WALLS AS DIRECTED BY OWNER	
C		FIRE RATED INTERIOR PARTITION WALL: 1 LAYER TYPE "X" 5/8" GYPSUM BOARD EACH SIDE OF 2X4 WOOD STUDS @ 16" O.C. PROVIDE ACOUSTICAL SOUND BATT INSULATION @ ALL INTERIOR WALLS AS DIRECTED BY OWNER NOTE: ALL OPENINGS, DOORS AND WINDOW FRAMES ARE TO BE PART OF THE FIRE RATED ASSEMBLY - FIRE CAULK AS REQUIRED	
D		TYPICAL INTERIOR PARTITION WALL: 2X4 STUDS @ 16" O.C. WITH 5/8" GYP. BOARD EACH SIDE. PROVIDE ACOUSTICAL SOUND BATT INSULATION @ ALL INTERIOR WALLS AS DIRECTED BY OWNER	
E		FIRE RATED EXTERIOR WALL: EXTERIOR BEARING WALL - ONE HOUR RATED: BRICK VENEER EXTERIOR FINISH W/ 1" AIR SPACE ON TYVEK AIR INFILTRATION BARRIER ON 1/2" APA RATED PLYWOOD SHEATHING ON 2X6 WOOD STUDS @ 16" O.C. W/ R-21 KRAFT FACED BATT INSUL. W/ TYPE "X" 5/8" GYPSUM BOARD FINISH	
F		INTERIOR MEZZANINE WALL: PROVIDE (2) LAYERS TYPE "X" 5/8" GYPSUM BOARD ON ONE SIDE OF 2X4 STUDS UP TO CEILING.	
G		DRAFTSTOPPING WALL: 3/8" PLYWOOD ON ONE SIDE OF PRE-ENG. ROOF TRUSS. RUN UP TO UNDER SIDE OF ROOF SHEATHING (SEE TYPICAL DETAIL ON SHEET A.305 FOR ADDITIONAL INFORMATION)	
H		EXTERIOR WALL (VINYL SIDING): GEORGIA PACIFIC (OR EQUIV.) DOUBLE 5" SIDING ON AIR INFILTRATION BARRIER ON 1/2" APA RATED SHEATHING ON 2X6 STUDS @ 16" O.C. W/ R-21 BATT INSULATION ON (2) LAYERS OF 5/8" TYPE "X" GYP. BRD.	
I		FIRE RATED INTERIOR PARTITION WALL: 1 LAYER TYPE "X" 5/8" GYPSUM BOARD EACH SIDE OF 2X6 WOOD STUDS @ 16" O.C. PROVIDE ACOUSTICAL SOUND BATT INSULATION @ ALL INTERIOR WALLS AS DIRECTED BY OWNER NOTE: ALL OPENINGS, DOORS AND WINDOW FRAMES ARE TO BE PART OF THE FIRE RATED ASSEMBLY - FIRE CAULK AS REQUIRED	
J		INTERIOR PARTITION WALL: 5/8" GYPSUM BOARD EA SIDE ON 2X4 WOOD STUDS @ 16" O.C. PROVIDE ACOUSTICAL SOUND BATT INSULATION @ ALL INTERIOR WALLS AS DIRECTED BY OWNER	

Window Legend	
	DOUBLE HUNG VINYL WINDOWS (2 WIDE) W/ 1" INSULATED CLEAR GLASS. JELD-WEN OR OWNER APPROVED EQUAL. UPPER OPERABLE - SASH TO HAVE SCREEN APPROXIMATE SIZE: 5'-0" WIDE (OVERALL) X 5'-0" HIGH - MANUFACTURER TO USE STANDARD SIZES. VERIFY ARCHITECT OF ANY DISCREPANCIES. PROVIDE TEMPERED GLASS FOR ALL WINDOWS WITHIN 24 INCHES OF A DOOR SWING & LESS THAN 18 INCHES FROM FINISH FLOOR
	36" X 36" SAFETY GLASS (TEMP.) LAMINATED WINDOW IN HOLLOW METAL PAINTED FRAME
	42" X 36" SAFETY GLASS (TEMP.) LAMINATED WINDOW IN HOLLOW METAL PAINTED FRAME @ GYMNASIUM

- Floorplan Height Notes:**
- ALL FIRST FLOOR DOOR, WINDOW, AND HEADER HEIGHTS ARE TO BE 6'-8" UNLESS OTHERWISE NOTED.
(NOTE: WINDOWS AND DOORS ARE TO LINE-UP IN THE FINISH. ALL ROUGH FRAMING HEIGHTS ARE TO MATCH)
 - ALL FIRST FLOOR CEILING HEIGHTS ARE TO BE 8'-0" EXCEPT FOR OPEN STAIRWELL, GYM & KITCHEN.
KITCHEN TO RECEIVE 9'-0" CEILING HEIGHT, GYM TO RECEIVE 12'-0" CEILING HEIGHT
 - MECHANICAL EQUIPMENT ENCLOSURE CEILING HEIGHTS ARE TO BE 8'-0" UNLESS NOTED OTHERWISE
(ATTIC FLOOR PLAN)
 - UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS, LOCATE ALL DOORS MINIMUM 4"
FROM ADJACENT WALLS ON HINGE SIDE. IF A CASING LARGER THEN 2 1/4" IS SELECTED, ADJUST AS
NECESSARY. IF DOORS ARE NOT LOCATED NEXT TO ADJACENT WALL, CENTER ON SPACE THEY ENTER
INTO.

- General Attic Plan Notes:**
- SEE SHEET MECHANICAL DRAWINGS FOR EXACT LOCATION
OF FURNACES
 - SEE SHEET A-2 FOR LOCATION OF MECHANICAL ROOM IN
RELATION TO FIRST FLOOR-INDICATED BY DASHED LINE

- Keyed Attic Plan Notes:**
- PROVIDE 12" X 12" OPEN FLOOR SILL FLUSH
WITH FINISH FLOOR - VERIFY CLEARANCE OF SINK AND TRAP WITH
MECHANICAL ENGINEER - COORDINATE WITH MECHANICAL DRAWINGS
 - PROVIDE (2) LAYERS OF 5/8" GYP. BRD. @
CEILING FOR 1 HR. RATING
 - PRE-FIN BREAK MTL. CAP W/D RIP EDGE
 - PRIMARY ROOF SUMP (VER. EXACT
LOCATION W/ MEP ENGINEER)
 - EMERGENCY OVERFLOW ROOF SUMP (VER.
EXACT LOCATION W/MEP ENGINEER)
 - SINGLE PLY. - 60 MIL EPDM ROOF ON
TAPERED INSULATION
 - PITCHED TO DRAIN (TYP.)
 - A/C CONDENSER (VER. EXACT LOCATION
W/MEP ENGINEER)
 - NOTE: THESE WALLS ARE TO BE DETERMINED
BY TRUSS MANUF. INTENT IS TO HAVE SIMILAR
CONSTRUCTION TO WALL TYPE "C" W/1-HR
FIRE RATING (NOTIFY ARCHITECT OF ANY
DISCREPANCIES)
 - FLOOR DRAIN - VER. EXACT LOCATION
W/MEP ENGINEER
 - 34" HIGH HANDRAIL PER CODE EACH SIDE
 - PROVIDE METAL NOSING ON STAIR
W/PAINTED TREADS & RISERS (GREY)
 - FURNACE (VER. EXACT SIZE, LOCATION AND
CLEARANCES REQ'D. W/MEP ENGINEER)
 - LINE OF FIRST FLOOR WALL (BELOW)
 - LINE OF DRAFTSTOPPING - VER. LOCATION
W/TRUSS MANUF.
 - 3/4" THICK X 3'-0" WIDE PLYWOOD 1&G CAT
WALK GLUED & NAILED TO PRE-ENG. TRUSSES
- RUN ENTIRE LENGTH OF BUILDING
 - LIMESTONE SILL (BELOW)
 - WATER HEATER (VER. EXACT SIZE, LOCATION
& CLEARANCES REQ'D. W/MEP ENGINEER) -
PROVIDE METAL DRAIN PAN @ EACH W.H.
(TYP.)
 - FURNACE (VER. EXACT SIZE, LOCATION AND
CLEARANCES REQ'D. W/MEP ENGINEER)
 - PROVIDE 3'-0" X 4'-8" SELF-CLOSING ACCESS
DOOR TO EACH DRAFTSTOPPING AREA
W/AUTOMATIC LATCHES - REFER TO A.305
FOR ADDITIONAL DETAIL

krieger klatt
ARCHITECTS
interiors consulting
1412 East Eleven Mile Road, Royal Oak, MI 48067
Phone: 248.414.9270 Fax: 248.414.9275 Web: kriegerklatt.com

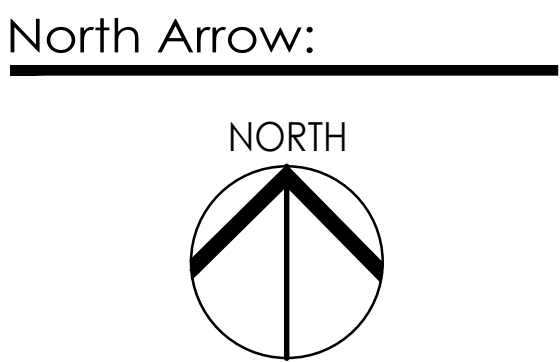
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Sheet Title:
Attic Plan

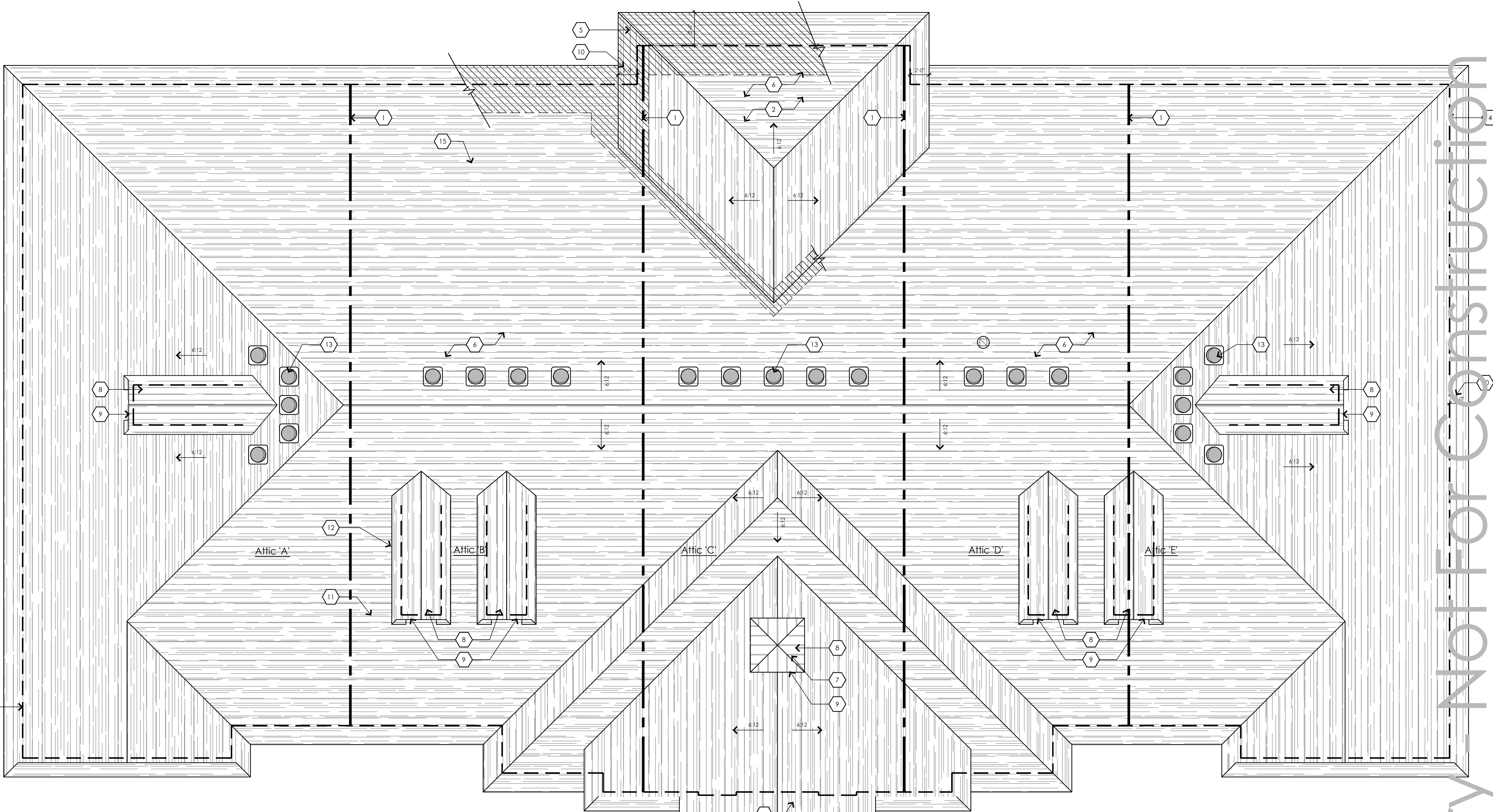
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As Noted

Project Number:
16-130

Sheet Number:

A.103

ITEM #1



Attic 'A' Ventilation Calculation:

1 SQ. FT. OF ATTIC VENT PER 300 SQ. FT. OF ATTIC FLOOR SPACE (OVER ALL PERIMETER OF ROOF)

TOTAL ATTIC SPACE: 2,640 SQ. FT.
2,640 SQ. FT. / 300 SQ. FT. = 8.8 SQ. FT.
8.8 SQ. FT. / 2 (INTAKE/EXHAUST) = 4.4 SQ. FT.
4.4 SQ. FT. X 144 IN. = 633.6 SQ. IN. (NET FREE AREA REQUIRED)

VENTILATION EXHAUST OPTIONS:
ROOF LOUVER: 8-144 ROUND METAL DOME VENT BY AIR VENT EQUALS 144 NFA PER PIECE: 633.6 SQ. IN. / 144 NFA = 4.4
5 STATIC VENTS REQ'D.

PROPOSED VENTILATION EXHAUST:
5 STATIC ROOF VENTS PROVIDED

VENTILATION INTAKE CALCULATIONS:
633.6 SQ. IN. (NET FREE AREA REQUIRED - SEE ABOVE)
AIR VENT UNDER EAVE VENT 16"x6" EQUALS 42 SQ. IN. NFA PER PIECE: 633.6 SQ. IN. / 42 NFA = 15.1 = 16 VENTS REQ'D.

PROPOSED VENTILATION INTAKE:
16 VENTS PROVIDED

Attic 'D' Ventilation Calculation:

1 SQ. FT. OF ATTIC VENT PER 300 SQ. FT. OF ATTIC FLOOR SPACE (OVER ALL PERIMETER OF ROOF)

TOTAL ATTIC SPACE: 1,771 SQ. FT.
1,771 SQ. FT. / 300 SQ. FT. = 5.9 SQ. FT.
5.9 SQ. FT. / 2 (INTAKE/EXHAUST) = 3.0 SQ. FT.
3.0 SQ. FT. X 144 IN. = 432.0 SQ. IN. (NET FREE AREA REQUIRED)

VENTILATION EXHAUST OPTIONS:
ROOF LOUVER: 8-144 ROUND METAL DOME VENT BY AIR VENT EQUALS 144 NFA PER PIECE: 432.0 SQ. IN. / 144 NFA = 3
3 STATIC VENTS REQ'D.

PROPOSED VENTILATION EXHAUST:
3 STATIC ROOF VENTS PROVIDED

VENTILATION INTAKE CALCULATIONS:
432.0 SQ. IN. (NET FREE AREA REQUIRED - SEE ABOVE)
AIR VENT UNDER EAVE VENT 16"x6" EQUALS 42 SQ. IN. NFA PER PIECE: 432.0 SQ. IN. / 42 NFA = 10.3 = 11 VENTS REQ'D.

PROPOSED VENTILATION INTAKE:
11 VENTS PROVIDED

Attic 'B' Ventilation Calculation:

1 SQ. FT. OF ATTIC VENT PER 300 SQ. FT. OF ATTIC FLOOR SPACE (OVER ALL PERIMETER OF ROOF)

TOTAL ATTIC SPACE: 2,332 SQ. FT.
2,332 SQ. FT. / 300 SQ. FT. = 7.8 SQ. FT.
7.8 SQ. FT. / 2 (INTAKE/EXHAUST) = 3.9 SQ. FT.
3.9 SQ. FT. X 144 IN. = 561.6 SQ. IN. (NET FREE AREA REQUIRED)

VENTILATION EXHAUST OPTIONS:
ROOF LOUVER: 8-144 ROUND METAL DOME VENT BY AIR VENT EQUALS 144 NFA PER PIECE: 561.6 SQ. IN. / 144 NFA = 3.9
5 STATIC VENTS REQ'D.

PROPOSED VENTILATION EXHAUST:
4 STATIC ROOF VENTS PROVIDED

VENTILATION INTAKE CALCULATIONS:
561.6 SQ. IN. (NET FREE AREA REQUIRED - SEE ABOVE)
AIR VENT UNDER EAVE VENT 16"x6" EQUALS 42 SQ. IN. NFA PER PIECE: 561.6 SQ. IN. / 42 NFA = 13.4 = 14 VENTS REQ'D.

PROPOSED VENTILATION INTAKE:
14 VENTS PROVIDED

Attic 'E' Ventilation Calculation:

1 SQ. FT. OF ATTIC VENT PER 300 SQ. FT. OF ATTIC FLOOR SPACE (OVER ALL PERIMETER OF ROOF)

TOTAL ATTIC SPACE: 1,771 SQ. FT.
1,771 SQ. FT. / 300 SQ. FT. = 5.9 SQ. FT.
5.9 SQ. FT. / 2 (INTAKE/EXHAUST) = 3.0 SQ. FT.
3.0 SQ. FT. X 144 IN. = 432.0 SQ. IN. (NET FREE AREA REQUIRED)

VENTILATION EXHAUST OPTIONS:
ROOF LOUVER: 8-144 ROUND METAL DOME VENT BY AIR VENT EQUALS 144 NFA PER PIECE: 432.0 SQ. IN. / 144 NFA = 4.4
5 STATIC VENTS REQ'D.

PROPOSED VENTILATION EXHAUST:
5 STATIC ROOF VENTS PROVIDED

VENTILATION INTAKE CALCULATIONS:
432.0 SQ. IN. (NET FREE AREA REQUIRED - SEE ABOVE)
AIR VENT UNDER EAVE VENT 16"x6" EQUALS 42 SQ. IN. NFA PER PIECE: 432.0 SQ. IN. / 42 NFA = 10.3 = 11 VENTS REQ'D.

PROPOSED VENTILATION INTAKE:
16 VENTS PROVIDED

Attic 'C' Ventilation Calculation:

1 SQ. FT. OF ATTIC VENT PER 300 SQ. FT. OF ATTIC FLOOR SPACE (OVER ALL PERIMETER OF ROOF)

TOTAL ATTIC SPACE: 2,527 SQ. FT.
2,527 SQ. FT. / 300 SQ. FT. = 8.4 SQ. FT.
8.4 SQ. FT. / 2 (INTAKE/EXHAUST) = 4.3 SQ. FT.
4.3 SQ. FT. X 144 IN. = 619.2 SQ. IN. (NET FREE AREA REQUIRED)

VENTILATION EXHAUST OPTIONS:
ROOF LOUVER: 8-144 ROUND METAL DOME VENT BY AIR VENT EQUALS 144 NFA PER PIECE: 619.2 SQ. IN. / 144 NFA = 4.3
5 STATIC VENTS REQ'D.

PROPOSED VENTILATION EXHAUST:
5 STATIC ROOF VENTS PROVIDED

VENTILATION INTAKE CALCULATIONS:
619.2 SQ. IN. (NET FREE AREA REQUIRED - SEE ABOVE)
AIR VENT UNDER EAVE VENT 16"x6" EQUALS 42 SQ. IN. NFA PER PIECE: 619.2 SQ. IN. / 42 NFA = 14.7 = 15 VENTS REQ'D.

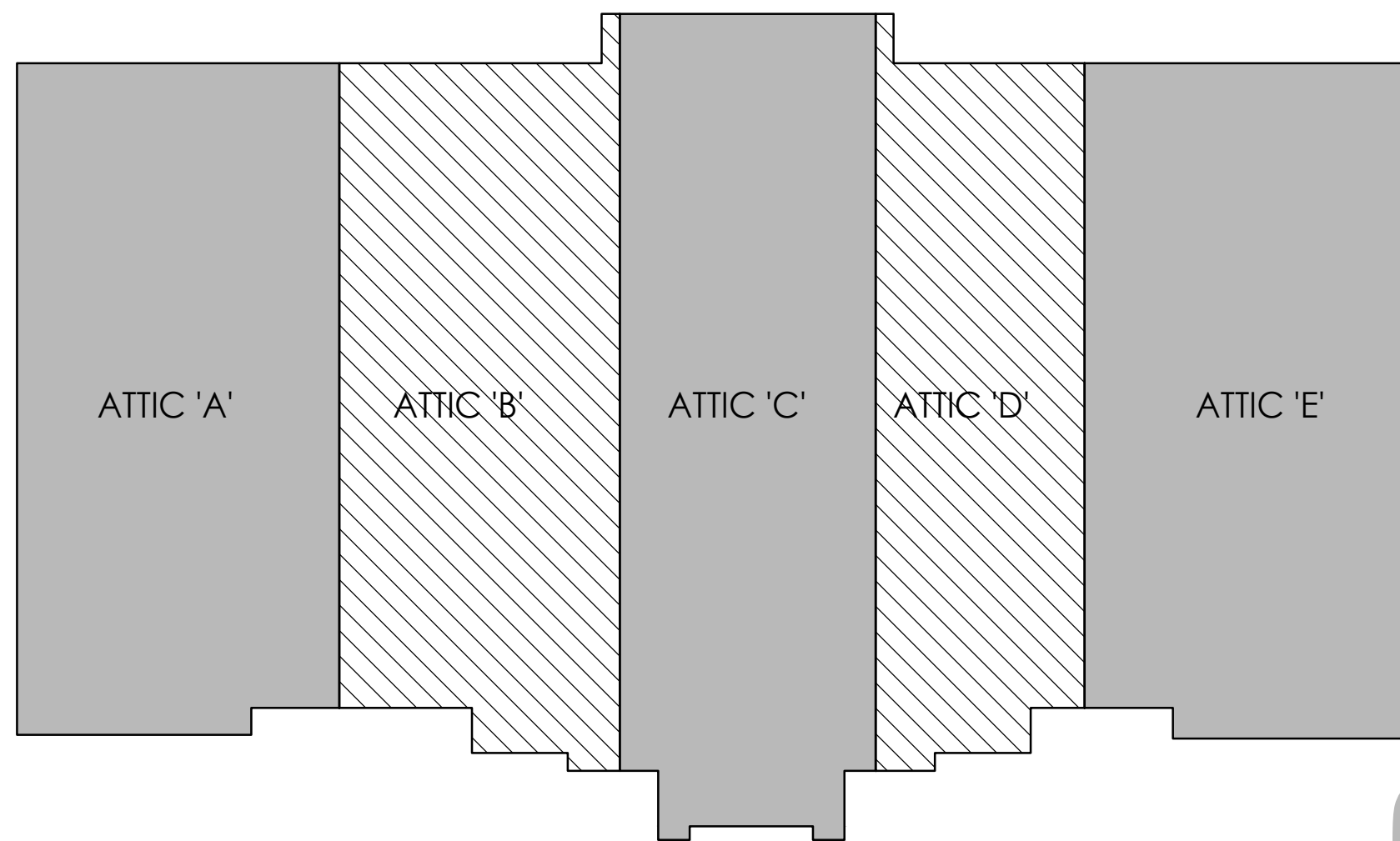
PROPOSED VENTILATION INTAKE:
15 VENTS PROVIDED

General Roof Plan Notes:

- SEE CONSTRUCTION SPECIFICATIONS FOR FLASHING NOTES
- FLASH ALL ROOF PENETRATIONS AS REQUIRED AND PER CODE
- LOCATE ALL PLUMBING STACKS AT REAR ROOF PLANE. VERIFY THAT NO VENTS ARE VISIBLE FROM THE STREET
- PROVIDE PRE-FIN. MTL. DRIP EDGE @ ALL ROOF EAVES AND RAKES
- PROVIDE PRE-FIN. 6" ALUM. GUTTERS & DOWNSPOUTS (MECH. FASTENED) - COORD. DOWNSPOUT LOCATIONS W/OWNER & CIVIL ENG. IN FIELD

Keyed Roof Plan Notes:

- LOCATION OF DRAFTSTOPPING - VER. W/TRUSS MANUF. NOTE: DO NOT EXCEED 3,000 SQ. FT. OF ATTIC SPACE WITHOUT DRAFTSTOPPING - SEE DETAIL ON SHEET A.305 FOR ADDITIONAL INFORMATION
- IF ROOF ABOVE GYM IS NOT OPEN TO MAIN ROOF STRUCTURE (ROOF #3) PROVIDE RIDGE VENT. OTHERWISE ALLOW VENTILATION TO PASS THROUGH TO MAIN ROOF ATTIC AND OUT THROUGH EXHAUST VENTS
- A/C CONDENSING UNIT - VER. EXACT SIZE, LOCATION AND CLEARANCES W/MEP ENGINEER
- LINE OF EXTERIOR WALL BELOW (TYP.)
- PROVIDE GRACE ICE & WATER SHIELD @ ALL EAVES & VALLEYS 36" PAST THE INTERIOR OF THE EXTERIOR WALL AND UP EACH VALLEY SIDE 18" (MIN.)
- DIMENSIONAL ASPHALT SHINGLES (TYP.)
- STANDING SEAM METAL ROOF - PROVIDE FULL GRACE ULTRA' OR HIGH TEMP. RATED ICE & WATER SHIELD BELOW ALL METAL ROOFING (TYP.)
- PROVIDE FULL GRACE ICE & WATER SHIELD @ ALL DORMERS (TYP.)
- EXTEND GRACE ICE & WATER SHIELD UP ADJACENT WALL 18" (MIN.)
- TYP. O.H. FOR ALL HIPs (U.N.O.)
- TYP. RAKE PROJECTION (U.N.O.)
- TYP. O.H. FOR ALL DORMERS (U.N.O.)
- AIRVENT: 8-144 METAL DOME VENT - INSTALL PER MANUF. SPECS. VENTS MUST BE INSTALLED PER IBC 1203.2 (TYP.) - PAINT TO MATCH ROOF
- SINGLE-PLY 60 MIL. EPDM W/PREFIN. METAL EDGE FLASHING W/DRIP EDGE - INSTALL IN STRICT COMPLIANCE W/MANUF. INSTALLATION SPECS.
- PRE-FIN. METAL EDGE FLASHING W/DRIP ON PARAPET FRAMING (SEE SECTION)



VENTILATION DIAGRAM PLAN



August 17, 2016

Village Zoning Administrator
Village of Waunakee
500 West Main Street, PO Box 100
Waunakee, WI 53597

Re: Rainbow Child Care Facility

To Whom it May Concern:

On behalf of 814 Development (1742 N Crooks Road, Troy, MI 48084) we are submitting an application for site plan approval along with the required site and building plans for a new Rainbow Child Care center.

The proposed building site is Lot 1 of the CSM for lot 266 of the Kilkenny Farm development. The proposed building and site development will be for the new Rainbow Child Care facility. The site is located approximately mid-block on the south side of Peaceful Valley Parkway between Simon Crestway and Dolan Avenue. The parcel is approximately 1.5 acres, with approximately 0.84 acres of non-impervious green space, and 0.66 acres of impervious area. There are 36 parking stalls required based on the parking calculations, and the proposed site has 17 stalls plus 2 accessible stalls along the private drive, and 18 parking stalls in the southern parking area. The parking lot will be paved with curb and gutter (mountable curb on the west side). Storm water treatment will be located under the parking lot on the south side under the parking lot. Stormwater inlets in the back play area (east side) will be located outside the fence. Landscaping will be located in the front (west side) of the building. Landscaping features will not be located within the fenced play area. Landscaping will also be placed in the southeast area of the site. The retaining wall on the east side of the development will be approximately 30 inches high with 3 tiers of wall in the southeast corner of the site.

The following items are submitted with this application:

- Plan Commission Application form
- Signed Development Application Agreement
- Site plans (Site Civil, Grading and Erosion Control, Landscape Plan, Lighting, and Standard Details)
- Building plans (Elevations, Color Rendering, Sign details, and Floor Plan)

A scan of a check for the Site Plan fee of \$320 is attached in this packet. The Escrow fee as outlined in the Development Application Agreement will be sent directly to the Village of Waunakee from 814 Development.

If you have any questions, or need any more information, please call.

Sincerely,
MSA Professional Services, Inc.

Chuck Bongard, P.E.
Program Manager

Enc.

cc: Amy Labadie, Alexander Orman

Offices in Illinois, Iowa, Minnesota, and Wisconsin

1230 South Boulevard, Baraboo, WI 53913
(608) 356-2771 • (800) 362-4505 • FAX: (608) 356-2770
www.msa-ps.com

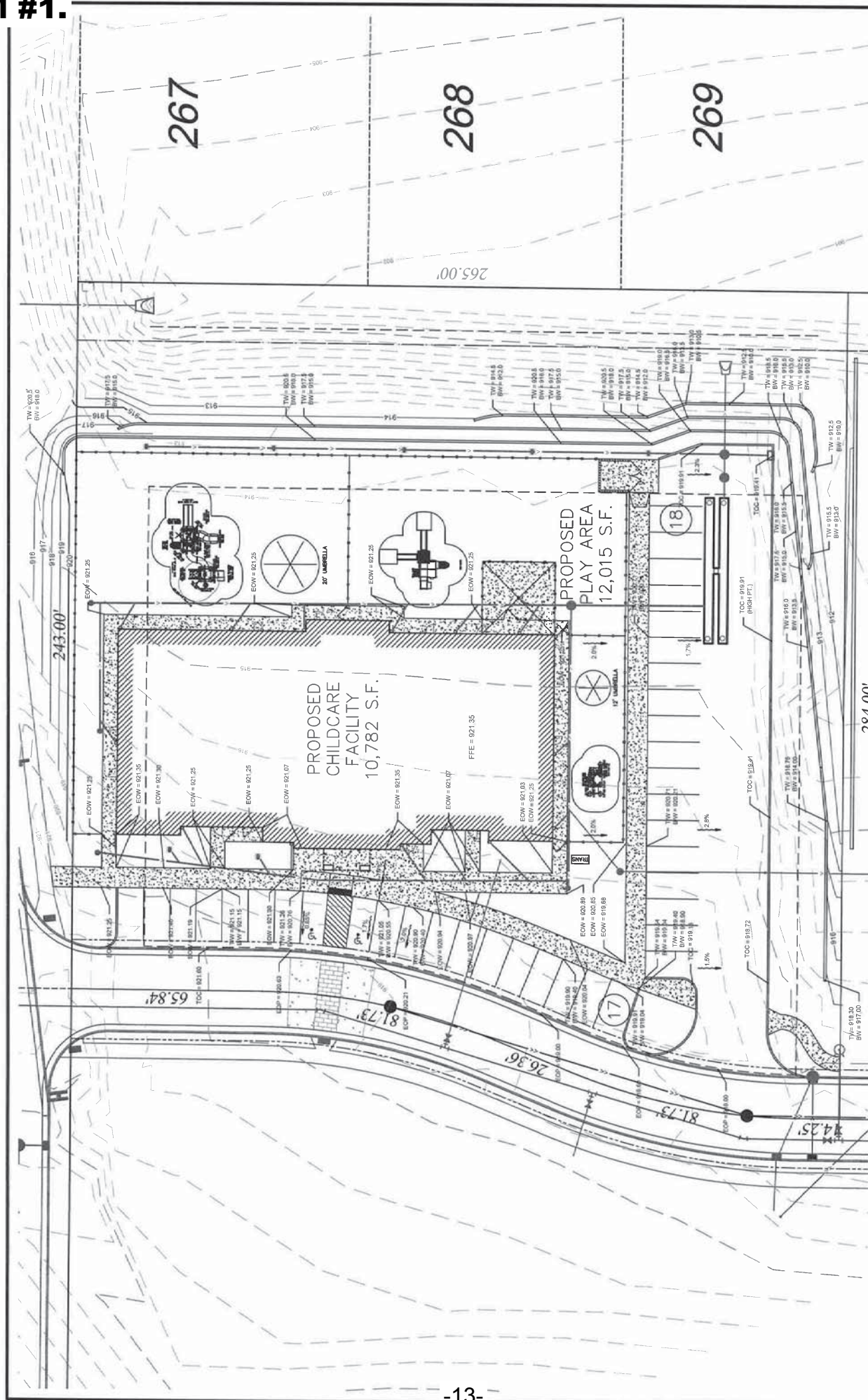




ITEM #1.







ARCHITECTURE ENGINEERING ENVIRONMENTAL PLANNING PLANNING SURVEYING LANDSCAPE ARCHITECTURE (608) 356-2777 (800) 382-4005 Fax: (608) 356-2770 Web Address: www.msa-pa.com										RAINBOW RASCALS DAY CARE WAUNAKEE BRANCH VILLAGE OF WAUNAKEE, WI		PROJECT NO. 18016000		SHEET 01			
PROJECT NAME RAINBOW RASCALS DAY CARE										PROJECT ADDRESS WAUNAKEE BRANCH		PROJECT CITY VILLAGE OF WAUNAKEE, WI		PROJECT STATE WI		PROJECT ZIP 53193	
PROJECT PHONE (608) 356-2777										PROJECT FAX (608) 356-2770		PROJECT EMAIL waunakee@msa-pa.com		PROJECT WEBSITE www.msa-pa.com		PROJECT DESCRIPTION ARCHITECTURE ENGINEERING ENVIRONMENTAL	
PROJECT CLIENT VILLAGE OF WAUNAKEE										PROJECT OWNER VILLAGE OF WAUNAKEE		PROJECT DESIGNER MSA ENGINEERING		PROJECT CONSULTANT ARCHITECTURE ENGINEERING ENVIRONMENTAL		PROJECT CONTRACT 18016000	
PROJECT AGREEMENT 18016000										PROJECT SCHEDULE 08-17-16		PROJECT BUDGET 18016000		PROJECT STATUS 01		PROJECT STATUS 01	



PLANT MATERIALS LIST						
ID	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING & ROTATION*	MATURE SIZE (Height x Width)
*Rotation is determined by species						
Deciduous Trees						
AT1	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT2	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
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AT145	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT146	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT147	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT148	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT149	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT150	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT151	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT152	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT153	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT154	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT155	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT156	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT157	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT158	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT159	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT160	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT161	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT162	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	10' x 10'
AT163	<i>Acacia saligna</i>	Golden Wattle	2' x 4'	10 L	10' x 10'	1

	Acre/eq. ft.
Seed Miles*	
Has More Seed Mix with annual per 100 lbs.	14,270
Conservation Ratio: Renewable Seed Mix	3,300
Total Seed Miles Replenished***	17,400

*Based on seed mixtures by Pacific Nursery or Approved Equal

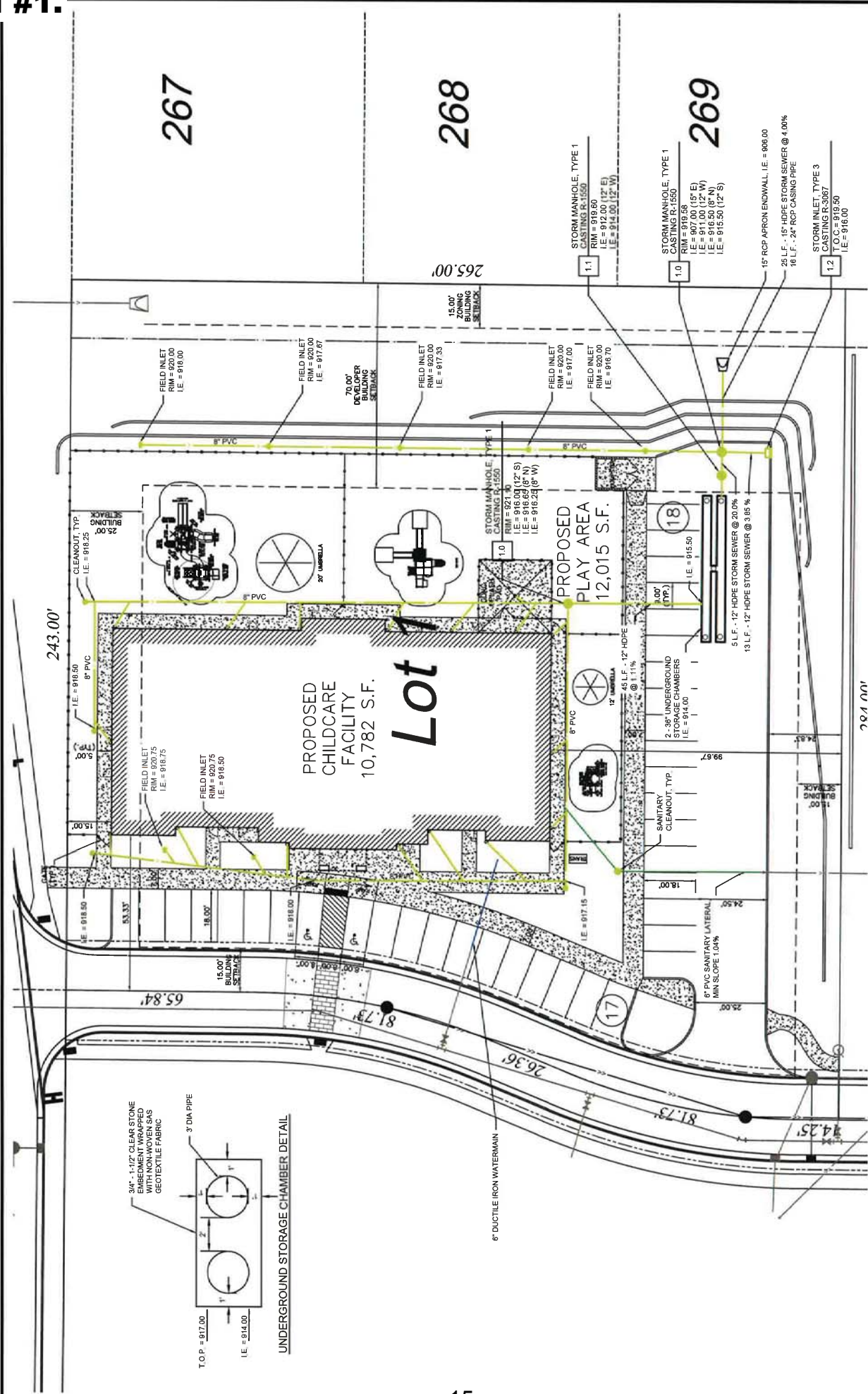
*** <http://www.maryland.gov/online/MDP-17>

PARKING LOT LANDSCAPE REQUIREMENTS

Parking Spot	Point Each	Total Needed
39	1.5	585

Plant Type	Points Each	Quantity	Total
Carex, 2"	50	5	250
Carex, 1.5" Orna	40	2	60
Tall Shrubs	9	18	162
Medium Shrubs	6	19	114
Point Total Provided:			586

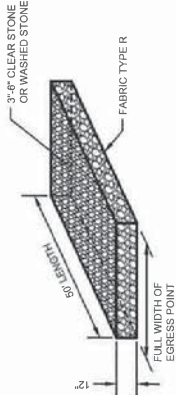
1000 JOURNAL OF CLIMATE



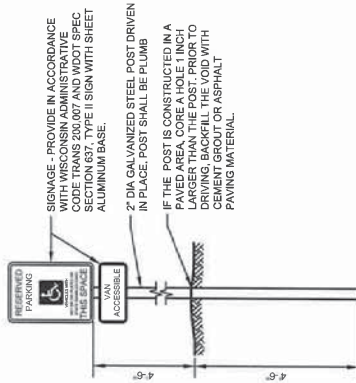
PROJECT NO.		18076000		DATE		08/17/16	
PROJECT NAME		RAINBOW RASCALS DAY CARE					
PROJECT LOCATION		WAUNAKEE BRANCH VILLAGE OF WAUNAKEE, WI					
PROJECT DESCRIPTION		UTILITY PLAN 08-17-16					
<div>ARCHITECTURE ENGINEERING ENVIRONMENTAL FUNDING PLANNING SURVEYING 1230 South Blvd Bamboo, WI 53013 (608) 556-7890 Fax: (608) 556-7891 Cell: (608) 556-2770 Web Address: www.msa-ps.com © 2016 Professional of Services, Inc.</div>							
PROJECT NO.		18076000		DATE		08/17/16	
PROJECT NAME		RAINBOW RASCALS DAY CARE					
PROJECT LOCATION		WAUNAKEE BRANCH VILLAGE OF WAUNAKEE, WI					
PROJECT DESCRIPTION		UTILITY PLAN 08-17-16					

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

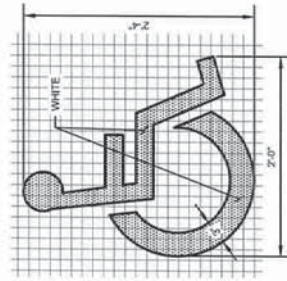
- 1.) SECTION NR16.46 OF WISCONSIN STATE ADMINISTRATIVE CODE IDENTIFIES REQUIREMENTS FOR CONSTRUCTION SITE AND POST-CONSTRUCTION EROSION CONTROL. IT IS THE INTENT OF THESE PLANS TO SATISFY THESE REQUIREMENTS. THE METHODS AND STRUCTURES USED TO CONTROL EROSION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL IMPLEMENT AN APPROPRIATE MEANS OF CONTROLLING EROSION DURING SITE OPERATION AND UNTIL THE VEGETATION IS RE-ESTABLISHED.
- 2.) ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE WISCONSIN DNR'S CONSERVATION PRACTICE STANDARDS. THESE STANDARDS ARE PERIODICALLY UPDATED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP CURRENT AND REFERENCE THE MOST RECENTLY RELEASED STANDARD.
- 3.) THE INFORMATION ONLY ONE PART OF THE CONSTRUCTION DOCUMENTS AND IN THE ACCOMPANYING SPECIFICATIONS.
- 4.) ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE OWNER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- 5.) THE AREA OF EROSION LAND EXPOSED TO THE ELEMENTS BY GRUBBING, EXCAVATION, TRENCHING, BORROW AND FILL OPERATIONS AT ANY ONE TIME SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING. ALL DISTURBED AREAS SHALL BE TREATED WITH PERMANENT STABILIZATION MEASURES WITHIN 3 WORKING DAYS OF FINAL GRADING.
- 6.) ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN IS PRODUCED. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. THIS APPROACH ACKNOWLEDGES THE DIFFICULTY OF WORKING IN WET CONDITIONS AS NECESSARY FOR PREVENTING THE IRREVERSIBLE "FIRST FLUSH" OF SEDIMENT INTO ADJACENT WATERSHEDS.
- 7.) ALL EROSION CONTROL DEVICES SHALL BE PROPERLY INSTALLED PRIOR TO ANY SOIL DISTURBANCE.
- 8.) GRUBBING AND GRADING OPERATIONS SHALL BE PERFORMED IN PROPER SEQUENCE WITH OTHER WORK TO MINIMIZE EROSION.
- 9.) ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- 10.) WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION, WATERING, MULCH, OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES AND WATER RESOURCES.
- 11.) CHANNELIZED RUNOFF FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS, IF PRACTICAL.
- 12.) THE CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS TO PREVENT SOILS FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND / OR SCRAPPED (NOT FLUSHED) PERIODICALLY TO REMOVE SOIL, DIRT AND / OR DUST.
- 13.) EROSION CONTROLS SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF TEMPORARY STOCKPILES. ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING. ALL STOCK PILES SHALL BE PROTECTED FROM STORMS OR WETLANDS.
- 14.) EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.)
- a. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
- b. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
- c. DISCHARGE OF TRENCH WATER OR DEWATERING EFFLUENT MUST BE PROPERLY TREATED TO REMOVE SEDIMENT IN ACCORDANCE WITH THE WORK CONSERVATION PRACTICE STANDARD 10B1 - DEWATERING OR A SUBSEQUENT WORK DEWATERING STANDARD PRIOR TO DISCHARGE INTO A STORM SEWER, DITCH, DRAINAGEWAY, OR WETLAND OR LAKE.
- 15.) ALL DRAINAGE CULVERTS, STORM DRAIN INLETS, MAN-HOLES, OR ANY OTHER EXISTING STRUCTURES WHICH COULD BE DAMAGED BY SEDIMENTATION SHALL BE PROTECTED ACCORDING TO THE VARIOUS METHODS PROVIDED IN THE PRINTED CONSERVATION PRACTICE STANDARDS.
- 16.) ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- 17.) THE FIRST SIX WEEKS AFTER INITIAL STABILIZATION (E.G. PLACEMENT OF SEED AND MULCH, EROSION MAT, SOIL) A DISTURBED AREA SHALL INCLUDE WATERING PROVISIONS OF ALL NEWLY SEEDS AND MULCHED AREAS WHENEVER DAYS ELAPSE WITHOUT A RAIN EVENT.
- 18.) ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS. TEMPORARY BMP'S SUCH AS SILT FENCES, STRAW BALES, AND SEDIMENT TRAPS SHALL BE REMOVED AND THESE AREAS STABILIZED.
- 19.) ALL TEMPORARY BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED.
- 20.) ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED AND MULCH UNLESS OTHERWISE SPECIFIED. A MINIMUM OF 4 TO 6 INCHES OF TOPSOIL SHALL BE APPLIED TO ALL AREAS TO BE SEEDS OR SOODED.



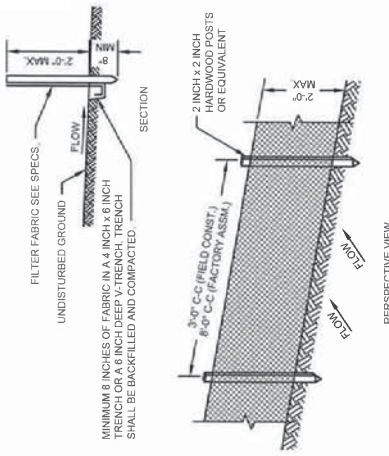
STONE TRACKING PAD DETAIL
NO SCALE



BARRIER FREE SIGNAGE
NO SCALE



DISABLED PARKING STALL SYMBOL
NO SCALE

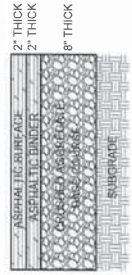


SECTION

PERSPECTIVE VIEW

- GENERAL NOTES:
1. ENDS OF FENCE SHALL BE TURNED UPSLOPE 1 TO 2 FEET IN ELEVATION TO PREVENT FLOWING.
 2. STAPLE FABRIC WITH 1/2 INCH (MINIMUM) STAPLES TO THE UPSLOPE SIDE OF THE POSTS.
 3. WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.

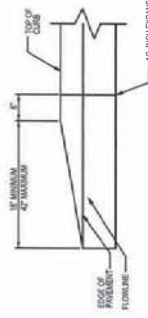
TYPICAL SILT FENCE INSTALLATION AT SITE PERIMETER DETAIL
NO SCALE



GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY ASPHALT & GRAVEL BASE THICKNESSES WITH OWNER AND WITH THE PROJECT GEOTECHNICAL REPORT

TYPICAL ASPHALT PAVING DETAIL
SCALE NONE



CURB END DETAIL
SCALE NONE

PROJECT NO. 18016000
SHEET 65

DETAILS

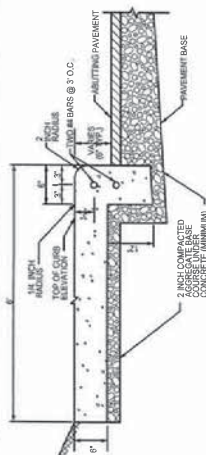
RAINBOW RASCALS DAY CARE
WAUNAKEE BRANCH
VILLAGE OF WAUNAKEE, WI

ARCHITECTURE | ENGINEERING | ENVIRONMENTAL
DESIGN
1230 South Blvd. Waukegan, WI 53193
(608) 356-2770 | (608) 356-4005 Fax: (608) 356-2770
www.msa-engineers.com

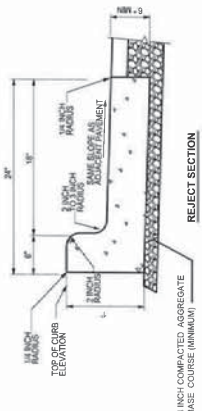
MSA
ENGINEERS

PROJECT NO.	SCALE	DATE	BY
18016000	AS SHOWN		
PROJECT DATE	DATE	DATE	DATE
18016000	AS SHOWN		
PROJECT DATE	DATE	DATE	DATE

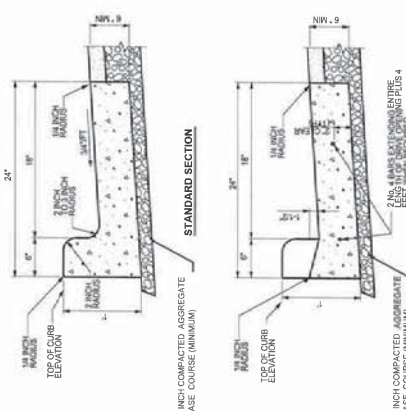
STANDARD SECTION



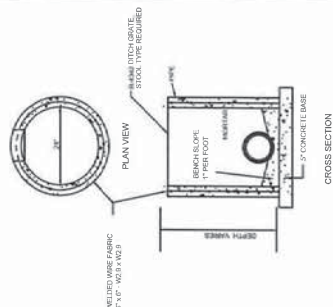
CURB AND GUTTER DETAIL



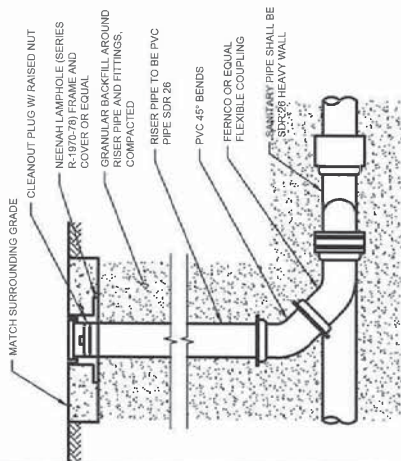
CURB AND GUTTER DETAIL



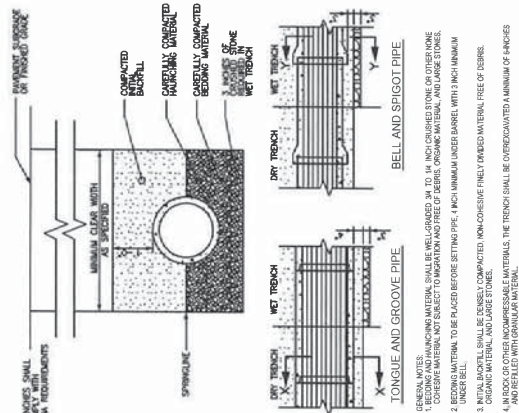
FIELD INLET - 24" PRECAST MH



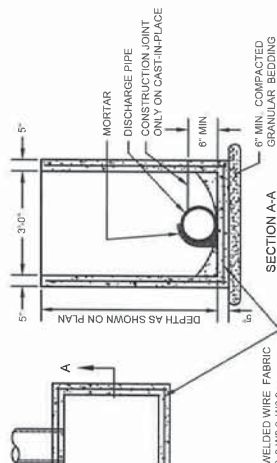
SANITARY SEWER CLEANOUT



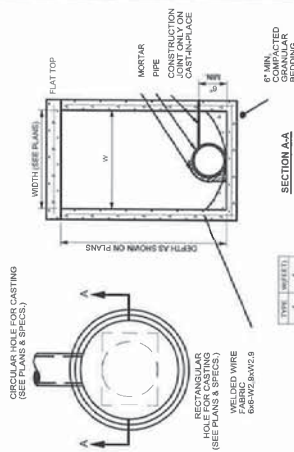
CLASS "B" EMBEDMENT FOR RIGID PIPE DETAIL



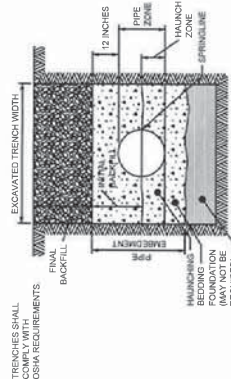
TYPE 3 INLET DETAIL



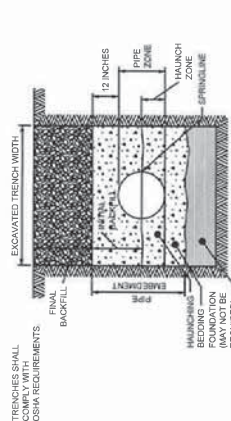
STORM INLET DETAIL



CLASS II - FLEXIBLE PIPE EMBEDMENT DETAIL



CLASS II - FLEXIBLE PIPE EMBEDMENT DETAIL



1582

Fenton Development Group Inc.
1732 Crooks Rd
Troy, MI 48084



7.11.16

PAY TO THE
ORDER OF

The village of waunakee
three hundred twenty dollars

\$ 320.00

DOLLARS

Void After 90 Days

AUTHORIZED SIGNATURE

MEMO site plan application

⑈001582⑈ ⑆072414255⑆ 328705488⑈

1582

Fenton Development Group Inc.



PLAN COMMISSION APPLICATION

PROJECT ADDRESS / NAME: Lot 1 of CSM for lot 266 - Kilkenny Farms / Rainbow Rascals Child Care Facility

APPLICANT: 814 Development	
ADDRESS: 1742 N Crooks Road, Troy, MI 48084	
PHONE: (248) 519-9279	EMAIL: Amy@814cre.com

OWNER: Rainbow Child Care	
ADDRESS: 1732 Crooks Road, Tryoy, MI 48084	
PHONE:	EMAIL:

PROJECT DESCRIPTION: Construction of a new Rainbow Rascals child care facility and associated site development work in the Village of Waunakee.

OWNER/APPLICANT SIGNATURE: *[Signature]*

DATE: 7/11/16

FEES: (CHECK ALL THAT APPLY)		ESCROW DEPOSIT:
• SITE PLAN	<input checked="" type="checkbox"/> \$320	An escrow deposit is required in accordance with the Development Application Agreement.
• REZONE	<input type="checkbox"/> \$345	
• CONDITIONAL USE PERMIT	<input type="checkbox"/> \$350	
• CERTIFIED SURVEY MAP	<input type="checkbox"/> \$100 + \$25 per lot	
• PRELIMINARY PLAT	<input type="checkbox"/> \$100 + \$50 per dwelling unit	
• FINAL PLAT	<input type="checkbox"/> \$100 + \$50 per dwelling unit	
• GDP/SIP APPROVAL	<input type="checkbox"/> \$475	
TOTAL: _____		ESCROW FEE PAID: _____ DATE: _____ FEE WAIVED BY: _____

DEVELOPMENT APPLICATION AGREEMENT

This Development Application Agreement (the "Agreement") is made and entered into this 11 day of July, 2016, by and between the Village of Waunakee, a Wisconsin municipal corporation (the "Village"), and 814 Development (the "Applicant").

RECITALS

- A. The Applicant plans to file, or has filed, an application for approval by the Village of one or more of the following activities within the Village's jurisdiction: site plan / conditional use permit / rezone / variance / other development (hereinafter referred to as the "Development").
- B. The Village desires to review and take action on the Development in a timely manner in accordance with all applicable federal, state and local laws and regulations, and without unreasonable expense to Village taxpayers.
- C. The Applicant agrees and acknowledges that decisions and approvals regarding the Development are legislative determinations to be made in the Village's discretion and that the Applicant's compliance with this Agreement does not, in any way, entitle the Applicant to approval of the Development.
- D. The process of reviewing the plans and documents associated with the Development will cause the Village to incur direct and indirect expenses including, but not limited to, staff time and fees and expenses incurred by the Village for outside consultant services related to review of the Development (e.g., engineers, attorneys, accountants, planners, and other professionals).

NOW, THEREFORE, for and in consideration of the mutual covenants contained herein, and for good and valuable consideration, the Village and the Applicant agree as follows:

- 1. *Recitals.* The representations and recitations set forth in the foregoing paragraphs are material to this Agreement and are hereby incorporated into and made a part of this Agreement as though they were fully set forth in this paragraph.
- 2. *Applicant to Reimburse Village Review Costs.* The Applicant shall reimburse the Village for all direct and indirect costs and expenses related to the Village's review of the Development. The direct and indirect costs and expenses include, but are not limited to, staff time and fees and expenses incurred by the Village for outside consultant services (e.g., engineers, attorneys, accountants, planners, and other professionals). For purposes of this Agreement, the direct and indirect costs and expenses shall be referred to as "Review Costs." Village staff time shall be charged at current rates.

3. *Deposit Required to Fund Reimbursement Account.*

- a. To ensure that funds are readily available to the Village for reimbursement of the Review Costs as provided in paragraph 2 above, the Applicant shall deposit with the Village an amount determined by the Village Zoning Administrator to be used to pay the Review Costs (the "Deposit"). The Village Zoning Administrator shall use the following table as a guide to determine the amount of the Deposit:

- (1) Small additions (<2,500 sf) shall require a \$1,500 Deposit.
- (2) Small-sized projects (<5,000 sf) shall require a \$3,500 Deposit.
- (3) Medium-sized projects (<10,000 sf) shall require a \$5,500 Deposit.
- (4) Large-sized projects (>10,000 sf) shall require a \$10,000 Deposit.
- (5) In addition to the amounts identified in (1) through (4), any Development that requires a development agreement or tax incremental financing assistance from the Village shall require an additional \$5,000 to \$10,000 Deposit.

All Deposit amounts shall be determined by the Village Zoning Administrator in his/her sole discretion and are not subject to challenge by the Applicant. Generally small additions will be less than 2,500 square feet, small projects less than 5,000 square feet, medium projects less than 10,000 square feet and large projects are over 10,000 square feet.

- b. The Applicant is responsible for payment of all Review Costs regardless of whether the amount exceeds the amount initially deposited with the Village. The Village reserves the right to require the Applicant to deposit additional amounts if the Village Zoning Administrator determines that additional amounts are necessary because of the size of the Development or because the Reimbursement Account (defined below) has been depleted.
- c. The Deposit may be provided in the form of cash, a certified check, cashier's check, personal check, or some other form as approved by the Village.
- d. The required Deposit must be made by the Applicant upon execution of this Agreement.
- e. The Applicant agrees and acknowledges that the Village will not process the application(s) associated with the Development and that the Village may suspend or otherwise stop activities associated with the Development if the Applicant fails to comply with this Agreement.
- f. The Village shall place and maintain the Deposit in a segregated, non-interest bearing account to be used solely for the purpose of reimbursing the Review Costs in accordance with paragraph 4 below (the "Reimbursement Account").

ITEM #1.

4. *Village Withdrawals from the Reimbursement Account.*

- a. After complying with the notification requirements of paragraph 4.b. below, the Village is entitled to make withdrawals from the Reimbursement Account to pay Review Costs in accordance with paragraph 2 above.
- b. Not less than 5 days prior to making any withdrawal from the Reimbursement Account, the Village shall provide the Applicant with an itemized invoice for Review Costs incurred, together with a written notice of the Village's intent to withdraw such funds from the Reimbursement Account.
- c. Withdrawals from the Reimbursement Account may be made as often as necessary to reimburse the Review Costs. In the event that the balance of Applicant's Reimbursement Account reaches \$1,000 or less, the Village shall have the discretion to continue withdrawing funds from the Reimbursement Account; to invoice the Applicant directly for payment; or to require the Applicant to pay additional monies to the Village, which monies shall be deposited in the Reimbursement Account. Payments for directly invoiced bills shall be due 30 days from the date the invoice is mailed to the Applicant.
- d. Any amounts remaining in the Reimbursement Account after the Village as taken final action on the Development and all Review Costs have been paid shall be promptly refunded to the Applicant.

5. *Authority/Binding Effect.* The parties agree that the undersigned signatories to this Agreement have full power and authority to act on behalf of the Village and the Applicant, and that all necessary and enabling resolutions have been enacted. This Agreement shall bind the heirs, successors and assigns of the Applicant and the Village.

6. *Notification of Parties.*

Any notices to be provided under this Agreement may be made by delivery in person, by First Class mail, or by electronic mail (request a read receipt required) as provided below:

To Village: Village of Waunakee
 Attn: Village Zoning Administrator
 500 West Main Street
 P.O. Box 100
 Waunakee, WI 53597
 Email: kevin@waunakee.com

To Applicant: 814 Development
1742 N Crooks Road
Troy, MI 48084
 Email: Amy Labadie <Amy@814cre.com>

7. *Severability.* If any provision of this Agreement is deemed invalid, then the invalidity of said provision shall not affect the validity of any other provision hereof.
8. *Amendment, Withdrawal, or Release.* This Agreement may be withdrawn, amended or released only by a written document duly executed by both parties.
9. *Effective Date.* This Agreement shall be effective commencing on the date indicated in the first paragraph above.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by the duly authorized individuals and officers below.

VILLAGE OF WAUNAKEE

By: _____

Kevin Even

Village Zoning Administrator

APPLICANT

By: 

Print name: AMY LABADIE

Title: Head Client Relations

ITEM #1.

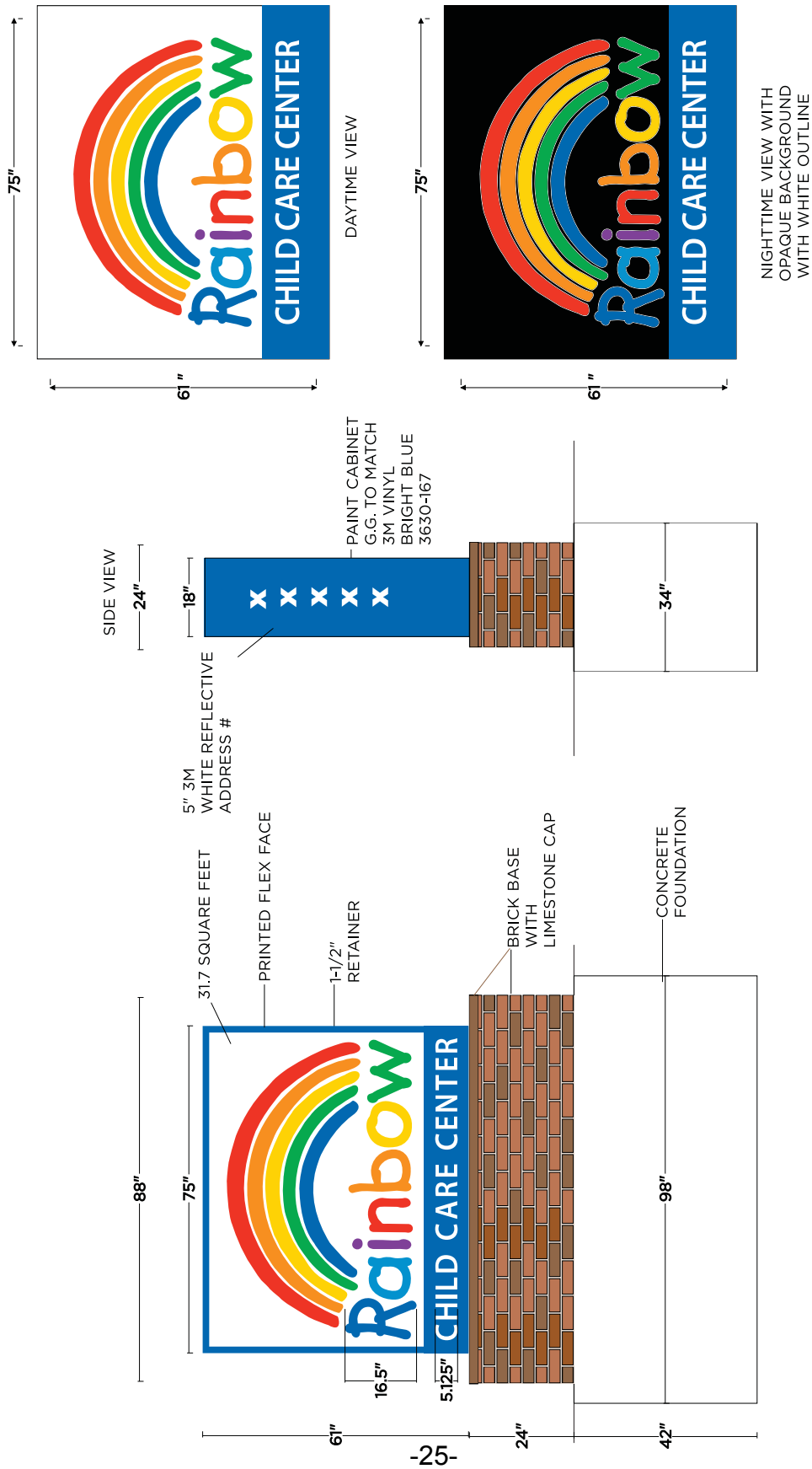
Building 1st Impressions The
JOHNSON SIGN CO.
2240 Lansing Ave, Jackson, MI 49202
517 784 3720 | www.johnsonsign.com

JOB NAME: _____
RAINBOW CHILD _____
CARE CENTER _____
LOCATION: _____
TYPICAL PRINTS _____
ACCOUNT REP: WJ _____
DESIGNER: WJ _____
REVISION: _____

NOTES: _____
(1) 61" X 75"
ILLUMINATED
MONUMENT SIGN
WITH 24" X 24" X 88"
BRICK BASE

FILE NAME: _____
MS-61inX 75in
SCALE: _____
1/2"=1'

This design and all material appearing hereon constitute the original unpublished work of Johnson Sign Co. may not be duplicated, used or disclosed without written consent.



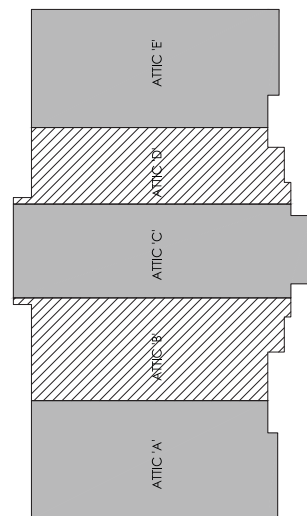
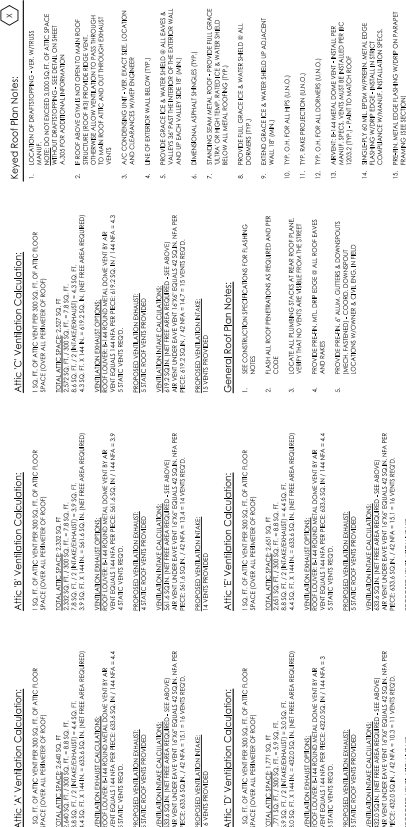
CUSTOMER APPROVAL: _____ DATE: _____

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THIS SIGN IS INTENDED TO BE MANUFACTURED
IN ACCORDANCE WITH THE
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APPLICABLE LOCAL CODES. THIS INCLUDES
PROPER GROUNDING & BONDING OF THE SIGN.
SIGN WILL BEAR UL LABEL(S).



A.104



VENTILATION DIAGRAM PLAN

ITEM #1.

Client:
Rainbow Child Care
Center
1732 Crooks Rd.
Troy, MI 48064

Project:

Issued:

Seal:

Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:



Sheet Title:

First Floor Plan

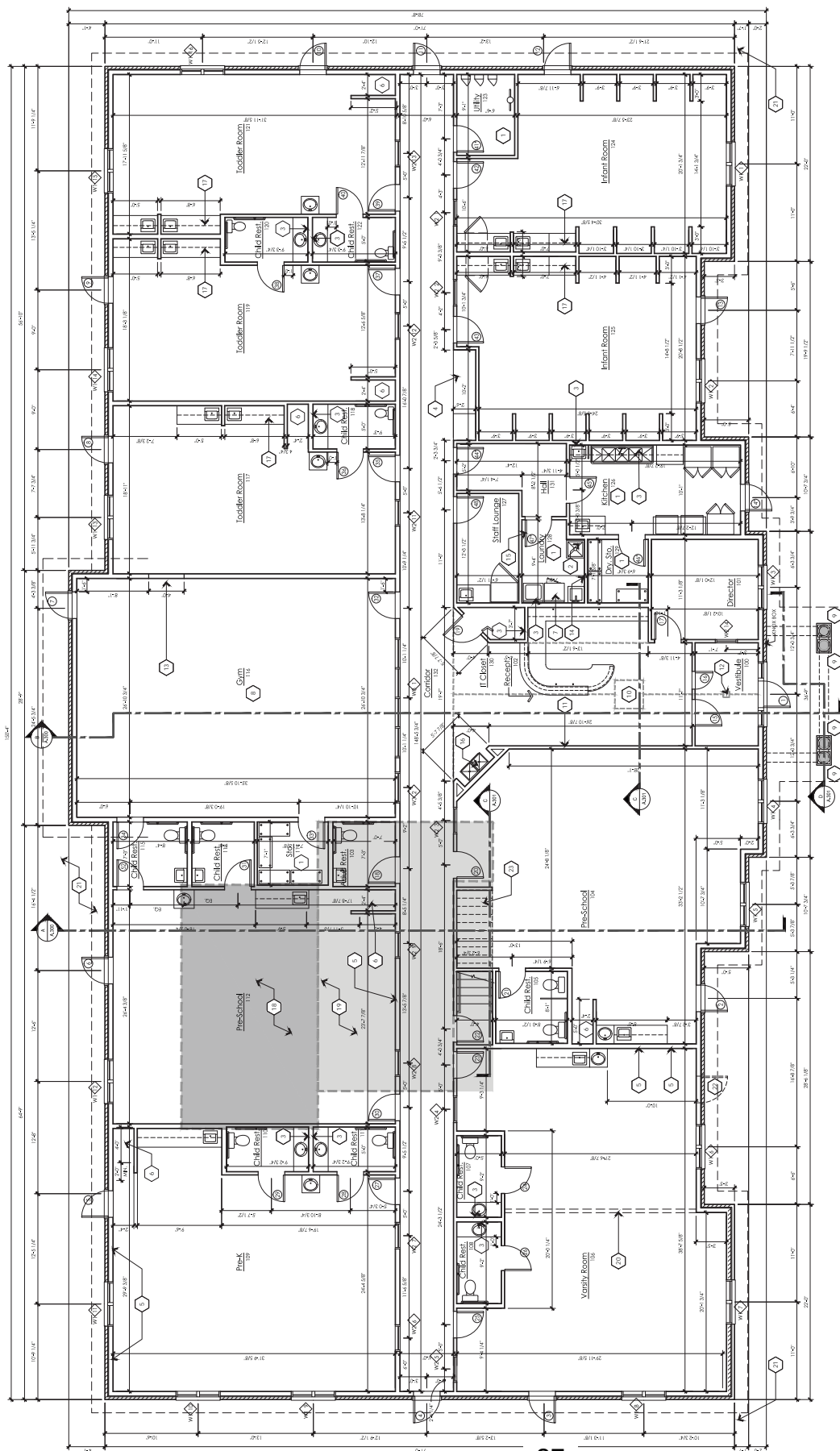
Scale:

$$\underline{3/16" = 1'-0"}$$

Project Number:

Sheet Number:

A.101



Window Legend

- DOUBLE-HUNG W/INS. WINDOW (2 PANE) W/ INSULATED CLEAR GLASS, JELLY-BELL OR OWNER APPROVED EQUAL UPSTAIR OPERABLE - 54" H. H. HAVE SCREENS APPROXIMATE REG. SIZE (OVERALL L. 54" H) - 1" MANUFACTURED TO USE STANDARD JELLY-BELL ARCHITECT OF ANY CHOICE.
47. 36" X 36" SAFETY GLASS TEMP. LAMINATED WINDOW N-HOLLOW METAL PAINTED FRAME
48. 36" X 36" SAFETY GLASS TEMP. LAMINATED WINDOW N-HOLLOW METAL PAINTED FRAME

Doorplan Height Notes:

- [illegible]

General Floor Plan Notes:

- | | |
|------|---|
| 1. | ALL INTERIOR WALLS ARE TO BE 3/4" WOOD FRAMING STUDS. |
| 2. | RESISTANCE TO COMPRESSION AND TENSILE STRESS SHALL HAVE A TENSILE STRESS RATING OF 25 OR LESS AND SHOWN DEVELOPMENT INDEX - 40 OR GREATER. |
| 3. | ALL OCCUPANTED ROOMS SHALL BE FINISHED WITH A MINIMUM OF 1/2" GYPSUM BOARD. ALL UNOCCUPIED ROOMS OR AREAS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD. ALL UNOCCUPIED AREAS SHALL BE A FINISH GRADE FOR THE PURPOSE. |
| 4. | PROVIDE EXTERIOR FLOOR FINISH BASE LINE IS LOCATED INDICATED BY A/E/D. |
| 5. | PROVIDE BUILT UP FINISH FOR WALLS FOR ALL WALL TYPES EXCEPT THE FOLLOWING: |
| 5.1. | DOOR DOORS |
| 5.2. | WALL DOORS |
| 5.3. | WALL OPENINGS |
| 5.4. | WALLS WITH MOUNTED EQUIPMENT |
| 5.5. | WALLS WITH MOUNTED EQUIPMENT |
| 6. | ALL WOOD AND WOOD BATED PRODUCTS WITH A FIRE RATING SHALL BE INSURE TREATED AS REQUIRED PER CODE |
| 7. | ALL INTERIOR WALLS SHALL BE FINISHED AS REQUIRED PER SECTION FOR WINDOW TYPE, WINDOW SIZES AND WINDOW TYPES |
| 8. | PROVIDE HANGERS, CHILL COILS ON ALL CHILLED WATER AND DRAWERS |
| 9. | GC TO COORDINATE ALL ROUGH CARPENTRY WITH MEP |
| 10. | GC TO COORDINATE CONTROL JUNCTIONS WITH MECHANICAL RECOMMENDATION OF THE MECHANICAL CONTRACTOR |

Keyed First Floor Plan Notes:

- | | | | | | |
|-----|--|-----|---|-----|---|
| 1. | ALL WINDOWS AND GLASS DOORS BEING REPAIRED OR REPLACED WITH GLASS BEARING CERTIFICATES | 11. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 21. | AREA OF MECHANICAL MECHANICAL JUNCTIONS |
| 2. | ALL WINDOWS AND GLASS DOORS BEING REPAIRED OR REPLACED WITH GLASS BEARING CERTIFICATES | 12. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 22. | LOCATION OF CHIMNEY FOR EXTERIOR WALL |
| 3. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 13. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 23. | WALL DOWNSIES & DETAILS |
| 4. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 14. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 24. | WALL DOWNSIES & DETAILS |
| 5. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 15. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 25. | THURD DOOR - HANGER HOOKING |
| 6. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 16. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 26. | THURD DOOR - HANGER HOOKING |
| 7. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 17. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 27. | THURD DOOR - HANGER HOOKING |
| 8. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 18. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 28. | THURD DOOR - HANGER HOOKING |
| 9. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 19. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 29. | THURD DOOR - HANGER HOOKING |
| 10. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 20. | POWER DOOR CLOSERS MUST BE ADJUSTED TO 2" MAXIMUM | 30. | THURD DOOR - HANGER HOOKING |

Client: Rainbow Child Care Center
1735 Crooks Rd
Tracy, WI 48084

Project:

Issued:

Seal:

No. 6:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

Sheet Title:

Exterior Elevations

Scale:

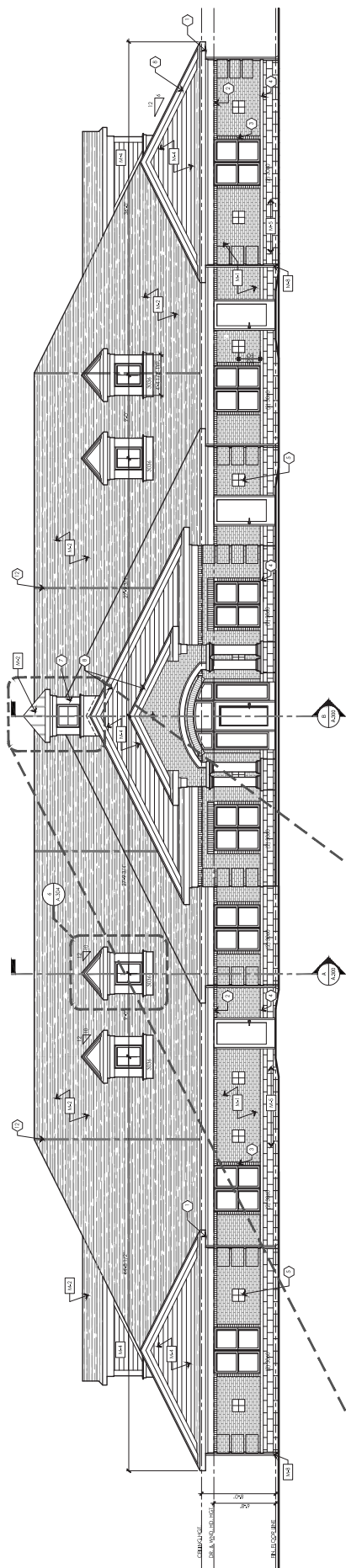
As Noted

Project Number:

Sheet Number:

A.20

ITEM #1.



Front Elevation

Scale: 3/16" = 1'-0"

Front Elevation Material Calculations:
Material: 1000 sq ft
Color: 1000 sq ft
Notes: 1000 sq ft

GENERAL ELEVATION NOTES:

1. ALL ELEVATIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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11. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
12. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
13. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
14. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

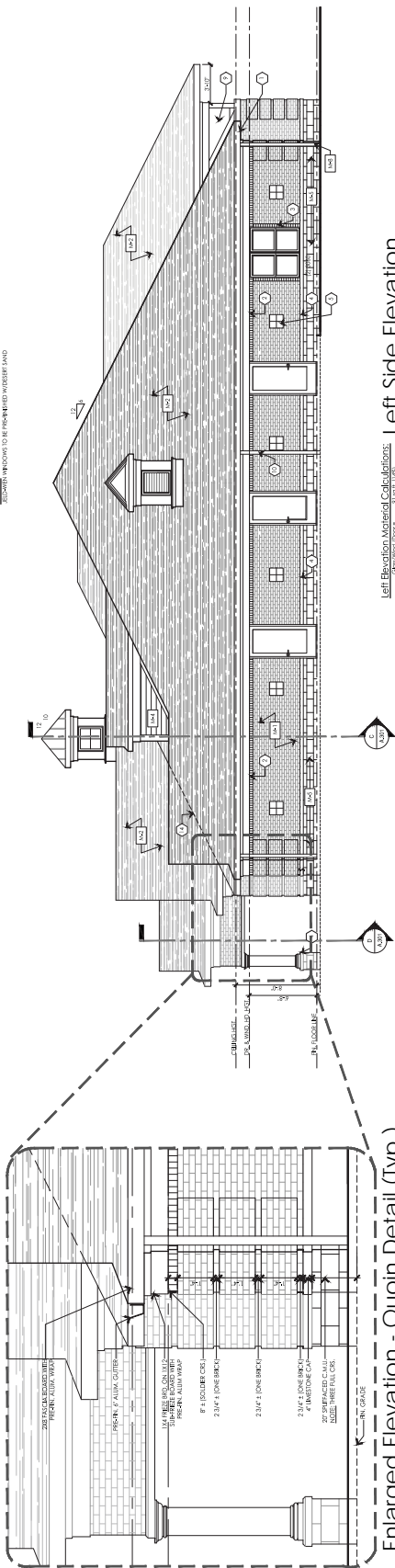
Keyed Elevation Notes:

1. 1/4" ALUMINUM CORNER BRACKET
2. 1/4" ALUMINUM CORNER BRACKET
3. 1/4" ALUMINUM CORNER BRACKET
4. 1/4" ALUMINUM CORNER BRACKET
5. 1/4" ALUMINUM CORNER BRACKET
6. 1/4" ALUMINUM CORNER BRACKET
7. 1/4" ALUMINUM CORNER BRACKET
8. 1/4" ALUMINUM CORNER BRACKET
9. 1/4" ALUMINUM CORNER BRACKET
10. 1/4" ALUMINUM CORNER BRACKET
11. 1/4" ALUMINUM CORNER BRACKET
12. 1/4" ALUMINUM CORNER BRACKET
13. 1/4" ALUMINUM CORNER BRACKET
14. 1/4" ALUMINUM CORNER BRACKET

Exterior Elevation Materials

ITEM	MANUFACTURER	MODEL	COLOR / FINISH	NOTES
1	BRANIFF	BRANIFF	COLOR / FINISH	
2	BRANIFF	BRANIFF	COLOR / FINISH	
3	BRANIFF	BRANIFF	COLOR / FINISH	
4	BRANIFF	BRANIFF	COLOR / FINISH	
5	BRANIFF	BRANIFF	COLOR / FINISH	
6	BRANIFF	BRANIFF	COLOR / FINISH	
7	BRANIFF	BRANIFF	COLOR / FINISH	
8	BRANIFF	BRANIFF	COLOR / FINISH	
9	BRANIFF	BRANIFF	COLOR / FINISH	
10	BRANIFF	BRANIFF	COLOR / FINISH	
11	BRANIFF	BRANIFF	COLOR / FINISH	
12	BRANIFF	BRANIFF	COLOR / FINISH	
13	BRANIFF	BRANIFF	COLOR / FINISH	
14	BRANIFF	BRANIFF	COLOR / FINISH	

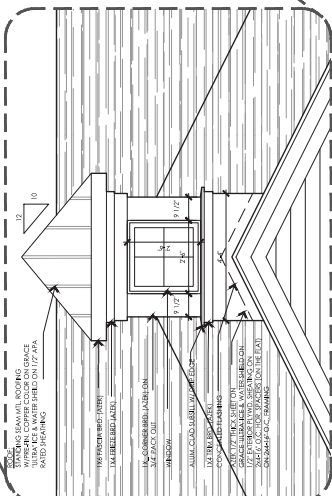
NOTE: 1. 1/4" ALUMINUM CORNER BRACKET



Left Side Elevation

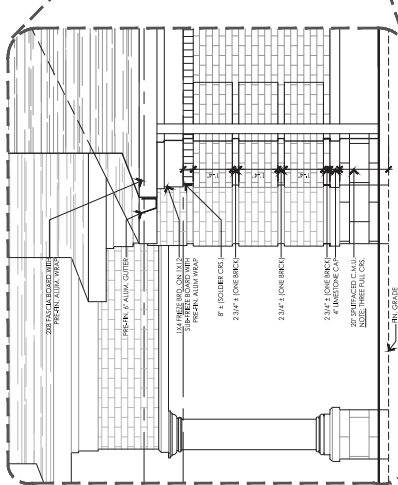
Scale: 3/16" = 1'-0"

Left Elevation Material Calculations:
Material: 1000 sq ft
Color: 1000 sq ft
Notes: 1000 sq ft



Enlarged Cupola Elevation

Scale: 1/2" = 1'-0"



Enlarged Elevation - Quoin Detail (typ.)

Scale: 1/2" = 1'-0"

ITEM #1.

Client: Rainbow Child Care Center
1230 Chicago Rd
Troy, MI 48064

Project:

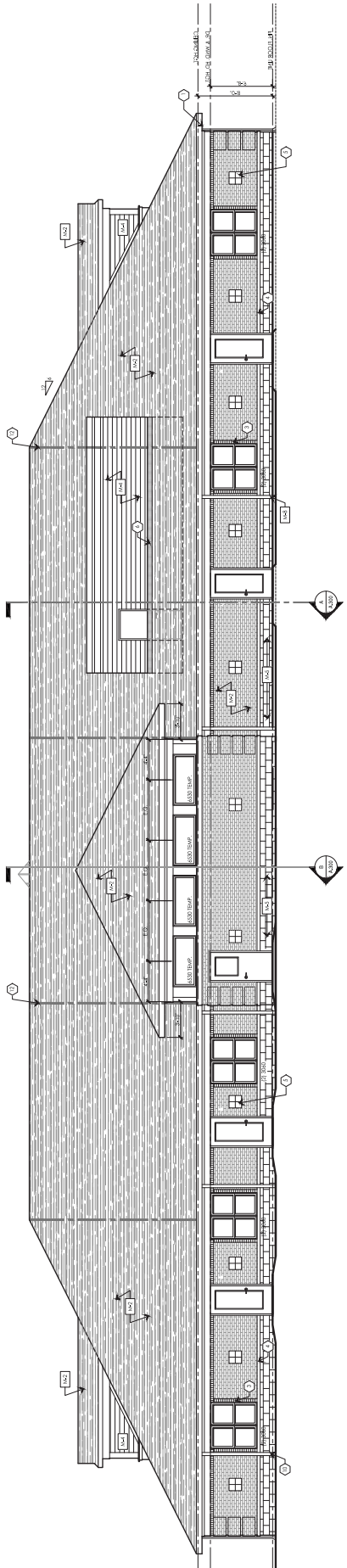
Issued:

Seal:

Note:
Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.
North Arrow:

Sheet Title:
Exterior Elevations
Scale:
As Noted
Project Number:

Sheet Number:
A.201



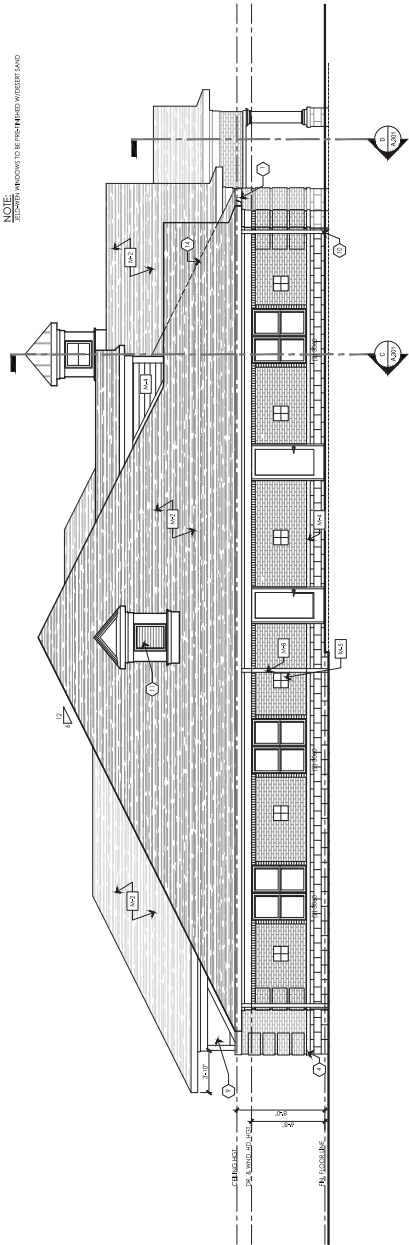
Rear Elevation
Scale: 3/16" = 1'-0"

Rear Elevation Material Calculations:
Area = 1,234 sq. ft.
Volume = 1,234 cu. ft.
Total = 1,234 sq. ft.

ITEM	MANUFACTURER	MODEL	COLOR NAME	NOTES
101	BRANIFF BRICK	CHICKADEE BRICK	COLOR - JETTER	BRICK & NOT RAINY
102	APPLIED FINISHES	WINDMILL FINISHES	COLOR - HAZARD HAZARD	FINISHES TO BE USED
103	SHAW-WALKER	SHAW-WALKER	COLOR - HAZARD HAZARD	FINISHES TO BE USED
104	SHAW-WALKER	SHAW-WALKER	COLOR - HAZARD HAZARD	FINISHES TO BE USED
105	SHAW-WALKER	SHAW-WALKER	COLOR - HAZARD HAZARD	FINISHES TO BE USED
106	SHAW-WALKER	SHAW-WALKER	COLOR - HAZARD HAZARD	FINISHES TO BE USED
107	SHAW-WALKER	SHAW-WALKER	COLOR - HAZARD HAZARD	FINISHES TO BE USED
108	SHAW-WALKER	SHAW-WALKER	COLOR - HAZARD HAZARD	FINISHES TO BE USED
109	SHAW-WALKER	SHAW-WALKER	COLOR - HAZARD HAZARD	FINISHES TO BE USED
110	SHAW-WALKER	SHAW-WALKER	COLOR - HAZARD HAZARD	FINISHES TO BE USED

GENERAL ELEVATION NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISHES TO BE USED AS SHOWN IN THE MATERIAL SCHEDULE.
3. FINISHES TO BE USED AS SHOWN IN THE MATERIAL SCHEDULE.
4. FINISHES TO BE USED AS SHOWN IN THE MATERIAL SCHEDULE.
5. FINISHES TO BE USED AS SHOWN IN THE MATERIAL SCHEDULE.
6. FINISHES TO BE USED AS SHOWN IN THE MATERIAL SCHEDULE.
7. FINISHES TO BE USED AS SHOWN IN THE MATERIAL SCHEDULE.
8. FINISHES TO BE USED AS SHOWN IN THE MATERIAL SCHEDULE.
9. FINISHES TO BE USED AS SHOWN IN THE MATERIAL SCHEDULE.
10. FINISHES TO BE USED AS SHOWN IN THE MATERIAL SCHEDULE.

Total Building Elevation Material Calculations:
Area = 1,234 sq. ft.
Volume = 1,234 cu. ft.
Total = 1,234 sq. ft.



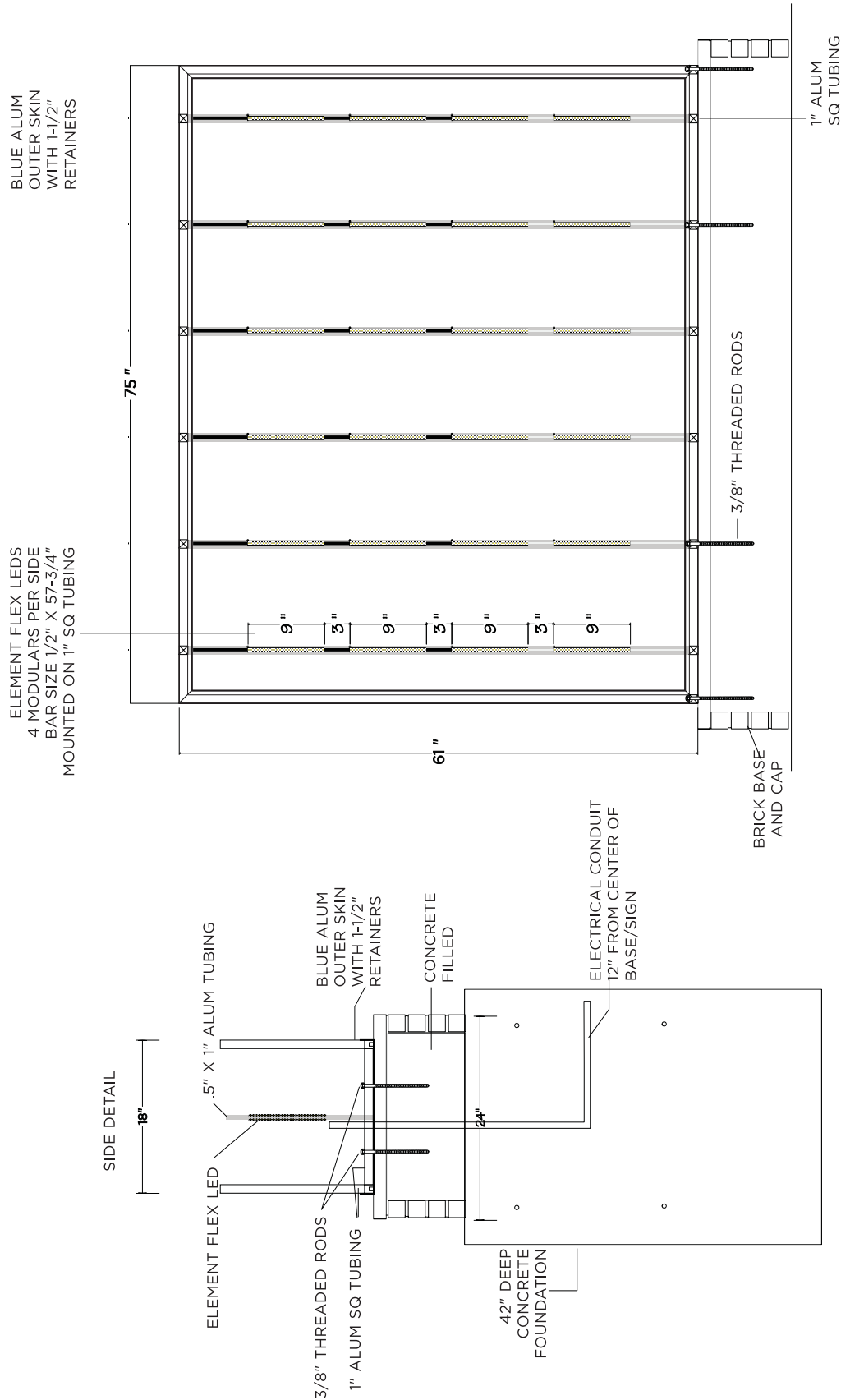
Right Side Elevation
Scale: 3/16" = 1'-0"

Right Side Elevation Material Calculations:
Area = 1,234 sq. ft.
Volume = 1,234 cu. ft.
Total = 1,234 sq. ft.

JOB NAME:	RAINBOW CHILD
	CARE CENTER
LOCATION:	
TYPICAL PRINTS	
ACCOUNT REP:	WJ
DESIGNER:	WJ
REVISION:	
NOTES:	
CONSTRUCTION	
DETAILS - 61" X 75"	
MONUMENT SIGN	
FILE NAME:	
	RA-TYP-MS-DET-6175
SCALE:	
	1"=1'

This design and all material appearing herein constitute the original unpublished work of Johnson Sigr...
ITE
may not be duplicated or disclosed without written consent.

ITEM #1.



JOHNSON SIGN CO
DOES NOT PROVIDE
PRIMARY ELECTRIC
TO SIGN LOCATION
RESPONSIBILITY OF OTHERS

THIS SIGN IS INTENDED TO BE MANUFACTURED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN. SIGN WILL BEAR UL LABEL(S).



CUSTOMER APPROVAL:

DATE:



ITEM #2.



Dane County Planning & Development

Land Division Review

September 2, 2016

Burse Surveying & Engineering
2801 International Lane, Suite 101
Madison, WI 53704

Re: Whitehouse (CSM 9914)
Town of Westport, Section 22
(1 lot, 4.37 acres)
Village of Waunakee ETZ

Attn: Michelle Burse, S-2020

The proposed CSM is hereby conditionally approved as follows:

1. The document is to be completed in accordance with S.236.34, Wisconsin State Statutes.
2. All owners of record are to be included in the owner's certificate. Spouse's signature and middle initials are required. A certificate of consent by all mortgagees/vendors shall be included and satisfied if relevant. County records indicate the following owners:
 - *WHITEHOUSE ASSOCIATES LLC*
3. The required approval certificates are to be satisfied.
 - *Town of Westport*
 - *Village of Waunakee*
4. Comments from the Dane County Highway department are to be satisfied:
 - *CTH M is a controlled access highway.*
 - *No access will be permitted to CTH M.*
 - *No right-of-way designated to comment upon.*
5. Comments from the Dane County Surveyor are to be satisfied:
 - *No comments.*
6. It may be appropriate to remove the zoning setback lines from the recordable document as the zoning may change in the future.
7. The recordable document is to be submitted for review and approval.

When the above conditions have been fully satisfied, the original document along with a copy of this letter may be submitted for final review and the Dane County approving signature will be affixed. Please allow for ten (10) working days for approving signature. Any questions regarding this letter, please contact myself.

Sincerely,

Daniel Everson
Assistant Zoning Administrator
267.1541

CC:
Clerk, Town of Westport
Clerk, Village of Waunakee
County Highway – Pam Dunphy

ITEM #2.



DANE COUNTY DEPARTMENT of PUBLIC WORKS, HIGHWAY and TRANSPORTATION

County Executive
Joe Parisi

2302 Fish Hatchery Road
Phone: (608) 266-4261

Madison, Wisconsin 53713-2495
FAX: (608) 266-4269

Commissioner/Director
Gerald J. Mandli

TO: Attn: Dan Everson
Dane County Zoning and Natural Resources
Committee
Room 116
City-County Building
Madison, WI 53704

FROM: Pam Dunphy, P.E., Assistant Commissioner

DATE: August 23, 2016

SUBJECT: **File No: 16-17**
Surveyor: Burse

The following survey of lands was received and examined by this department:

Section 22, Westport

Owner/Development: Whitehouse Assoc

Comments:

CTH M is a controlled access highway. No access will be permitted to CTH M. No right of way designated to comment upon.

DEVELOPMENT APPLICATION AGREEMENT

This Development Application Agreement (the "Agreement") is made and entered into this 5 day of August, 2016, by and between the Village of Waunakee, a Wisconsin municipal corporation (the "Village"), and Whitkase Assoc. (the "Applicant").

RECITALS

- A. The Applicant plans to file, or has filed, an application for approval by the Village of one or more of the following activities within the Village's jurisdiction: site plan / conditional use permit / rezone / variance / other development (hereinafter referred to as the "Development").
- B. The Village desires to review and take action on the Development in a timely manner in accordance with all applicable federal, state and local laws and regulations, and without unreasonable expense to Village taxpayers.
- C. The Applicant agrees and acknowledges that decisions and approvals regarding the Development are legislative determinations to be made in the Village's discretion and that the Applicant's compliance with this Agreement does not, in any way, entitle the Applicant to approval of the Development.
- D. The process of reviewing the plans and documents associated with the Development will cause the Village to incur direct and indirect expenses including, but not limited to, staff time and fees and expenses incurred by the Village for outside consultant services related to review of the Development (e.g., engineers, attorneys, accountants, planners, and other professionals).

NOW, THEREFORE, for and in consideration of the mutual covenants contained herein, and for good and valuable consideration, the Village and the Applicant agree as follows:

- 1. *Recitals.* The representations and recitations set forth in the foregoing paragraphs are material to this Agreement and are hereby incorporated into and made a part of this Agreement as though they were fully set forth in this paragraph.
- 2. *Applicant to Reimburse Village Review Costs.* The Applicant shall reimburse the Village for all direct and indirect costs and expenses related to the Village's review of the Development. The direct and indirect costs and expenses include, but are not limited to, staff time and fees and expenses incurred by the Village for outside consultant services (e.g., engineers, attorneys, accountants, planners, and other professionals). For purposes of this Agreement, the direct and indirect costs and expenses shall be referred to as "Review Costs." Village staff time shall be charged at current rates.

3. *Deposit Required to Fund Reimbursement Account.*

- a. To ensure that funds are readily available to the Village for reimbursement of the Review Costs as provided in paragraph 2 above, the Applicant shall deposit with the Village an amount determined by the Village Zoning Administrator to be used to pay the Review Costs (the "Deposit"). The Village Zoning Administrator shall use the following table as a guide to determine the amount of the Deposit:

- (1) Small additions (<2,500 sf) shall require a \$1,500 Deposit.
- (2) Small-sized projects (<5,000 sf) shall require a \$3,500 Deposit.
- (3) Medium-sized projects (<10,000 sf) shall require a \$5,500 Deposit.
- (4) Large-sized projects (>10,000 sf) shall require a \$10,000 Deposit.
- (5) In addition to the amounts identified in (1) through (4), any Development that requires a development agreement or tax incremental financing assistance from the Village shall require an additional \$5,000 to \$10,000 Deposit.

All Deposit amounts shall be determined by the Village Zoning Administrator in his/her sole discretion and are not subject to challenge by the Applicant. Generally small additions will be less than 2,500 square feet, small projects less than 5,000 square feet, medium projects less than 10,000 square feet and large projects are over 10,000 square feet.

- b. The Applicant is responsible for payment of all Review Costs regardless of whether the amount exceeds the amount initially deposited with the Village. The Village reserves the right to require the Applicant to deposit additional amounts if the Village Zoning Administrator determines that additional amounts are necessary because of the size of the Development or because the Reimbursement Account (defined below) has been depleted.
- c. The Deposit may be provided in the form of cash, a certified check, cashier's check, personal check, or some other form as approved by the Village.
- d. The required Deposit must be made by the Applicant upon execution of this Agreement.
- e. The Applicant agrees and acknowledges that the Village will not process the application(s) associated with the Development and that the Village may suspend or otherwise stop activities associated with the Development if the Applicant fails to comply with this Agreement.
- f. The Village shall place and maintain the Deposit in a segregated, non- interest bearing account to be used solely for the purpose of reimbursing the Review Costs in accordance with paragraph 4 below (the "Reimbursement Account").

4. *Village Withdrawals from the Reimbursement Account.*

- a. After complying with the notification requirements of paragraph 4.b low, the Village is entitled to make withdrawals from the Reimbursement Account to pay Review Costs in accordance with paragraph 2 above.
- b. Not less than 5 days prior to making any withdrawal from the Reimbursement Account, the Village shall provide the Applicant with an itemized invoice for Review Costs incurred, together with a written notice of the Village's intent to withdraw such funds from the Reimbursement Account.
- c. Withdrawals from the Reimbursement Account may be made as often as necessary to reimburse the Review Costs. In the event that the balance of Applicant's Reimbursement Account reaches \$1,000 or less, the Village shall have the discretion to continue withdrawing funds from the Reimbursement Account; to invoice the Applicant directly for payment; or to require the Applicant to pay additional monies to the Village, which monies shall be deposited in the Reimbursement Account. Payments for directly invoiced bills shall be due 30 days from the date the invoice is mailed to the Applicant.
- d. Any amounts remaining in the Reimbursement Account after the Village as taken final action on the Development and all Review Costs have been paid shall be promptly refunded to the Applicant.

5. *Authority/Binding Effect.* The parties agree that the undersigned signatories to this Agreement have full power and authority to act on behalf of the Village and the Applicant, and that all necessary and enabling resolutions have been enacted. This Agreement shall bind the heirs, successors and assigns of the Applicant and the Village.

6. *Notification of Parties.*

Any notices to be provided under this Agreement may be made by delivery in person, by First Class mail, or by electronic mail (request a read receipt required) as provided below:

To Village: Village of Waunakee
Attn: Village Zoning Administrator
500 West Main Street
P.O. Box 100
Waunakee, WI 53597
Email: kevin@waunakee.com

To Applicant: WHITEHOUSE ASSOCIATES LLC
WILLIAM TOWELL
5407 COUNTY HWY M
WAUNAKEE, WI 53597
Email: w.towell@me.com

7. *Severability.* If any provision of this Agreement is deemed invalid, then the invalidity of said provision shall not affect the validity of any other provision hereof.
8. *Amendment, Withdrawal, or Release.* This Agreement may be withdrawn, amended or released only by a written document duly executed by both parties.
9. *Effective Date.* This Agreement shall be effective commencing on the date indicated in the first paragraph above.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by the duly authorized individuals and officers below.

VILLAGE OF WAUNAKEE

By: _____

Kevin Even

Village Zoning Administrator

APPLICANT

By: WM. Towell 8/5/16

Print name: William Towell

Title: OWNER

LEGAL DESCRIPTION:

ALL OF LOT 2, CERTIFIED SURVEY MAP NUMBER 14046, AS RECORDED IN VOLUME 94 OF CERTIFIED SURVEY MAPS, ON PAGE 115-119, AS DOCUMENT NUMBER 5177836, DANE COUNTY REGISTRY AND PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER AND THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 08 NORTH, RANGE 09 EAST, TOWN OF WESTPORT, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

Commencing at the South Quarter corner of said Section 22;
thence North 01 degree 09 minutes 36 seconds East along the east line of the Southwest Quarter of said Section 22, 1449.68 feet to north right of way of County Trunk Highway M, also to the point of beginning;
thence South 71 degrees 06 minutes 30 seconds West along said north right of way line, 138.38 feet to the southwest corner of aforementioned Lot 2;
thence North 01 degree 06 minutes 04 seconds East along the west line of said Lot 2, 492.42 feet;
thence South 88 degrees 47 minutes 39 seconds East, 215.09 feet to the northeast corner of said Lot 2;
thence South 11 degrees 34 minutes 17 seconds West along the east line of said Lot 2, 202.98 feet;
thence South 01 degree 11 minutes 03 seconds West along said east line, 180.88 feet;
thence North 89 degrees 36 minutes 03 seconds West along said east line, 19.00 feet;
thence South 01 degree 11 minutes 03 seconds West along said east line, 50.95 feet to the aforementioned north right of way of County Trunk Highway M;
thence South 71 degrees 04 minutes 56 seconds West along said north right of way, 9.05 feet;
thence South 01 degree 11 minutes 03 seconds West along said north right of way, 2.57 feet;
thence South 71 degrees 06 minutes 30 seconds West along said north right of way, 21.62 feet to the Point of Beginning.
This description contains 190,357 square feet or 4.3700 acres.

Bearings are based upon the Wisconsin County Coordinate System (Dane Zone).

I Sec. 86-17. - Lot line adjustment procedure by certified survey map.

- (a) *Applicability.* Notwithstanding any other provisions within the Village of Waunakee Subdivision Chapter/Ordinance, the regulations contained within this section 86-17 shall apply to a lot line adjustment within the corporate limits of the village. For purposes of this section 86-17, "lot line adjustment" means "an adjustment or relocation of property line(s) between adjacent lots or a combination of one or more lots that does not result in the creation of additional lots and where the lot(s) is/are not reduced in size below standards identified in the village zoning code or below minimum lot design standards of this chapter 86."
- (b) *Submittal requirements.* The applicant shall submit two copies of the certified survey map and the lot line adjustment application to the village zoning administrator.
- (c) *Approval.* The village zoning administrator shall have the authority to administratively review and approve the certified survey map and the lot line adjustment application. The certified survey map shall satisfy all applicable rules and regulations as set forth in this chapter 86 and in Wis. Stats. § 236.34. The village zoning administrator shall act within 90 days of receiving a certified survey map and lot line adjustment application that comply with the requirements of this section 86-17. The village zoning administrator shall not approve a lot line adjustment that results in a violation of the village subdivision or zoning ordinances.
- (d) *Recordation.* Upon approval, the applicant shall record the certified survey map (and any other necessary records) with the Dane County Register of Deeds Office. The applicant shall submit two recorded copies of the certified survey map (and any other necessary records) to the village zoning administrator. One copy will be kept by the village zoning administrator and one copy will be sent to the village assessor.

(Ord. No. 14-18, § 2, 12-15-14)

CERTIFIED SURVEY MAP No.

ALL OF LOT 2, CERTIFIED SURVEY MAP NUMBER 14046, AS RECORDED IN VOLUME 94 OF CERTIFIED SURVEY MAPS, ON PAGES 115-119, AS DOCUMENT NUMBER 5177836, DANE COUNTY REGISTRY AND PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER AND THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 08 NORTH, RANGE 09 EAST, TOWN OF WESTPORT, DANE COUNTY, WISCONSIN

0 100 200 300



SCALE : ONE INCH = ONE HUNDRED FEET



GRID NORTH
BEARINGS ARE BASED UPON
WISCONSIN COUNTY COORDINATE
SYSTEM (DANE ZONE)

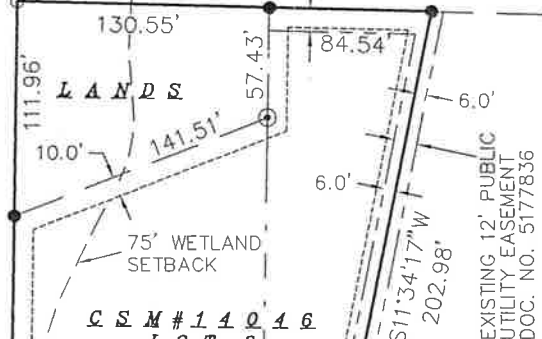
FOUND CONCRETE MONUMENT WITH
BRASS CAP AT THE MEANDER
CORNER TO THE CENTER OF
SECTION 22-08-09

CSM #1456
LOT 2

LANDS

S88°47'39"E
215.09'

EXISTING 12' PUBLIC
UTILITY EASEMENT
DOC. NO. 5177836



LEGEND

- 3/4" SOLID IRON ROD FOUND
- ⊙ 1-1/4" IRON PIPE FOUND
- 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
- () INDICATES RECORDED AS

DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

N01°06'04"E 492.42'
(N00°45'47"E 380.00')

LANDS

BITUMINOUS
DRIVEWAY
AND
PARKING
LOT

MON TO MON
S01°09'36"W 2643.94'

CSM #14046
LOT 1

S01°11'03"W 180.88'

S01°11'03"W 19.00'

S01°11'03"W 50.95'

S71°04'56"W 9.05'

S01°11'03"W 2.57'

S71°06'30"W 160.00'

S01°09'36"E 1449.68'

REFERENCE LINE

R/W WIDTH VARIES

CSM #14046

LOT 1

CSM #14046

LOT 1

CSM #14046

LOT 1

FOUND CITY OF MADISON MONUMENT
AT THE SOUTH QUARTER CORNER
OF SECTION 22-08-09

HATCH INDICATES NO
ACCESS CTH M IS A
CONTROLLED ACCESS
HIGHWAY



NOTE: THE PURPOSE OF THIS CSM IS TO ADJUST THE LOT LINE BETWEEN TWO EXISTING PARCELS; THERE IS NO INCREASE IN THE NUMBER OF PARCELS.

SURVEYED FOR:

Whitehouse Associates, LLC
5407 County Highway M
Waukegan, WI 53597

SURVEYED BY:

Burse

surveying & engineering inc.

2801 International Lane, Suite 101
Madison, WI 53704 608.250.9263
Fax: 608.250.9266
email: mburse@bse-inc.net
www.bursesurveyengr.com

MAP NO. _____

DOCUMENT NO. _____

VOLUME _____ PAGES _____

Date: 08/04/2016

Plot View: CSM2016

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SHEET 1 OF 3

CERTIFIED SURVEY MAP No.

ALL OF LOT 2, CERTIFIED SURVEY MAP NUMBER 14046, AS RECORDED IN VOLUME 94 OF CERTIFIED SURVEY MAPS, ON PAGES 115-119, AS DOCUMENT NUMBER 5177836, DANE COUNTY REGISTRY AND PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER AND THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 08 NORTH, RANGE 09 EAST, TOWN OF WESTPORT, DANE COUNTY, WISCONSIN

NOTES:

- 1. DATE OF FIELD WORK: APRIL 15 AND 24, 2015
- 2. SUBJECT PROPERTY CONTAINS:
 - EASEMENT RECORDED AUGUST 23, 1929 IN VOL. 88 OF MISC., PAGE 279 AS DOC. NO. 506959.
 - EASEMENT RECORDED APRIL 12, 1937 IN VOL. 126 OF MISC., PAGE 374 AS DOC. NO. 535378.
 - COUNTY TRUNK HIGHWAY ACCESS CONTROL REGULATIONS RECORDED JUNE 18, 1973 IN VOL., 447 OF RECORDS, PAGE 483 AS DOC. NO. 1368501.
 - RESERVATIONS FOR AND DEDICATIONS OF EASEMENTS AND RIGHTS OF WAY, BUILDING SETBACK LINES, CONDITIONS, NOTATIONS AND OTHER MATTERS SHOWN ON CERTIFIED SURVEY MAP NO. 1456, RECORDED JUNE 14, 1974 IN VOL. 6 OF CERTIFIED SURVEY MAPS, PAGES 145, 146, 147 AND 148 AS DOC. NO. 1400877.
 - RESERVATIONS FOR AND DEDICATIONS OF EASEMENTS AND RIGHTS OF WAY, BUILDING SETBACK LINES, CONDITIONS, NOTATIONS AND OTHER MATTERS SHOWN ON CERTIFIED SURVEY MAP NO. 1500, RECORDED AUGUST 12, 1974 IN VOL. 6 OF CERTIFIED SURVEY MAPS, PAGES 208 AND 209 AS DOC. NO. 1406913.
 - AFFIDAVIT RECORDED APRIL 29, 1975 IN VOLUME 572 OF RECORDS, PAGE 89 AS DOC. NO. 1426442.
 - CONVEYANCE FOR PUBLIC ROAD RECORDED SEPTEMBER 17, 1980 IN VOL. 2231 OF RECORDS, PAGE 5 AS DOC. NO. 1680278.
 - RESERVATIONS FOR AND DEDICATIONS OF EASEMENTS AND RIGHTS OF WAY, BUILDING SETBACK LINES, CONDITIONS, NOTATIONS AND OTHER MATTERS SHOWN ON CERTIFIED SURVEY MAP NO. 14046, RECORDED AUGUST 18, 2015 IN VOL. 94 OF CERTIFIED SURVEY MAPS, PAGES 115, 116, 117, 118 AND 119 AS DOC. NO. 5177836.
- 3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- 4. ALL SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN HEREON.
- 5. CURRENT ZONING IS: C-1, B-1 and A1-Ex.

LEGAL DESCRIPTION:

ALL OF LOT 2, CERTIFIED SURVEY MAP NUMBER 14046, AS RECORDED IN VOLUME 94 OF CERTIFIED SURVEY MAPS, ON PAGE 115-119, AS DOCUMENT NUMBER 5177836, DANE COUNTY REGISTRY AND PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER AND THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 08 NORTH, RANGE 09 EAST, TOWN OF WESTPORT, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

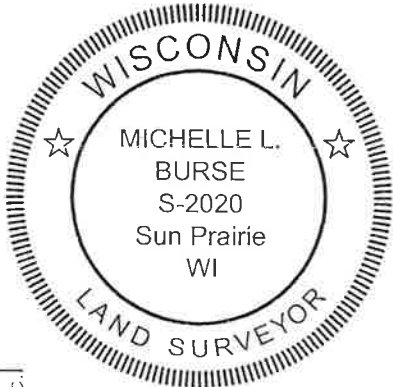
Commencing at the South Quarter corner of said Section 22; thence North 01 degree 09 minutes 36 seconds East along the east line of the Southwest Quarter of said Section 22, 1449.68 feet to north right of way of County Trunk Highway M, also to the point of beginning; thence South 71 degrees 06 minutes 30 seconds West along said north right of way line, 138.38 feet to the southwest corner of aforementioned Lot 2; thence North 01 degree 06 minutes 04 seconds East along the west line of said Lot 2, 492.42 feet; thence South 88 degrees 47 minutes 39 seconds East, 215.09 feet to the northeast corner of said Lot 2; thence South 11 degrees 34 minutes 17 seconds West along the east line of said Lot 2, 202.98 feet; thence South 01 degree 11 minutes 03 seconds West along said east line, 180.88 feet; thence North 89 degrees 36 minutes 03 seconds West along said east line, 19.00 feet; thence South 01 degree 11 minutes 03 seconds West along said east line, 50.95 feet to the aforementioned north right of way of County Trunk Highway M; thence South 71 degrees 04 minutes 56 seconds West along said north right of way, 9.05 feet; thence South 01 degree 11 minutes 03 seconds West along said north right of way, 2.57 feet; thence South 71 degrees 06 minutes 30 seconds West along said north right of way, 21.62 feet to the Point of Beginning. This description contains 190,357 square feet or 4.3700 acres.

SURVEYOR'S CERTIFICATE:

I, Michelle L. Burse, Professional Land Surveyor No. 2020, hereby certify that I have surveyed, divided, and mapped the above described lands under the direction of Whitehouse Associates LLC, owner of said land. I further certify that the map on sheet one (1) is a correct representation of the exterior boundaries of the lands surveyed, and that I have fully complied with the provisions of Chapter 236.34 of the State Statutes, and the Land Division Ordinance of the Town of Westport and Dane County in surveying, dividing, and mapping the same.

Dated this 4TH day of AUGUST, 2016

Signed: Michelle L. Burse
Michelle L. Burse, P.L.S. No. 2020



SURVEYED BY :
Burse
surveying & engineering

MAP NO. _____
DOCUMENT NO. _____
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CERTIFIED SURVEY MAP No. _____

ALL OF LOT 2, CERTIFIED SURVEY MAP NUMBER 14046, AS RECORDED IN VOLUME 94 OF CERTIFIED SURVEY MAPS, ON PAGES 115-119, AS DOCUMENT NUMBER 5177836, DANE COUNTY REGISTRY AND PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER AND THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 08 NORTH, RANGE 09 EAST, TOWN OF WESTPORT, DANE COUNTY, WISCONSIN

OWNER'S CERTIFICATE

Whitehouse Associates LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said company caused the land described on this Certified Survey Map to be surveyed, divided and mapped as represented on this Certified Survey Map.

Whitehouse Associates LLC does further certify that this Certified Survey Map is required by S.236.34, Wisconsin Statutes and S.75.17(1)(a), Dane County Code of Ordinances to be submitted to the following for approval or objection:

Dane County Zoning and Land Regulation Committee
Town of Westport

IN WITNESS WHEREOF, the said Whitehouse Associates LLC has caused these presents to be signed by William Towell, its member on this _____ day of _____, 201_. Whitehouse Associates LLC

By: _____
William Towell, Member

STATE OF WISCONSIN)
)ss
County of Dane)

William Towell, member of the above named limited liability company to me known to be the person who executed the foregoing instrument, and to me known to be such member of said limited liability company, and acknowledged that they executed the foregoing instrument as such officers and the deed of said corporation, by its authority.

Notary Public, Wisconsin

My commission expires _____

TOWN OF WESTPORT APPROVAL

Resolved, that this Certified Survey Map located in the Town of Westport was hereby approved by the Town Board of the Town of Westport as required by Chapter 236, Wisconsin Statutes.

Dated this ____ of _____, 201_.

Town of Westport

Thomas G. Wilson, Town Clerk

VILLAGE OF WAUNAKEE APPROVAL

Approved for recording per the Village of Waunakee, Dane County Wisconsin, action of _____ day of _____, 20____.

Julee R. Helt, Village Clerk, Village of Waunakee

COUNTY PLANNING AGENCY APPROVAL

This Certified Survey Map is hereby approved by the Dane County Zoning and Land Regulation Committee this _____ day of _____, 201_.

Daniel Everson, Authorized Representative

SURVEYED BY :

Burse

surveying & engineering, inc.

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Madison, WI 53704 608.250.9263
Fax: 608.250.9266
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Office of the Register of Deeds

_____ County, Wisconsin

Received for Record

_____ 20____ at

_____ o'clock __M as

Document No. _____

in _____

Register of Deeds