



**VILLAGE OF WAUNAKEE
TOWN OF WESTPORT JOINT PLAN COMMISSION
5387 Mary Lake Rd., Town of Westport
March 10, 2015 - 6:00 PM**

**Agendas may change prior to the commencement of the meeting.
Please check the posting board at the Village Hall, 500 W. Main Street,
Waunakee, Wisconsin for the current agenda.**

AGENDA

CALL TO ORDER

ROLL CALL: Ken Sipsma, John Van Dinter, Pat McGowan, Brad Zeman, Bill Pellino

MINUTES

1. **January 13, 2015**

PUBLIC COMMENT

PUBLIC HEARING AND DISCUSSION / ACTION

1. **A Request by Guy Kitchell for an Amendment to the Deed Restrictions to Allow for a Haunted House at 5305 CTH M, Town of Westport, and Design Review**
2. **Certified Survey Map and Rezone for Peg Whiteside at 5147 Bong Road, Village of Waunakee**
3. **Discuss and Take Action on Final Plat for Second Addition to Carriage Ridge, Town of Westport.**

NEW BUSINESS

1. **Revised Sign Request for First Choice Dental**
2. **Initial Consultation Concordia Property Woodland Drive**
3. **Peaceful Valley Parkway Discussion**

ADJOURN

Any person who has a qualifying disability as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format should contact the municipal clerk at (608) 850-8500, 500 West Main Street,



Waunakee, Wisconsin, at least twenty-four hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

**VILLAGE OF WAUNAKEE BOARD AND PLAN COMMISSION MEETING
TOWN OF WESTPORT BOARD AND PLAN COMMISSION MEETING**

Notice is hereby given that the Village or Town Board or Village or Town Plan Commission may attend this meeting. No action will be taken by the Village or Town Board or Village or Town Plan Commission at this meeting.

Next scheduled meeting is April 14, 2015.



Village of Waunakee and Town of Westport

Joint Plan Commission

A regular meeting of the Waunakee/Westport Joint Plan Commission was held Tuesday, January 13, 2015, 6:00 p.m. at the Town of Westport Community Room, 5387 Mary Lake Road, Town of Westport.

CALL TO ORDER

The meeting was called to order at 6:00 p.m.

Members Present: Ken Sipsma, John Van Dinter, Dean Grosskopf, Pat McGowan, & Brad Zeman.
Members Absent: Mark McGuire.

Also Present: Kevin Even, Tom Wilson, Tracy Meinholz, Dave Glusick, Tom & Marijo Bunbury, Dave Schaefer, Randy Kolinske, Terry Enge, Tana Wenkman, Joe Capaul, Jim Capaul, Jerry Tierney.

APPROVAL OF MINUTES

Motion McGowan, second Grosskopf, to approve the minutes from the December 9, 2014 Joint Plan Commission meeting. Motion carried.

PUBLIC COMMENT

None

PUBLIC HEARING & DISCUSSION / ACTION

PRELIMINARY PLAT (68 SINGLE FAMILY LOTS, 40 ACRES) AND REZONE (COUNTY A-1 EX TO R-1), SECOND ADDITION TO CARRIAGE RIDGE (NORTH 40), CARRIAGE RIDGE LLC (BUNBURY), BETWEEN ENDS OF TUSCANY LANE (TOWN) AND BELLEWOOD DRIVE (VILLAGE)

Mr. Wilson updated the JPC members on the consultation the previous night with the Town Board. The comments were positive. Dave Glusick, of Vierbicher, presented plans and discussed lot size, connectivity, amenities, street layout and Stormwater. The public hearing was opened at 6:28 p.m. Mr. Wilson entered an email from Bret Backus into the record. Terry Enge had questions about Stormwater runoff and lighting. Tana Wenkman also asked about lighting, along with stop

ITEM #1.



signs and covenants. The public hearing was closed at 6:35 p.m.

Motion McGowan, second Van Dinter, to recommend approval of Second Addition to Carriage Ridge with the recommendation prepared by Mr. Wilson. Motion carried.

NEW BUSINESS

INITIAL CONSULTATION ON WAUNAKEE SCHOOL DISTRICT PETITION FOR DIRECT ANNEXATION, WOODLAND DRIVE WEST OF CTH Q

Applicant asked to be taken off the agenda.

INITIAL CONSULTATION, DETACHMENT FOR FARMLAND PRESERVATION TAX CREDITS, CAPAUL, ALONG STH 113 NEAR KENNEDY DRIVE

Mr. Capaul's land was brought into the Village with the Boundary Agreement. The Village does not have a preservation district that meets the criteria to allow Mr. Capaul to receive his tax credits. Mr. Wilson suggests detaching the Capaul lands back to the Town, and the Ag Exclusive zoning, to allow Mr. Capaul to continue to get his benefits from the County. JPC members were in favor of this and directed staff to take the necessary steps to try to accomplish this.

No action necessary.

ADJOURN

Motion Van Dinter, second Grosskopf, to adjourn the meeting at 6:59 p.m. Motion carried.

Submitted By: Tracy Meinholz, Recording Secretary

Approved: _____

**TOWN OF WESTPORT
RESOLUTION NO. 15-02**

ITEM #1.

**RESOLUTION BY THE TOWN OF WESTPORT
BOARD OF SUPERVISORS RECOMMENDING APPROVAL OF A HAUNTED HOUSE AND RELATED
USES FOR THE WESTPORT CORNERS PROPERTY
WITHIN THE TOWN OF WESTPORT,
DANE COUNTY, WISCONSIN
(5305 CTH M, Waunakee ETZ)**

WHEREAS, application for approval of a revision to the zoning restrictions on an area of land, (5305 CTH M, the "Property"), located in the Town of Westport (the "Town") was submitted by Guy Kitchell, ("Petitioner"), to the Town and Village of Waunakee (the "Village") for review and action on December 10, 2014, to allow the temporary use of a haunted house and related uses as shown at Exhibit A; and,

WHEREAS, the Property is located in the Village's extraterritorial zoning jurisdiction and so was referred to the Waunakee/Westport Joint Planning Committee (the "JPC") as well as the Town Plan Commission for review and recommendation to the Town Board of Supervisors (the "Town Board") and the Village Board of Trustees (the "Village Board"); and,

WHEREAS, the zoning administrator determined that the proposed use is similar to other specified uses in the County C-2 classification (which the Property is classified now), so that a rezone of the site is not necessary, but that a lifting of the restrictions to allow the requested use would be appropriate; and,

WHEREAS, the JPC will hold a Public Hearing on the proposal at its regular meeting on March 10, 2015, after proper public notice; and,

WHEREAS, the Town Plan Commission and the Town Board have met with Petitioner with respect to the requested restriction revision; and,

WHEREAS, the Town Board considered the recommendations of the Town Plan Commission; and,

WHEREAS, the requested use is proposed as a temporary use (2-10 years) on a site that will likely be later redeveloped; and,

WHEREAS, this same use was approved for a limited month-long time frame on this same site in 2014 after several public meetings and public hearings, and after compliance with several conditions and restrictions; and,

WHEREAS, the Town Plan Commission determined at its February 9, 2015 meeting that the requested restriction revision is consistent with Town Ordinances, Village Ordinances, and applicable local Comprehensive Plans if all the conditions and restrictions set forth below are met, based on the fact that this is a special situation, not intended to set a precedent, the use is temporary in nature (up to 2 years before further review) and the Property is not located in an entirely residential neighborhood since the current zoning allows for certain businesses at this same location, so it is reasonable to accommodate this request and change in the restrictions for a limited time frame; and,

WHEREAS, the Town Board agreed with the Town Plan Commission determination at its February 16, 2015 meeting, and so makes the following recommendation to the JPC and Village Board.

ITEM #1. V, THEREFORE, the Town Board of Supervisors of the Town of Westport, based upon the above determinations, recommends to the JPC and Village of Waunakee Board of Trustees that it approve of a temporary release of the deed restriction for the proposed uses based on findings that the proposed uses as presented (Haunt, vehicle parking and related sales) meets several goals, objectives and policies of the Town Comprehensive Plan, including the Waunakee/Westport ETZ Plan, as noted in the memo dated August 21, 2014 as prepared by the Town Attorney previously on this matter, and as noted above, subject to the following conditions and restrictions (delayed effective date):

1. Use Limit. Limited to use for Haunt facility as shown at Exhibit A and for the uses described in the application at Exhibit A hereto (parking for the facility use, storage related to the facility use, and the haunt being similar to a game use), except as revised herein.
2. Temporary Use/Current Restrictions Maintained. The zoning allowed shall be temporary in nature and in all ways be viewed as similar to a conditional use. Since the use is seasonal in nature for use by customers, the use shall lapse if not ongoing for at least one week during the time period approved below. The use shall lapse at the latest on November 30, 2016, unless the petitioner requests to extend the use in writing prior to that time, which shall be for no more than another 2 year period. The use shall continue until action is then taken on the request by the JPC as noted in paragraph 3, below. The current restrictions for the site imposed by a previous rezone and CUP application shall remain in place until permanently rezoned.
3. Use Renewal. If requested by the petitioner prior to the lapse date noted in paragraph 2, the use shall be reviewed by the JPC anytime within 90 days after January 1, 2017, to determine if the use may be renewed for another 2 year period, and under what conditions and restrictions, or if further conditions and restrictions are warranted.
4. Building Repairs. The siding on the building shall be repaired to match the current exterior and the front facing on CTH M shall be repaired and repainted or resided prior to July 1, 2015, to the satisfaction of the Town Administrator.
5. Cost payment. Petitioner shall enter into an agreement to pay for all increased costs associated with extra traffic/police/sheriff services due to increased traffic while operating.
6. Open Times/Hours of Operation. The facility may be open for customers after 10:00 a.m., but must close the entrance doors to the facility no later on weekdays (Sunday-Wednesday) than 9:30 p.m., and customers must be out of the facility as soon as possible and no later than 10:00 p.m., and on weekends (Thursday, Friday and Saturday) by 11:30 p.m. and 11:59 p.m. respectively. The facility may be open for customers only between the dates of the first Friday after Labor Day and the next Sunday after Halloween. Additionally, the facility may be open during the hours noted above outside of this time period (outside the first Friday after Labor Day until the next Sunday after Halloween) for up to 20 special events upon written two week notice to the Town Administrator and Village Zoning Administrator. The special events must comply with the use limits of paragraph 1, above.
7. Security Necessary. Petitioner must provide adequate security while open to prevent noise, alcohol and similar type problems. Petitioner will monitor the building interior and parking lots with security cameras to prevent trespassing and vandalism. A plan for the same shall be provided prior to June 1, 2015, for review and approval by the Town Attorney, similar to that provided in 2014 (See Exhibit C).
8. Property Maintenance. Petitioner will undertake further steps to remove debris and overgrown foliage from the premises and will mow, remove additional refuse dumped on the Property and prevent trespassing, to be accomplished and approved prior to June 1, 2015, by the Town Administrator.
9. Parking and Access. The petitioner will provide parking on the site as approved by the Town Engineer in the parking plan to be provided in order to accommodate all customers and employees

or volunteers on site, and to show pedestrian movements as well. The plan shall address overflow parking issues, while preventing parking on CTH M, CTH K, Shilling Lane, Corner Court, North Shore Bay Drive, and any other location except for the site, and which shall also address concerns with the trespass of facility users on neighboring properties. The Town Engineer shall approve field marking parking prior to use. The Petitioner will provide parking attendants to monitor parking and access. Steps will be taken as approved by the Town Engineer to prevent parking on County and Town roads, and inadvertent trips by customers, which may require the use of road closed signs, no outlet signs, attendants or law enforcement, or other means as determined reasonable and necessary by the Engineer. It is understood the petitioner will plan as during 2014 to park, when not in use, the wrapped small bus vehicle in front of the building out of the vision triangle for the intersection. The Plan will be similar to that approved in 2014 (See Exhibit C).

10. Signs. Signs as attached at Exhibit B are hereby approved for use, subject to review by the Zoning Administrator for compliance with Village ordinances, and subject to the Village Board approval of this use. The banner signs approved to be placed on the structure shall be maintained in good condition, and if not so maintained in the opinion of the Zoning Administrator, the Zoning Administrator may order their immediate removal or repair. Design Review of any additional signs or structures (tents, sales facilities, etc.) for the property must comply with Village and Town Codes and shall be done by the JPC within 45 days of filing by the Petitioner. Up to 3 banner signs (no larger than 3x8 feet) located near each entrance may be used for special events, but only for a 1 week period prior to each event.
11. Submittals Required Prior to Use: The following shall be submitted and/or accomplished prior to June 1, 2015 and shall be substantially similar to that approved in 2014:
 - A. Scale drawings for the revised building layout.
 - B. Scale drawings for the revised exterior layout similar to that approved in 2014 (See Exhibit C).
 - C. Inspection by the Town Building Inspectors and compliance with any additional work that needs to be done for occupancy as desired prior to use.
 - D. Inspections by the Waunakee Area Fire Inspector and Waunakee Area EMS, if desired by these services, and a written report to the Town Administrator that the grounds and building are safe and sound for the proposed use prior to use.
 - E. Inspection and report by the Dane County Sheriff's department of the applicant's plan to provide security for patrons, neighbors and traffic control.
 - F. An updated plan from the applicant accounting for specific crowd control measures, queuing of crowds, numbers of patrons (average and peak), line locations, security locations, assistant locations, and any other details as determined by Town and Village staff prior to use of the facility and grounds.
12. Traffic: Petitioner will take steps as recommended by the Town Engineer to address any traffic issues, including permanent or temporary signage and warning devices or traffic personnel as needed from time to time when the facility is in use.
13. Noise: Petitioner will take steps to reduce noise on the site as recommended by the Town Engineer.
14. Driveway Improvements: Revisions to the driveway and access from 2014 shall be approved by the Town Engineer prior to use.
15. Screening of portable rest rooms: Petitioner shall be allowed up to four portable rest room facilities on the site in the location shown on the approved site plan, and the facilities shall be screened from all views with a screening plan to be approved by the Town Administrator and Town Engineer similar to that as used in 2014.

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- Lights: All lighting for the facility shall meet the Town dark sky lighting code and a full lighting plan shall be reviewed and approved by the Town Administrator and Town Engineer. Current lighting on the structure does not meet Town standards and will need to be updated in conformance with current Town Code before use.
17. Parking Area Lighting: The parking area shall be lit for safety purposes as in 2014 and any changes shall be approved by the Town Engineer, which lighting shall also comply with the Town's dark sky lighting code.
 18. Bond: The Petitioner shall provide a cash bond in the amount of \$2,000 prior to the use being allowed to cover unpaid Town costs incurred in this matter (i.e. see paragraph 5, above). Regular billings from the Town shall be paid as agreed per paragraph 22, below.
 19. Proof of Insurance: The Petitioner shall provide proof of insurance in the aggregate amount of \$3,000,000 for the Property (haunt and umbrella policies).
 20. Violation Penalty: Any violation of any terms of the use shall cause the use to be subject to termination if not cured after a notice of violation and a reasonable time to cure period in the discretion of the Zoning Administrator based on the circumstances and timing of the violation.
 21. Miscellaneous: All other conditions of approval by the Village of Waunakee Board, and as recommended by the Waunakee/Westport Joint Planning Committee that do not otherwise conflict with these recommendations.
 22. Standard:
 - A. Town Attorney to draft or approve the form of the restriction agreement which shall include the Village of Waunakee with enforcement rights.
 - B. Petitioner shall pay all costs and fees incurred by the Town and Village for any and all reviews, approval requests and document preparation by the Town and Village Attorney or Engineer, or other consultants, in relation to the Property, and shall enter into an agreement to pay for these costs and fees.

The above and foregoing resolution was duly adopted by the Town Board of Supervisors of the Town of Westport, Dane County, Wisconsin, at a regular meeting held on the ____ day of _____, 2015, by a vote of __ ayes and __ nays, with ____ members not voting (absent).

TOWN OF WESTPORT

Approved:

By: _____
John Van Dinter, Town Board Chair

Attest: _____
Thomas G. Wilson
Town Attorney/Administrator/Clerk-Treasurer

Approved: _____
Posted: _____

	Village of Waunakee Planning/Zoning Department 500 W. Main Street Waunakee, WI 53597 Phone (608) 850-8500 Fax (608) 849-5628	Rezoning Application
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1. LOCATION OF PROPERTY 5305 CTY HWY M, WESTPORT, WI
2. LEGAL DESCRIPTION
(METES & BOUNDS OR PLAT & LOT) SEC-28-8-9 PRT NW1/4NW1/
4 BEG S33.82 F
3. ZONING CHANGE : FROM _____ TO _____ None (Sec. No. 4)
4. PROPOSED USE OF PROPERTY Revision to deed rest. to
allow for a haunted house.
ATTACH 40 COPIES OF A SITE PLAN (10" FULL/30" 11X17) SHOWING ANY PROPOSED LAND DIVISIONS, PLUS VEHICULAR ACCESS POINTS AND THE LOCATION AND SIZE OF ALL EXISTING AND PROPOSED STRUCTURES AND PARKING AREAS.
5. TYPE OF RESIDENTIAL DEVELOPMENT (IF APPLICABLE) N/A
TOTAL DWELLING UNITS PROPOSED N/A NO. OF PARKING STALLS N/A
TYPE OF NON-RESIDENTIAL DEVELOPMENT (IF APPLICABLE) N/A
TOTAL TENNANTS PROPOSED 1 NO. OF PARKING STALLS See parking plan
6. CURRENT OWNER OF PROPERTY: WESTPORT CORNERS, LLC.
MAILING ADDRESS: 2001 W. BELTLINE HWY. #200 MADISON, WI
PHONE: 608-250-2099 EMAIL: eric@ascendant-holdings.com 53713
7. CONTACT PERSON: GUY Kitchell
MAILING ADDRESS: 2222 PLEASANT VIEW RD #14 MIDDLETON, WI
PHONE: 608-833-3730 EMAIL: KLIMA@TDS.NET 53562

THE UNDERSIGNED CERTIFIES THAT HE/SHE HAS FAMILIARIZED HIMSELF/HERSELF WITH THE STATE AND LOCAL CODES AND PROCEDURES PERTAINING TO THIS APPLICATION. THE UNDERSIGNED FURTHER HEREBY CERTIFIES THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND CORRECT.

SIGNED: [Signature]
(OWNER OR OWNER'S AUTHORIZED AGENT'S SIGNATURE)

FOR VILLAGE USE ONLY:

DATE RECEIVED: 12/10/14 FEE PAID: \$345.00
RECEIPT NUMBER: 11-00-48105 [Signature]

Exhibit A

ITEM #1.

Wisconsin Scaryland Zoning Application

Hello,

Thank you for the opportunity to meet with the Westport citizens, local business owners and the planning commission and staff.

We appreciate and understand the questions and concerns of the board members and residents of Westport and Waunakee. In our 2014 season, we successfully addressed all of these concerns, and operated without incident and without negative impact to the community. We received thousands of compliments from local residents regarding our Haunt.

Our goal is to secure permanent, regular zoning that allows our continued operation of a Haunted Attraction at 5305 Highway M in Westport.

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OVERVIEW

During the 2014 Halloween season, we provided a family-friendly haunted house, and hosted other Halloween activities like free face-painting for kids and free Haunt tours for disabled people.

For 2015 and beyond, we would like to be open at various times, on various days in the months of September and October. During the rest of the year, we would like to be open to the public on a handful of days for private events and one or two public events.

We will continue to have full-time staff working in the building year-round to help maintain the property and grounds and keep the buildings in good working order.

Wisconsin Scaryland has shown the City and Town that we are a responsible company that operates a safe, fun and beneficial business. Other Westport and Waunakee establishments received increased revenue in the food, fuel and sundries markets due to our customer base.

We sincerely appreciate having the opportunity to recoup some of our investment, but with the multitude of restrictions placed on our business, we experienced a significant financial loss in 2014. Not being allowed to open until October, having our nights restricted to Fridays and Saturdays, having to close at 10:30 pm, and not being allowed to be open November 1 – turned a profitable business into an unprofitable one.

Moving forward, we would like a standard zoning applied to our building and business – much like the zoning given to local establishments like the bars, brewpubs and restaurants in Westport and Waunakee.

We have looked at many Madison buildings and have spoken with Madison zoning about their rules and regulations. We would like to stay in Westport, but can only do so if we can operate a profitable business. Otherwise, we will be forced to move to Madison – which I think would be an incredible injustice to all of the local residents and employees who benefit from our business.

ITEM #1.

ZONING REQUIREMENTS

The current C-2 zoning has an addendum allowing only a gas station with attached Refrigeration Company. This zoning makes the property unusable to virtually everyone.

We are requesting either a zoning change to C-1 with acceptable use as a seasonal Haunted Attraction, or simply removing the "Stop-n-Go" restrictions and granting a conditional use for a Haunted Attraction with our current C-2 zoning.

Our current lease is for 1 more year, but we are looking to renew for 10 years.

We also would like the zoning to include our use of the accessory building already located on the property.

- Our proposed use is commercial in nature, and is consistent with the Town's comprehensive plan
- Our use fits perfectly within the definition of C-2 and C-2 zoning guidelines
- Our business provides 64 people with employment in Westport
- Our use of the building in 2014 resulted in a safer neighborhood, an elimination of all drug traffic, a reduction in illegal dumping and trespassing, and a dramatic improvement of the aesthetics of the property

PARKING

Our parking plan was a complete success during our 2014 season. We had zero traffic accidents. We had zero problems with traffic flow and congestion.

We want to use the 8 acres of graveled land for parking again, using the same parking map already submitted to the Town.

ITEM #1.

PARKING MAP



SAFETY

We have a detailed plan for evacuation and safety:

- We will have a trained employee to monitor customers, assigned to every 2-rooms of the Haunt
- We have passed Fire Inspection requirements, and were informed that we far exceed the minimum requirements for safety, and were complimented in our attention to safety details
- Each employee will have a flashlight
- Each employee will be trained in proper exit procedures
- All stairwells will be adequately illuminated
- Everyone in the Haunt will be monitored on security cameras throughout the entire Haunt
- 2-way radios and telephones/texting will be used to communicate with all areas of the Haunt

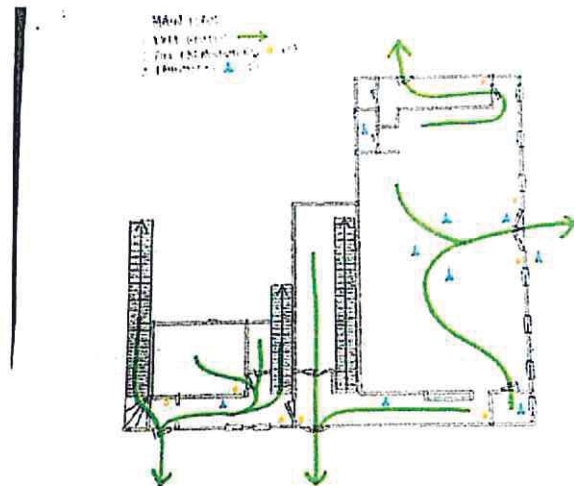
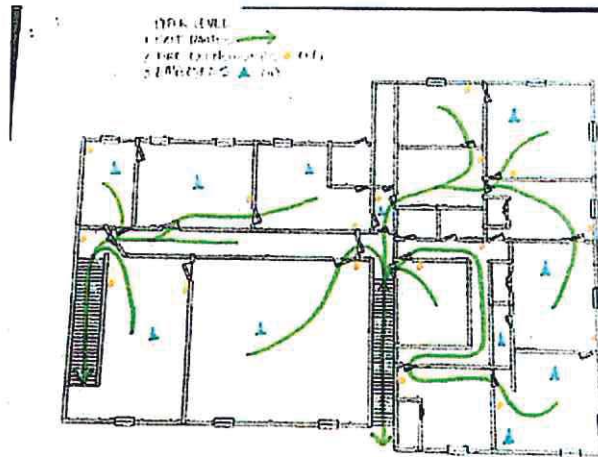
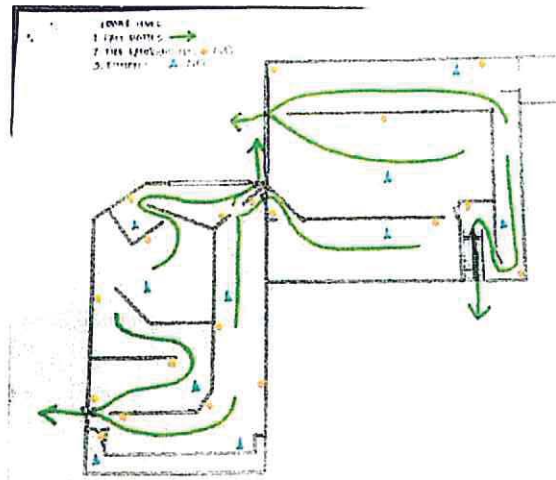
ITEM #1.

FIRE PREVENTION

We have an extremely thorough plan for fire prevention and evacuation.

- All materials used are fire retardant.
- Fire extinguishers are located in every room of the Haunt (some rooms will have two or more extinguishers)
- Every employee will be trained in the proper use of a fire extinguisher.
- 2015 includes members of the Waunakee Fire Department as actors.
- Every room of the Haunt will be monitored by security cameras
- Every worker in the haunt will have 2-way radio communication, or cell phone access/text access.
- Two emergency lighting systems will be used. The first system will automatically illuminate in the event of a power failure.
- The second emergency lighting system can be illuminated manually with a switch located in the security office at the entrance.
- Exit lighting is provided at each exit and throughout the Haunt showing direction of travel to safety.
- All exit doors are marked with glow signs
- In the event of an emergency, we can shut off all props and use emergency exit lighting from the main entrance
- Laminated floor plans and exit routes are available on-site for Fire Department

FIRE EXIT, EXTINGUISHERS AND EMPLOYEE MAPS



ITEM #1.

SECURITY

We have incredible internal and external security:

- One off-duty police officer on staff
- JBM patrol security personnel
- All security staff will have 2-way radios and flashlights
- 48 Indoor and exterior night vision cameras with DVR recording and security monitoring during operations

RESTROOMS

- 3 or 4 Porta-Johns will be placed in the parking lot next to the building. These do not directly face any neighbors and will not be an eyesore.

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NOISE

Noise will be kept to a minimum, while still allowing guests to enjoy the Haunt:

- No subwoofers will be used. Small, bookshelf speaker systems will be used in every two rooms for ambient sound. Since we want each room to have a different "feel", we don't want a huge, loud, booming sound going through the Haunt. Rather, we want lots of smaller, different sounds throughout.
- All sound will be tested to make sure it does not violate ordinances.
- We have designated the front building as the "waiting area" to minimize outdoor noise and keep outdoor lines to a minimum. This will allow us to monitor the patrons, and prevent excess outdoor talking noise.
- We will have a covered tent in front of the building at the entrance.

TRAFFIC FLOW

Although during rush hour, there is congestion at the corner of K and M of up to 100 cars at the stoplights – our Haunt will not be open until after 6:00 pm, which will help minimize our impact on traffic flow.

The peak hours of a Haunted House are between 9:00 pm – 11:00 pm, which are a time when the corner of K and M is fairly empty of traffic.

Our estimates are that during peak hours, we will contribute roughly 100 cars per hour between 8 pm – 11 pm.

During the 2014 season, we did not see any traffic lines of more than 15 cars at the stoplight while we were open. The majority of the time, traffic flowed freely without any accumulations of cars at the stoplights.

We have maps showing traffic/turning/exit patterns (See attached)

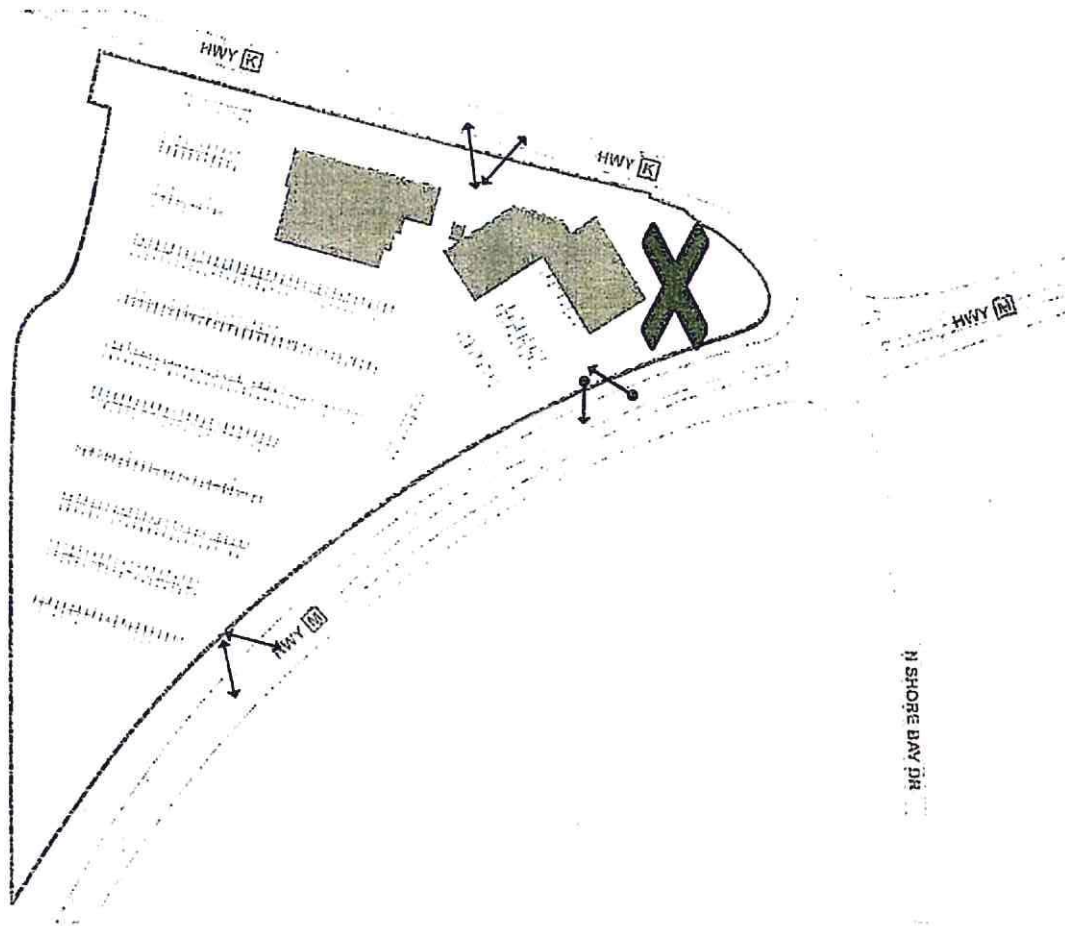
- We will block off the exit nearest the intersection on Highway K to minimize congestion near the intersection.
- We will have parking monitors direct traffic in and out of the other 3 entrances and exits.

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TRAFFIC FLOW MAP

Three entrance/exits:

- One regular entrance/exit on K.
- One Right-In-Right-Out entrance/exit on M
- One regular entrance/exit on M
- NOTE: we have blockaded the second entrance/exit on K to prevent congestion near the intersection and keep traffic from driving through the front of the parking lot.



EXTERIOR MAINTENANCE

We have done many exterior improvements to the property in 2014. Although we will not be open to the public for the majority of the year, we will be on location, Mon-Fri throughout the year, working on the interior. We will take responsibility from the owners of the building to maintain the exterior.

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CARING FOR THE 8 ACRES OF LAND

We will take responsibility from the owners to maintain the grounds.

- This includes mowing/caring for the 8+ acres

ALCOHOL & INTOXICATION CONCERNS

- Our security guards and police officers will refuse entry to anyone intoxicated.
- We will not tolerate loitering or drunken behavior on the property or adjacent streets

ITEM #1.

HOURS OF OPERATION

In 2014, our hours of operation were severely limited, resulting in a financial loss. Because our season is so short, we need to make sure there is enough time for all of our guests to get through the Haunt. We had to turn away many people in the 2014 season due to operating hours.

We would like the flexibility to remain open on Weekend nights until 1:00 am, however, we will most likely close by midnight on most nights.

We would like the flexibility to remain open until 11:00 pm on Weeknights we choose to be open (most likely Wed or Thu nights near Halloween).

Please take a look at these other establishments that benefit from a later closing time:

- Taverns and nightclubs can serve alcohol until 2:00 am.
- Dance clubs are often open until 3:00 am.
- Movie theaters are open until 1:00 am.
- Churches offer midnight Mass, ending at 1:00 am.
- Walgreens, Wal-Mart, and Woodman's are open 24 hours.
- Many gas stations are open 24 hours.
- Taco Bell and some other fast food restaurants are open until 3:00 am.
- Most Haunted Attractions are open until 1:00 am or later.
- Our competitors in Stoughton, Oregon, Sun Prairie and Janesville are open until 1:00 am.

Our business is located on a highway. A highway is not a residential neighborhood, and allowing us to remain open until 1:00 am does not cause hardship on the Town.

OTHER INFORMATION

We were able to contribute to multiple non-profit and area school groups in 2014. We hope to do the same in 2015 and beyond.

For 2015 and beyond, we would like these other additions to our Haunt:

- Permanent signage
- Temporary signage allowed annually without repeating the application process
- Permission to sell pumpkins and Halloween items during the Halloween season
- Permission to have food vendors on site
- Permission to have a temporary tent in the front and left side of the building for customers to wait under

With permanent zoning, free of the over-restrictive rules placed on us in 2014, we would be able to make more improvements to the property. There are many items we would like to invest in, both interior and exterior items, but unless we are able to be open to the public for enough hours to be profitable, these improvements are impossible.

Also, with a temporary zoning, it doesn't make financial sense to invest in a building that could become unusable for us.

With permanent zoning, everyone wins. We become profitable, we invest more in our property, we drive more revenue to the Town, we employ more people, and we give more to charities. It is the business circle of life.

ITEM #1.TEMPORARY
BANNER (FRONT)

PERMIT # _____

SIGN PERMIT APPLICATION

Application is hereby made for a permit to erect/rebuild or alter a sign in conformity with the Ordinances of the Village of Waunakee, upon the property designated below in the manner described herein:

Owner/Company Name: WISCONSIN SCARYLANDAddress of Proposed Sign: 5305 CTY HWY MContractor Installing Sign: GUY KITCHELL / THE WORKS MADISON Contact Phone # 608.833.3730Contractor Address: 2222 PLEASANT VIEW RD MIDDLETON, WI 53562Zoning of Property: C-2 Contact Phone # 608.287.8237

A SKETCH illustrating the size, shape and message of the proposed sign MUST accompany this application. A site plan drawing showing the positioning of the sign with respect to the highway, buildings and/or other signs MUST accompany this application.

Type of Sign: ☒ Wall Sign ☐ Free Standing/Ground Sign ☐ Projecting Sign ☐ Window Sign☐ Other _____ (see descriptions in the attached ordinance)Dimensions: 5' (H) x 12' (W) Total Square Feet: 60☒ Single Faced ☐ Double FacedType of Lighting: NONE /Value of Sign: \$ 300.00 /★ SEE ATTACHED SHEET
MULTIPLE SIGNS

CERTIFICATE OF APPLICANT: I hereby certify that the above application is a true and correct statement of the work to be done; that any changes shall be submitted for approval and that the sign shall conform to all Village of Waunakee Ordinances and State Codes where such may apply.

Owner/Agent

7/22/14
Date
☐ Compliant☐ Non-Compliant

Fee: \$ _____

Building Inspector: _____ Date: _____

Zoning Administrator: _____ Date: _____

This permit expires in one year from the date of issuance if the sign is not constructed. Construction of the sign must be completed within 60 days of commencement on construction.

500 W. Main Street, Waunakee, WI 53597 ♦ PH (608) 850-8500 ♦ FAX (608) 849-5628

Wisconsin Scaryland Sign Permit Application

We are requesting 3 temporary banners and one permanent lit sign.

The 3 temporary banners are colored vinyl, and will be attached directly to the exterior of the building. They will be up from August 10 – November 1, 2014.

The sizes for the 3 temporary signs are as follows:

Left side of building: 8' HIGH X 11' WIDE banner. Will not be lit. This banner is below the 15% of surface area requirement for temporary signage. Square footage = 88 sf. Cost = \$300.

Right side of building: 8' HIGH X 11' WIDE banner. Will not be lit. This banner is below the 15% of surface area requirement for temporary signage. Square footage = 88 sf. Cost = \$300.

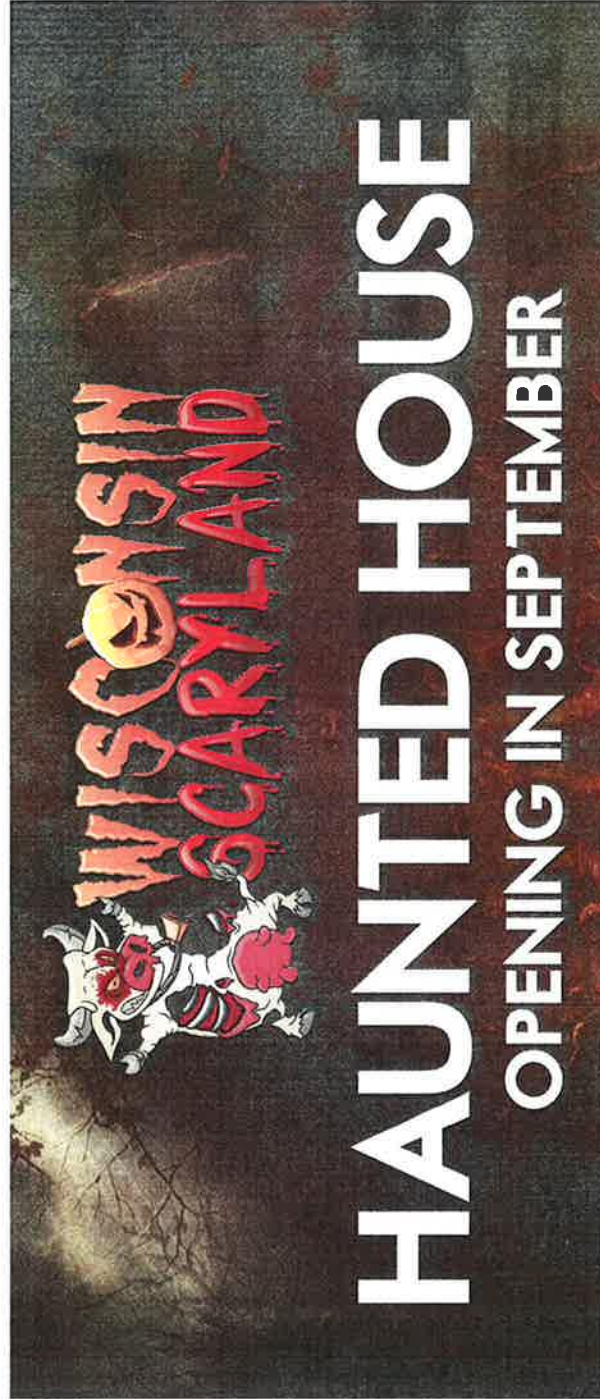
Front face of building: 5' HIGH X 12' WIDE banner. Will not be lit. This banner is below the 15% of surface area requirement for temporary signage. Square footage = 60 sf. Cost = \$200.

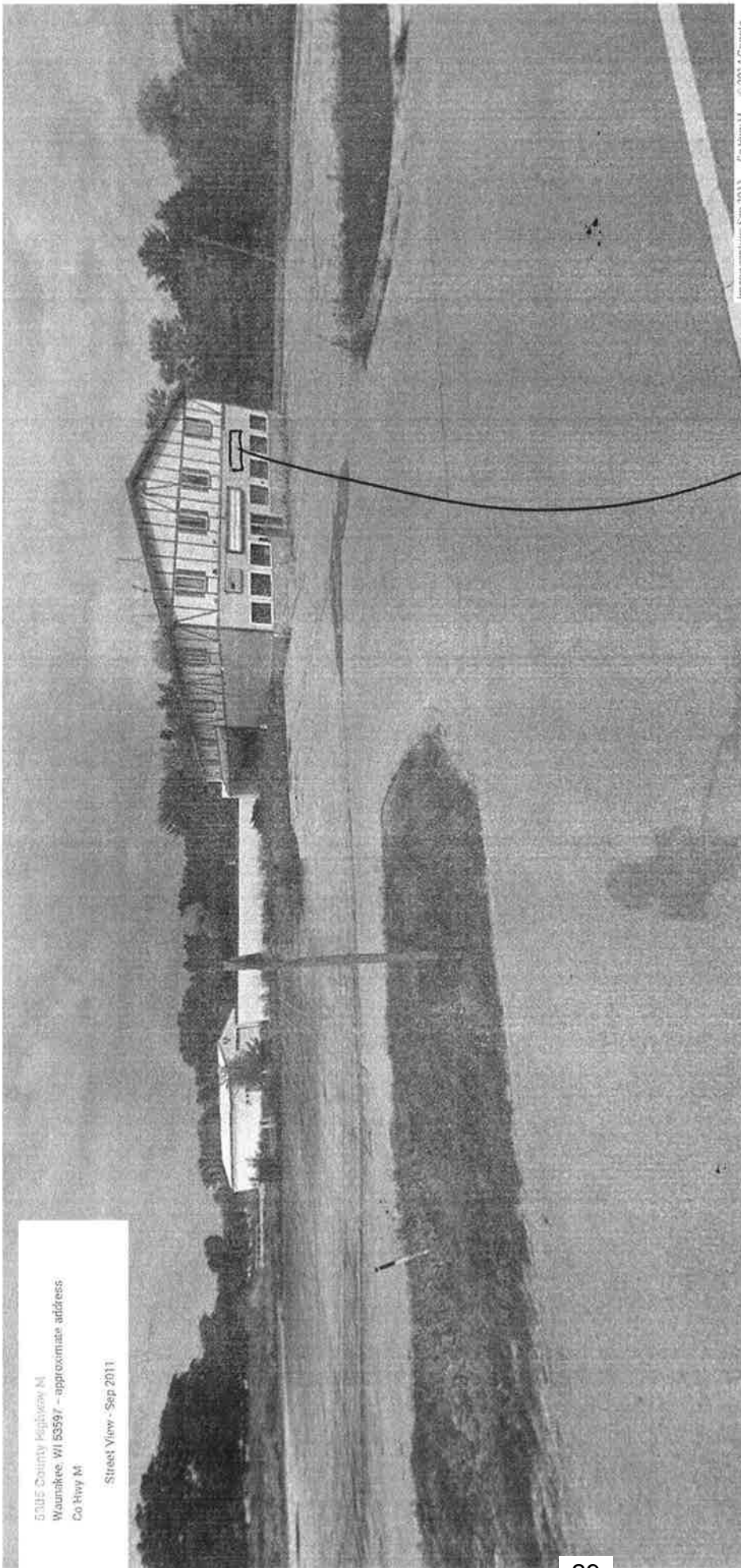
The permanent sign will be a replacement of the old Stop-n-Go illuminated sign above the entrance doors. The dimensions of the sign box are roughly 16' WIDE X 3' HIGH. This sign is illuminated from behind the plexiglass at night with fluorescent bulbs. Square footage = 48 sf. Cost = \$1500.

All signs will be installed by Guy Kitchell of Wisconsin Scaryland.

ITEM #1.

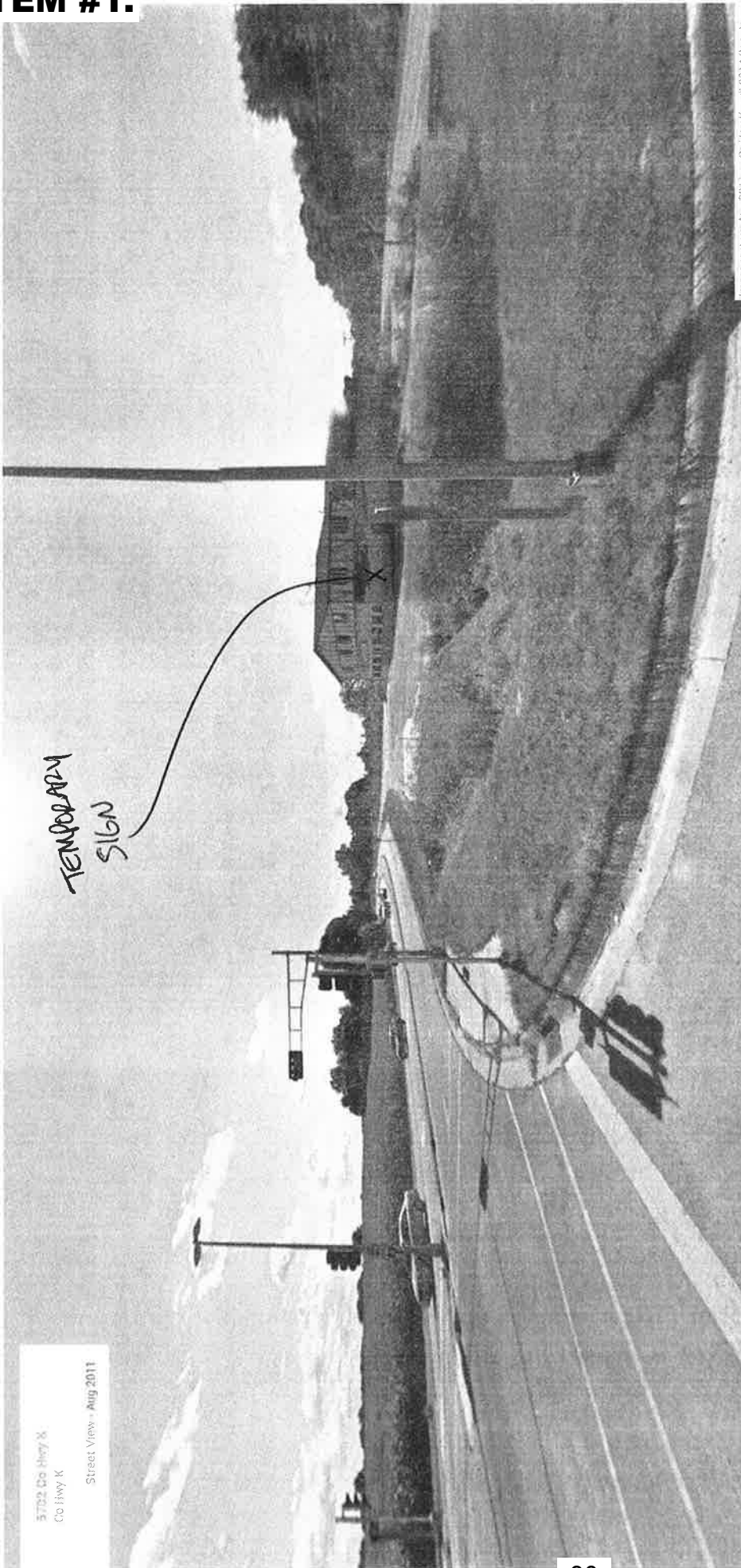
FRONT FACE TEMPORARY BANNER
12' x 5' Banner to be affixed to exterior.





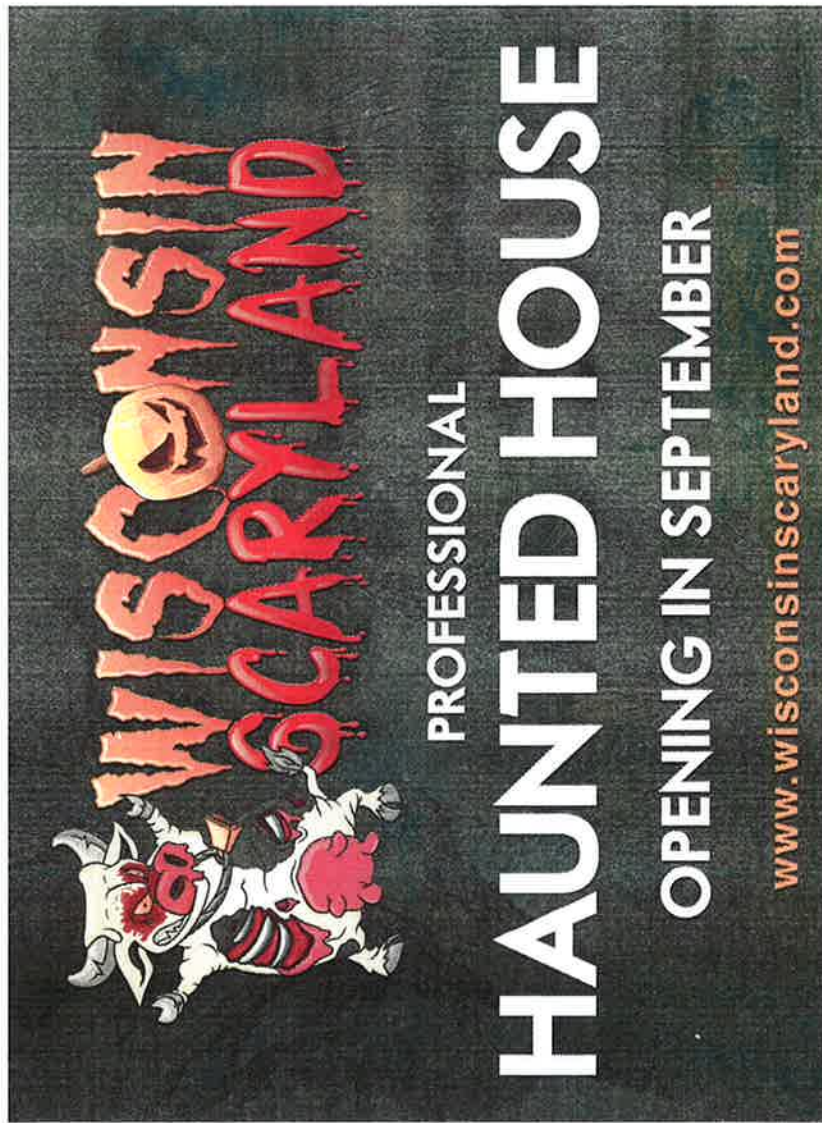
TEMPORARY
BANNER (SIGN)
FRONT FACE

ITEM #1.



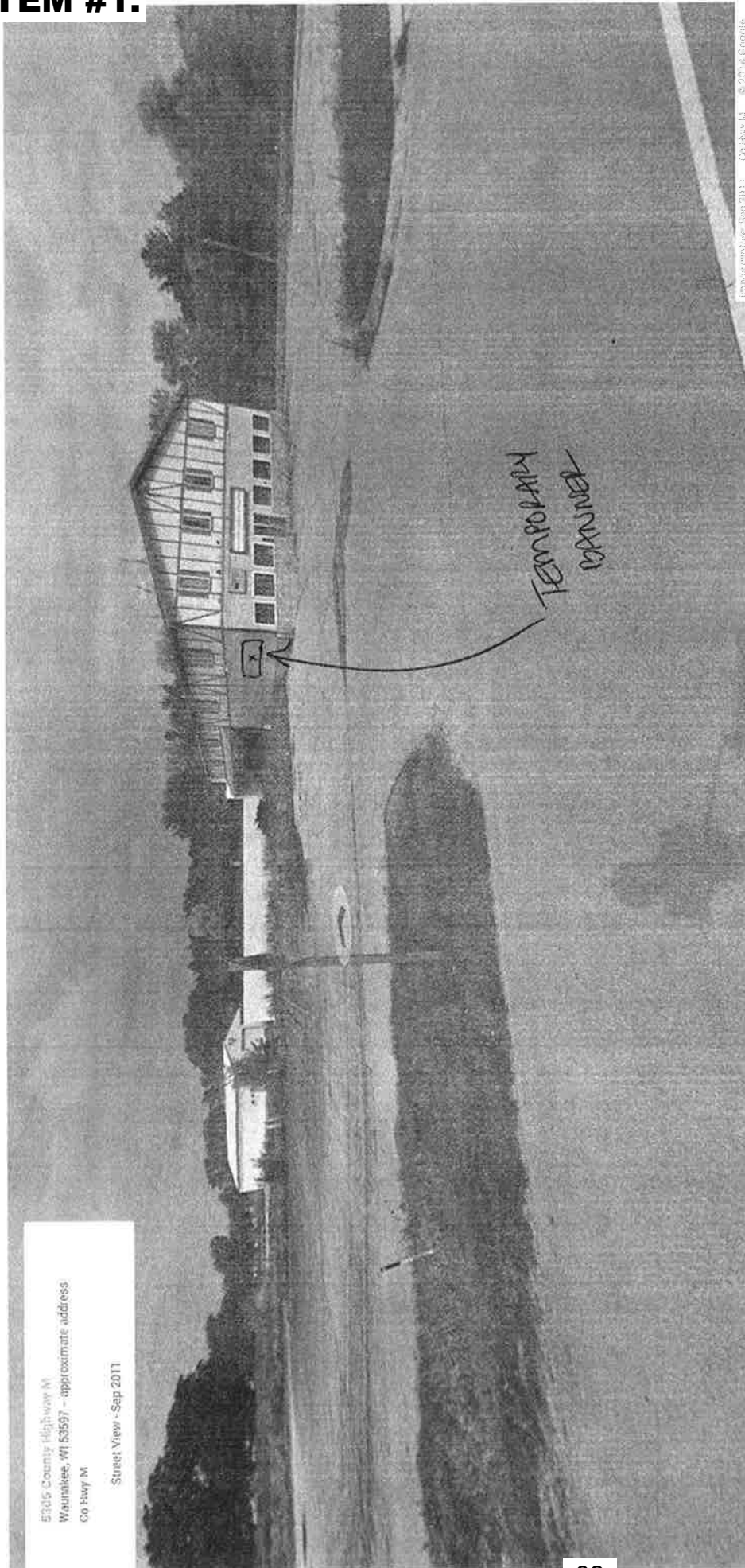
RIGHT SIDE TEMPORARY BANNER

(2) 11' x 8' Banners to be affixed to exterior



ITEM #1.

ITEM #1.



LEFT SIDE

LEFT SIDE TEMPORARY BANNER

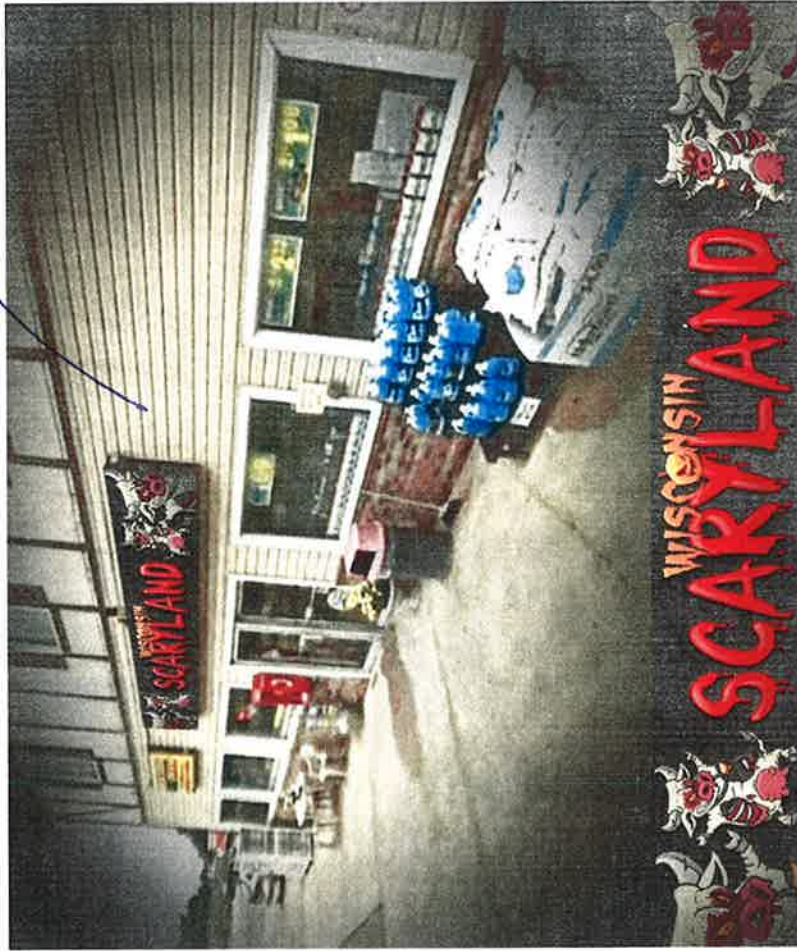
(2) 11' X 8' Banners to be affixed to exterior



ITEM #1.

ITEM #1.

Replace existing stop-and-go sign.
16' x 3'



PERMANENT LIT SIGN
FRONT FACE

PERMANENT LIT SIGN - FRONT FACE



ITEM #1.

Tracy Meinholz

From: Tom Wilson <twilson@townofwestport.org>
Sent: Wednesday, February 04, 2015 10:48 AM
To: Tracy Meinholz
Cc: Kevin; Michelle
Subject: FW: Waunakee Tribune Poll Results about Haunted Attraction
Attachments: Screen Shot 2015-02-03 at 11.43.25 AM.png

Follow Up Flag: Follow up
Flag Status: Flagged

As requested we should make sure copies of this get to the plan commissioners thanks!

t

From: Klima Deodorant [<mailto:klimahealthsolutions@gmail.com>]
Sent: Tuesday, February 03, 2015 11:48 AM
To: Tom Wilson
Subject: Waunakee Tribune Poll Results about Haunted Attraction

Hi Tom,

Apparently there was a poll done by the Waunakee Tribune about keeping our Haunted Attraction open more days and longer hours.

The reporter at the last meeting did the article. I was just forwarded the article and the results. (See attached)

The results after 2 weeks are:
97.5% in favor of keeping it open longer with more days open.
2.5% opposed.

Can you please forward this email to the board members in Waunakee and Westport, as I think it speaks volumes about what the community wants.

Thank you,

Guy Kitchell
Wisconsin Scaryland

--

Klima Health Solutions
2222 Pleasant View Road, Unit #4
Middleton, WI 53562
USA

1-877-295-5462
klimahealthsolutions@gmail.com
www.klimadeodorant.com

Home News Sports Opinion Community Marketplace Classifieds Weather Multimedia Our Publications



Corey Randl
Mortgage Loan Officer
(608) 849-2712

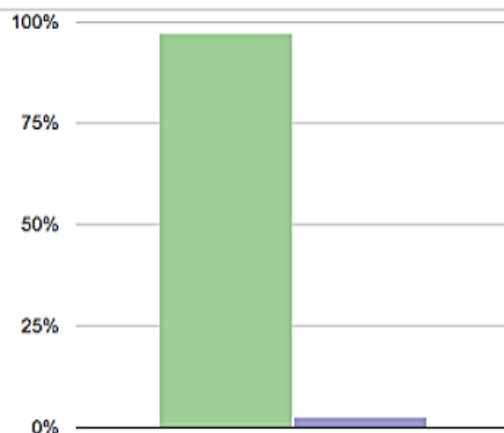
- Mortgage Rates Still Low
- Local Servicing
- One of Dane County's Leading Home Lenders



CONTACT COREY TODAY, OR CLICK HERE TO APPLY ONLINE

Home > Waunakee Tribune > News > Local

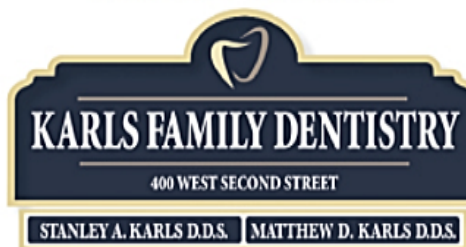
Do you think the Wisconsin Scaryland Haunted House should be open with later hours and for a longer span of time?



Yes	97.5%
No	2.5%
Unsure	0%

You voted: Yes

"Serving Waunakee Families
for Over 40 Years"



608.849.4100
karlsfamilydentistry.com



ITEM #1.



WILLIAMSON SURVEYING & ASSOCIATES, LLC

104A WEST MAIN STREET, WAUNAKEE, WI 53597

NOA T. PRIEVE and CHRIS W. ADAMS

PHONE: 1-608-255-5705 WEB: WILLIAMSONSURVEYING.COM

Letter of Intent

Peggy Whiteside is requesting a rezone and CSM approval in order to separate the existing house located at 5147 Bong Road from the rest of the farm land. Peggy is looking to retain ownership of this new parcel while keeping ownership of the farm land. The parcel that we have proposed would be 4.12 acres. The Village of Waunakee zoning for this size and use would be CR-5ac. The Village of Waunakee zoning for the size and use of the remaining farm land would be A-1E. There are no plans at this time to change the existing conditions of the home or farm land.



WILLIAMSON SURVEYING & ASSOCIATES, LLC

104A WEST MAIN STREET, WAUNAKEE, WI 53597

NOA T. PRIEVE and CHRIS W. ADAMS

PHONE: 1-608-255-5705 WEB: WILLIAMSONSURVEYING.COM

A-1 to A-1E REZONE DESCRIPTION

All of the SW $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 14, T8N, R9E, Village of Waunakee, Dane County, Wisconsin.

EXCEPTING thereof:

Part of the SW $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 14, T8N, R9E, Village of Waunakee, Dane County, Wisconsin, more particularly described as follows:

Commencing at the North $\frac{1}{4}$ corner; thence S $00^{\circ}16'41''$ W along the west line of said NE $\frac{1}{4}$, 1329.88 feet to the northwest corner of said SW $\frac{1}{4}$ of the NE $\frac{1}{4}$, and the point of beginning;

thence continuing S $00^{\circ}16'41''$ W along said west line, 391.32 feet; thence S $89^{\circ}45'05''$ E, 258.18 feet; thence N $00^{\circ}16'41''$ E, 353.59 feet; thence N $89^{\circ}45'05''$ W, 192.18 feet; thence N $00^{\circ}16'41''$ E, 37.88 feet to the north line of said SW $\frac{1}{4}$ of the NE $\frac{1}{4}$; thence N $89^{\circ}53'12''$ W along said north line, 66.00 feet to the point of beginning. This description contains 93,786 square feet or 2.15 acres.

ITEM #2.

	Village of Waunakee Planning/Zoning Department 500 W. Main Street Waunakee, WI 53597 Phone (608) 850-8500 Fax (608) 849-5628	Land Division Application
---	---	------------------------------

1. TYPE OF ACTION REQUESTED: ☒ CERTIFIED SURVEY MAP - \$100+\$25 per lot
☐ PRELIMINARY PLAT APPROVAL - \$100+\$50 per d.u.
☐ FINAL PLAT APPROVAL - \$100+\$50 per d.u.
☐ GDP/SIP APPROVAL - \$475 each
☐ REPLAT
2. PROPOSED LAND USE (CHECK ALL THAT APPLY) ☒ SINGLE-FAMILY RESIDENTIAL
☐ TWO-FAMILY RESIDENTIAL
☐ MULTI-FAMILY RESIDENTIAL
☐ COMMERCIAL/INDUSTRIAL
3. PROJECT NAME: Whiteside CSM
4. LEGAL DESCRIPTION OF PROPERTY: Parts of SW 1/4 of NE 1/4 and NW 1/4 of NE 1/4, Section 14, T8N, R9E, Village of Waunakee
5. NUMBER OF PARCELS PROPOSED: 1
6. NUMBER OF BUILDABLE LOTS PROPOSED: 1
7. ZONING DISTRICT(S): A-1 being rezoned to CR-5ac
8. CURRENT OWNER OF PROPERTY: Peggy Whiteside
MAILING ADDRESS: 5147 Bong Rd. Waunakee WI 53597
PHONE: 849-4180 EMAIL: _____
9. CONTACT PERSON: Noa Prieve, Williamson Surveying + Assoc.
MAILING ADDRESS: 104 A W. Main St. Waunakee WI 53597
PHONE: 255-5705 EMAIL: noa@williamsonsurveying.com

THE UNDERSIGNED CERTIFIES THAT HE/SHE HAS FAMILIARIZED HIMSELF/HERSELF WITH THE STATE AND LOCAL CODES AND PROCEDURES PERTAINING TO THIS APPLICATION. THE UNDERSIGNED FURTHER HEREBY CERTIFIES THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND CORRECT.

SIGNED:



(OWNER OR OWNER'S AUTHORIZED AGENT'S SIGNATURE)

FOR VILLAGE USE ONLY:

DATE RECEIVED: 02/09/15
RECEIPT NUMBER: 6.004938

FEE PAID: 125.00

	Village of Waunakee Planning/Zoning Department 500 W. Main Street Waunakee, WI 53597 Phone (608) 850-8500 Fax (608) 849-5628	Rezoning Application
---	---	----------------------

1. LOCATION OF PROPERTY NW 1/4 and SW 1/4 of NE 1/4, Sec. 14, T8N, R9E,
2. LEGAL DESCRIPTION
(METES & BOUNDS OR PLAT & LOT) _____
3. ZONING CHANGE: FROM A-1 TO CR-5ac + A-1E EX
4. PROPOSED USE OF PROPERTY CR-5ac for existing home, A-1E EX for fam

ATTACH 40 COPIES OF A SITE PLAN (10 FULL/30 11X17) SHOWING ANY PROPOSED LAND DIVISIONS, PLUS VEHICULAR ACCESS POINTS AND THE LOCATION AND SIZE OF ALL EXISTING AND PROPOSED STRUCTURES AND PARKING AREAS.

5. TYPE OF RESIDENTIAL DEVELOPMENT (IF APPLICABLE) SINGLE FAMILY
TOTAL DWELLING UNITS PROPOSED 1 NO. OF PARKING STALLS N/A

TYPE OF NON-RESIDENTIAL DEVELOPMENT (IF APPLICABLE) _____
TOTAL TENANTS PROPOSED _____ NO. OF PARKING STALLS _____

6. CURRENT OWNER OF PROPERTY: Peggy Whiteside
MAILING ADDRESS: 5147 Bong Rd. Waunakee WI 53597
PHONE: 849-4180 EMAIL: _____
7. CONTACT PERSON: Noa Prieve, Williamson Surveying
MAILING ADDRESS: 1044 W. Main St. Waunakee WI 53597
PHONE: 255-5705 EMAIL: noa@williamsonsurveying.com

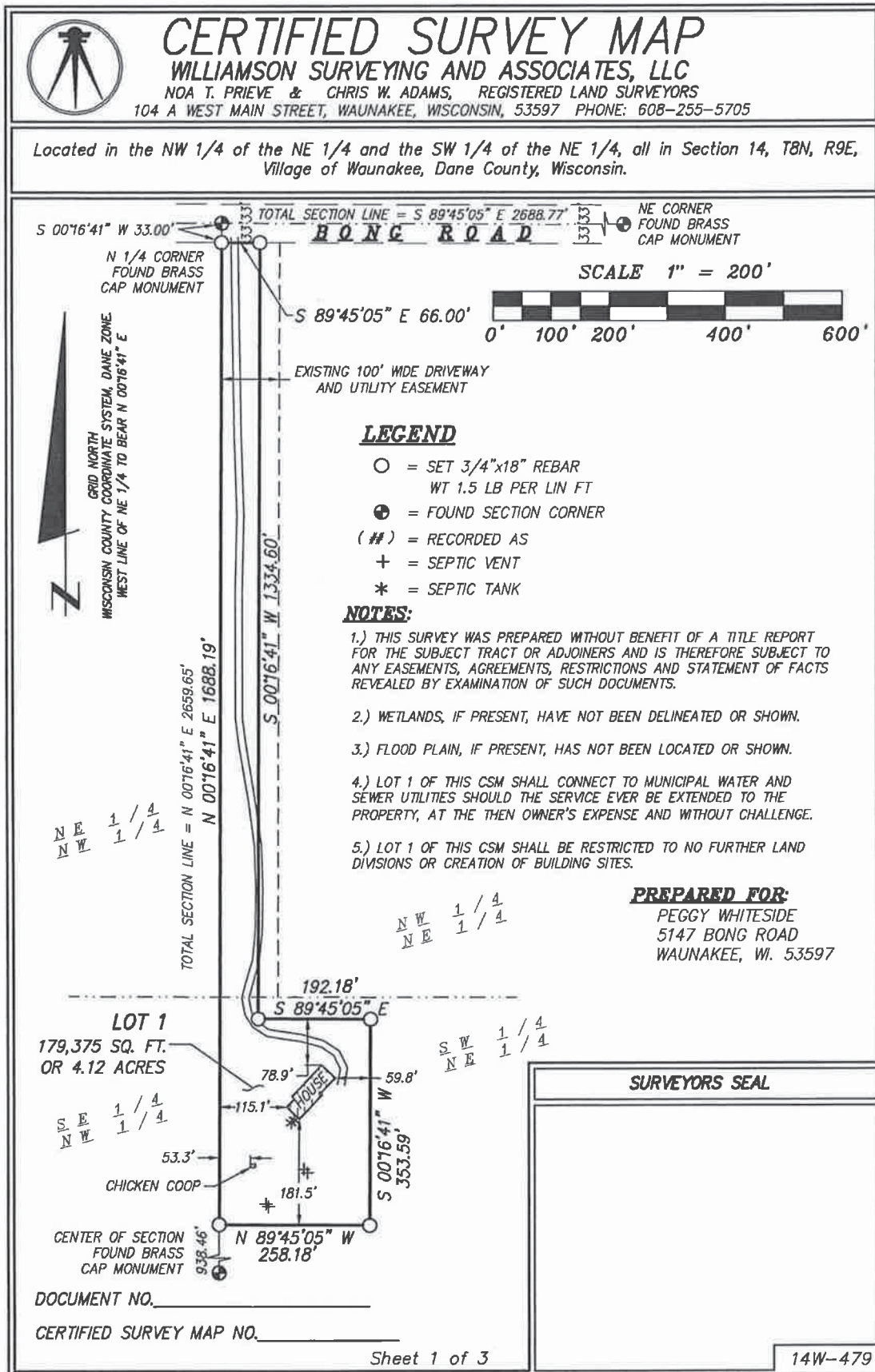
THE UNDERSIGNED CERTIFIES THAT HE/SHE HAS FAMILIARIZED HIMSELF/HERSELF WITH THE STATE AND LOCAL CODES AND PROCEDURES PERTAINING TO THIS APPLICATION. THE UNDERSIGNED FURTHER HEREBY CERTIFIES THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND CORRECT.

SIGNED: Peggy Whiteside
(OWNER OR OWNER'S AUTHORIZED AGENT'S SIGNATURE)

FOR VILLAGE USE ONLY:

DATE RECEIVED: 04/01/15
RECEIPT NUMBER: 6.004938

FEE PAID: \$ 345.00





CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE & CHRIS W. ADAMS, REGISTERED LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the NW 1/4 of the NE 1/4 and the SW 1/4 of the NE 1/4, all in Section 14, T8N, R9E, Village of Waunakee, Dane County, Wisconsin.

SURVEYOR'S CERTIFICATE

I, Noa T. Prieve, Registered Land Surveyor hereby certify that in full compliance with the provisions of Chapter 236.34 Wisconsin Statutes, the subdivision regulations of the Village of Waunakee, and by the direction of the owners listed below, I have surveyed, divided, and mapped a correct representation of the exterior boundaries of the land surveyed and the division of that land, being part of the NW 1/4 of the NE 1/4 and the SW 1/4 of the NE 1/4, all in Section 14, T8N, R9E, Village of Waunakee, Dane County, Wisconsin, more particularly described as follows:

Commencing at the North 1/4 corner of said Section 14; thence S 00°16'41" W along the west line of said NE 1/4, 33.00 feet to the southerly right of way line of Bong Road and the point of beginning;

thence S 89°45'05" E along said southerly right of way line, 66.00 feet; thence S 00°16'41" W parallel to said west line, 1334.60 feet; thence S 89°45'05" E parallel to said southerly right of way line, 192.18 feet; thence S 00°16'41" W parallel to said west line, 353.59 feet; thence N 89°45'05" W parallel to said southerly right of way line, 258.18 feet to said west line; thence N 00°16'41" E along said west line, 1688.19 feet to the point of beginning. This parcel contains 179,375 square feet or 4.12 acres.

Williamson Surveying and Associates, LLC
by Noa T. Prieve & Chris W. Adams

Date _____

Noa T. Prieve S-2499
Registered Land Surveyor

OWNERS' CERTIFICATE

As owner, I hereby certify that I caused the land described on this certified survey map to be surveyed, divided and mapped as represented on the certified survey map. I also certify that this certified survey map is required to be submitted to the Village of Waunakee and the Town of Westport for approval.

WITNESS the hand seal of said owners this _____ day of _____, 20____.

STATE OF WISCONSIN)
DANE COUNTY)

Peggy S. Whiteside

Personally came before me this _____ day of _____, 20____ the above named Peggy S. Whiteside to me known to be the person who executed the foregoing instrument and acknowledge the same.

_____ County, Wisconsin.

My commission expires _____

Notary Public


Print Name

Sheet 2 of 3

SURVEYORS SEAL


14W-479

ITEM #2.

	<h1 style="margin: 0;">CERTIFIED SURVEY MAP</h1> <p style="margin: 0;">WILLIAMSON SURVEYING AND ASSOCIATES, LLC NOA T. PRIEVE & CHRIS W. ADAMS, REGISTERED LAND SURVEYORS 104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705</p>
<p>Located in the NW 1/4 of the NE 1/4 and the SW 1/4 of the NE 1/4, all in Section 14, T8N, R9E, Village of Waunakee, Dane County, Wisconsin.</p>	
<p><u>VILLAGE OF WAUNAKEE APPROVAL</u></p> <p>Resolved that this certified survey map is hereby acknowledged and approved by the Village of Waunakee on this _____ day of _____, 2015.</p> <div style="text-align: right; margin-top: 20px;"><p>_____ Julee Helt Clerk</p></div> <p><u>TOWN OF WESTPORT APPROVAL</u></p> <p>Resolved that this certified survey map in the Village of Waunakee is hereby acknowledged and approved by the Town of Westport on this _____ day of _____, 2015.</p> <div style="text-align: right; margin-top: 20px;"><p>_____ Thomas G. Wilson Clerk</p></div> <p><u>NOTE:</u></p> <p style="margin-left: 40px;">REFER TO BUILDING SITE INFORMATION CONTAINED IN THE DANE COUNTY SOIL SURVEY.</p> <p style="margin-top: 20px;">Approved for recording per Dane County Zoning and Land Regulation Committee action on _____</p> <div style="text-align: right; margin-top: 20px;"><p>_____ Daniel Everson Assistant Zoning Administrator</p></div> <p><u>REGISTER OF DEEDS:</u></p> <p>Received for recording this _____ day of _____, 20____ at _____ o'clock ____M. and recorded in Volume _____ of Dane County Certified Surveys on pages _____ through _____</p> <div style="display: flex; justify-content: space-between; align-items: flex-end; margin-top: 20px;"><div style="width: 45%;"><p>_____ Kristi Chlebowski Register of Deeds</p><p>DOCUMENT NO. _____</p><p>CERTIFIED SURVEY MAP NO. _____</p></div><div style="width: 50%; border: 1px solid black; padding: 10px; position: relative;"><div style="position: absolute; top: 5px; right: 5px; background: white; padding: 2px 5px; border: 1px solid black;">SURVEYORS SEAL</div><div style="border: 1px solid black; height: 150px; margin-top: 10px;"></div></div></div>	
<div style="display: flex; justify-content: space-between;">Sheet 3 of 314W-479</div>	



ITEM #3.

	Village of Waunakee Planning/Zoning Department 500 W. Main Street Waunakee, WI 53597 Phone (608) 850-8500 Fax (608) 849-5628	Land Division Application
---	---	------------------------------

1. TYPE OF ACTION REQUESTED:
☐ CERTIFIED SURVEY MAP - \$100+\$25 per lot
☐ PRELIMINARY PLAT APPROVAL - \$100+\$50 per d.u.
☒ FINAL PLAT APPROVAL - \$100+\$50 per d.u.
☐ GDP/SIP APPROVAL - \$475 each
☐ REPLAT
2. PROPOSED LAND USE (CHECK ALL THAT APPLY)
☒ SINGLE-FAMILY RESIDENTIAL
☐ TWO-FAMILY RESIDENTIAL
☐ MULTI-FAMILY RESIDENTIAL
☐ COMMERCIAL/INDUSTRIAL
3. PROJECT NAME: Second Addition to Carriage Ridge
4. LEGAL DESCRIPTION OF PROPERTY: SW1/4-SW1/4 Section 16, T08N, R09E, Town of t
Westport, Dane County, Wisconsin
5. NUMBER OF PARCELS PROPOSED: 71
6. NUMBER OF BUILDABLE LOTS PROPOSED: 68
7. ZONING DISTRICT(S): Current - A - 1EX; Proposed R1 (Village of Waunakee)
8. CURRENT OWNER OF PROPERTY: Carriage Ridge, LLC; c/o Thomas F. Bunbury
MAILING ADDRESS: 2970 Chapel Valley Road; Madison, WI 53711
PHONE: 608-310-8440 EMAIL: tbunbury@bunburyrealtors.com
9. CONTACT PERSON: Michael S. Marty, PLS; Vierbicher Associates, Inc.
MAILING ADDRESS: 999 Fourier Drive, Suite 201; Madison, WI 53717
PHONE: 608-821-3955 EMAIL: mmar@vierbicher.com

THE UNDERSIGNED CERTIFIES THAT HE/SHE HAS FAMILIARIZED HIMSELF/HERSELF WITH THE STATE AND LOCAL CODES AND PROCEDURES PERTAINING TO THIS APPLICATION. THE UNDERSIGNED FURTHER HEREBY CERTIFIES THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND CORRECT.

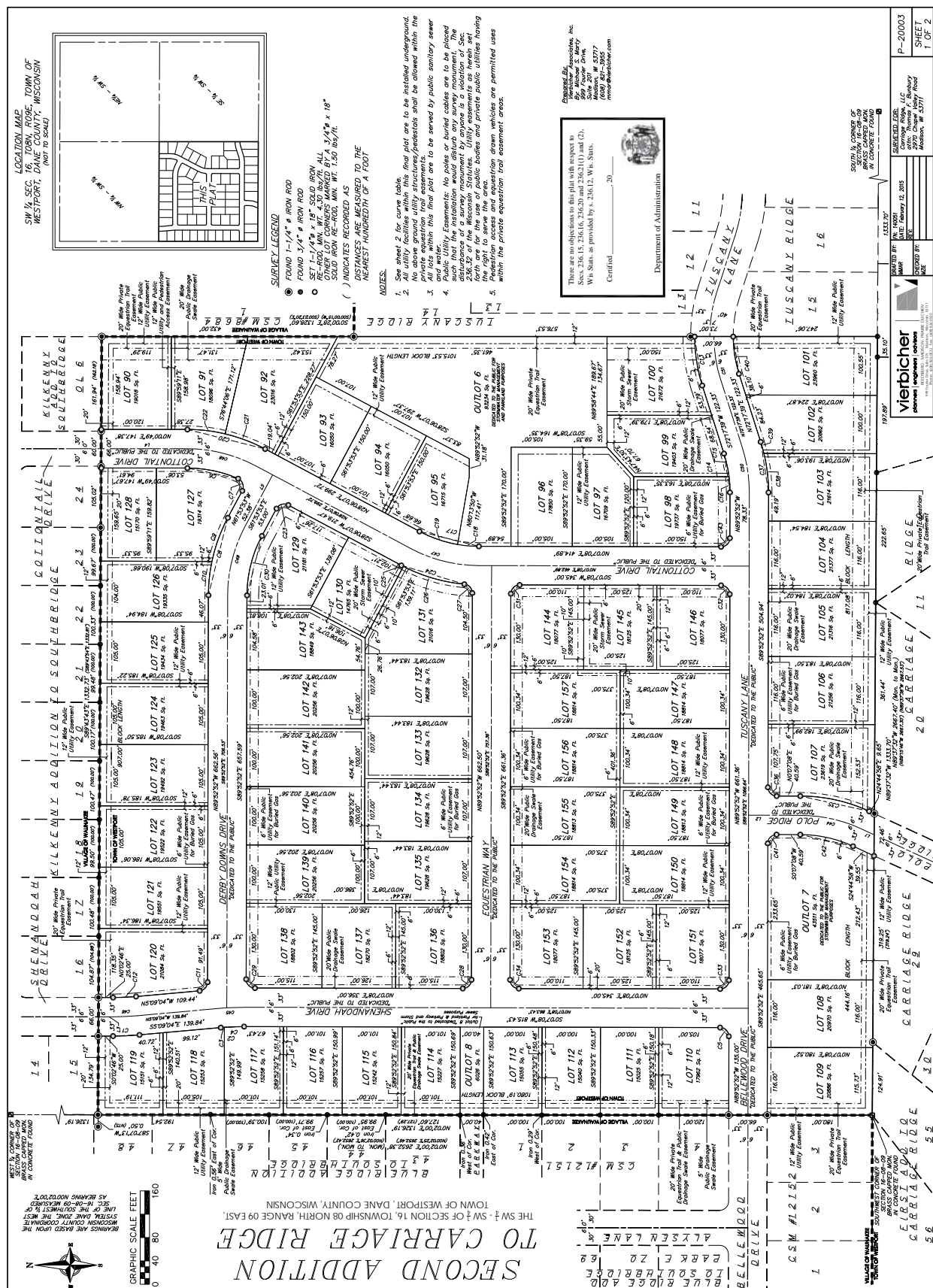
SIGNED:

Carriage Ridge LLC by Thomas F. Bunbury
(OWNER OR OWNER'S AUTHORIZED AGENT'S SIGNATURE)

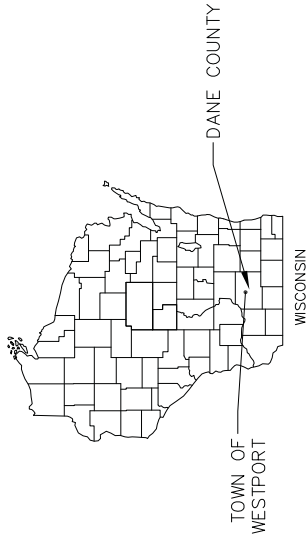
FOR VILLAGE USE ONLY:

DATE RECEIVED: _____
RECEIPT NUMBER: _____

FEE PAID: _____



vierbicher planners | engineers | advisors
REEDSBURG - MADISON - PRATON DU CHEN
999 Fountaine Drive, Suite 201 Madison, Wisconsin 53717
Phone: (608) 826-0532 Fax: (608) 826-0531



SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS
3	GRADING & EROSION CONTROL PLAN
4	UTILITY PLAN
5-7	BELLEWOOD DRIVE/TUSCANY LANE – PLAN & PROFILE
8-10	SHENANDOAH DRIVE – PLAN & PROFILE
11-13	COTTONTAIL DRIVE – PLAN & PROFILE
14	POLO RIDGE – PLAN & PROFILE
15-16	EQUESTRIAN WAY – PLAN & PROFILE
17-18	DERBY DOWNS DRIVE – PLAN & PROFILE
19	SOUTH STORM SEWER EASEMENT
20	NORTH STORM SEWER EASEMENT
21-27	CONSTRUCTION DETAILS

PROJECT NO.	140051	IT
SHEET	1	DWG. F

ITEM #3.



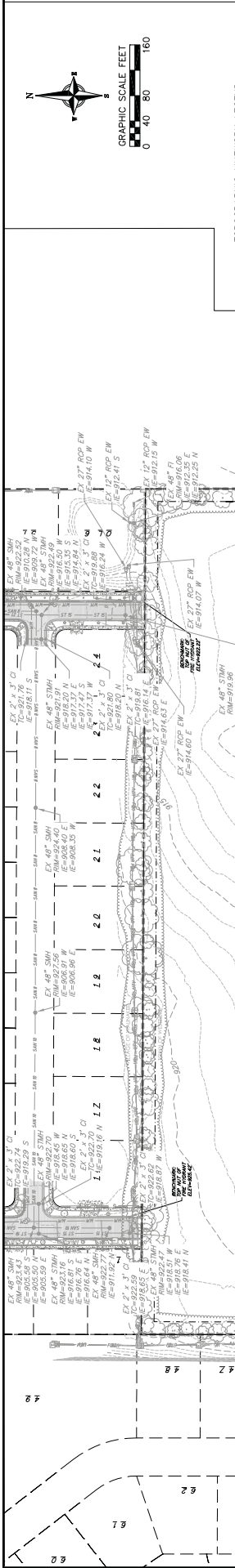
CALL DIGGER'S HOTLINE
1-800-242-8511
TOLL FREE

TELEFAX: 1-800-338-3860
TDC (FOR HEARING IMPAIRED):
1-800-542-2289

MS. STATUTE 182.0175 (1979)
REQUIRES MINIMUM OF 3 WORKING DAYS

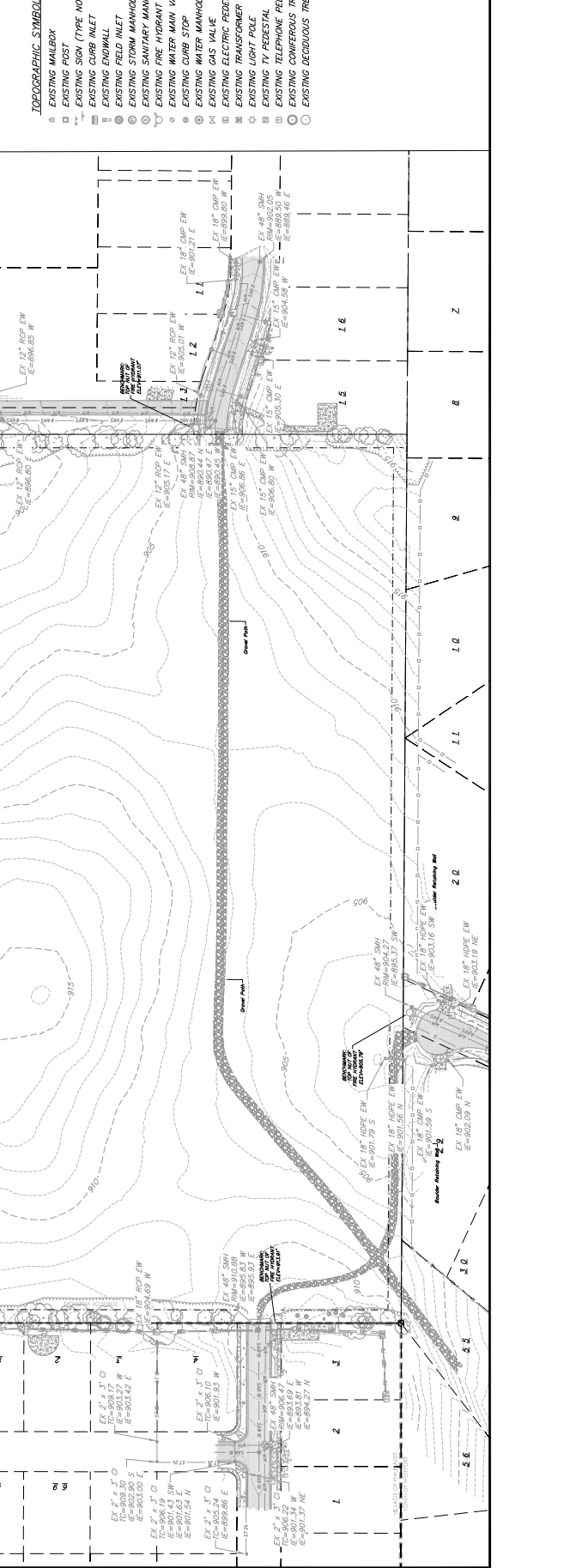
THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

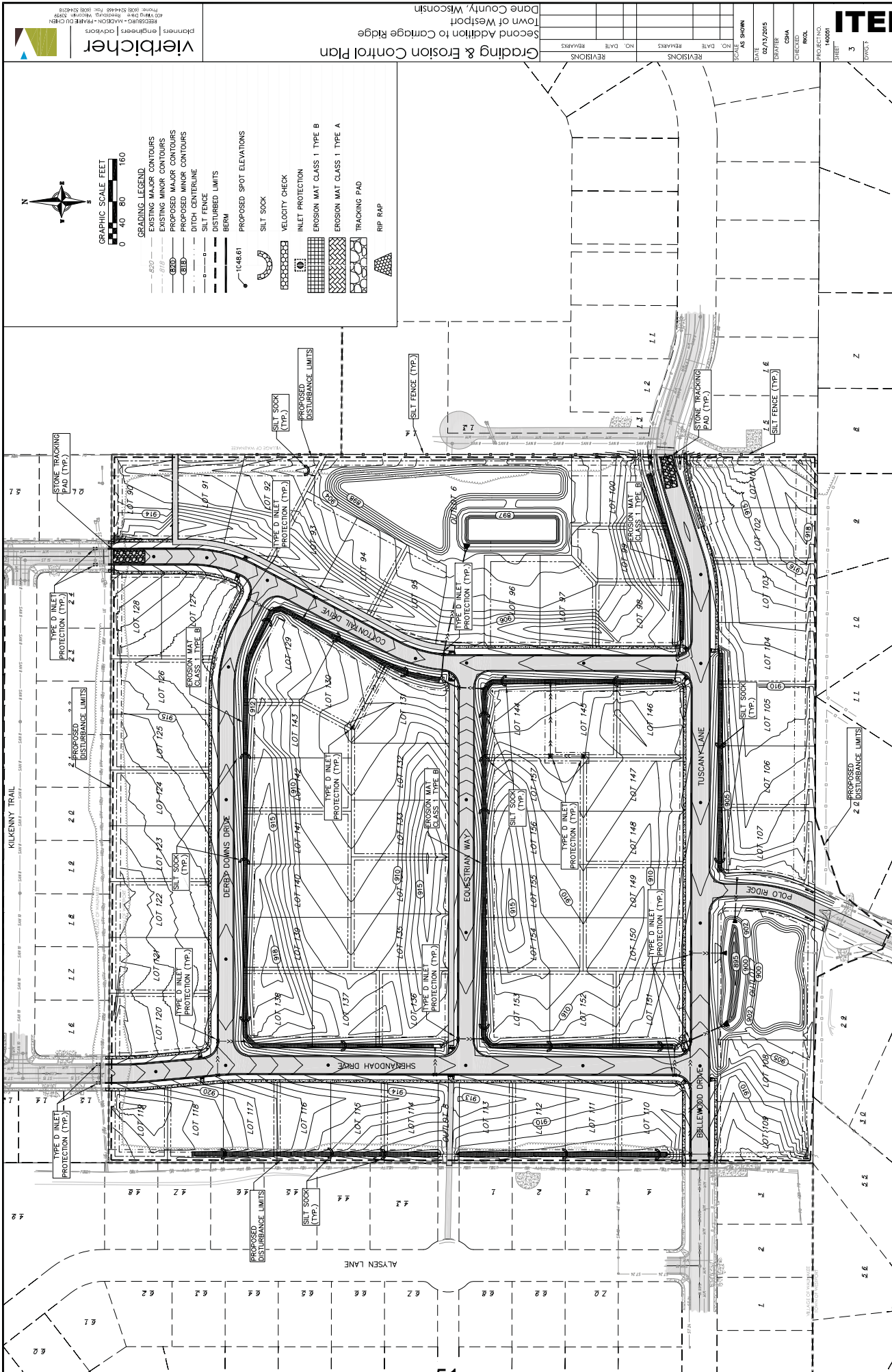
CALL DIGGER'S HOTLINE
1-800-242-8511



- TOPOGRAPHIC LINEWORK LEGEND**
- EXISTING UNDERGROUND CABLE TV
 - EXISTING FIBER OPTIC LINE
 - EXISTING UNDERGROUND TELEPHONE
 - EXISTING WOOD FENCE
 - EXISTING GAS LINE
 - EXISTING UNDERGROUND ELECTRIC LINE
 - EXISTING SANITARY SEWER LINE (SIZE NOTED)
 - EXISTING STORM SEWER LINE (SIZE NOTED)
 - EXISTING EDGE OF PAVED
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING CONCRETE
 - EXISTING ASPHALT
 - EXISTING GRAVEL

- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING MAILBOX
 - EXISTING SIGN (TYPE NOTED)
 - EXISTING CURB INLET
 - EXISTING ENDWALL
 - EXISTING FIELD INLET
 - EXISTING STORM MANHOLE
 - EXISTING SANITARY MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER MAIN VALVE
 - EXISTING CURB STOP
 - EXISTING WATER MANHOLE
 - EXISTING GAS VALVE
 - EXISTING ELECTRIC PEDESTAL
 - EXISTING TRANSFORMER
 - EXISTING TV PEDESTAL
 - EXISTING LIGHT POLE
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING CONIFEROUS TREE
 - EXISTING DECIDUOUS TREE



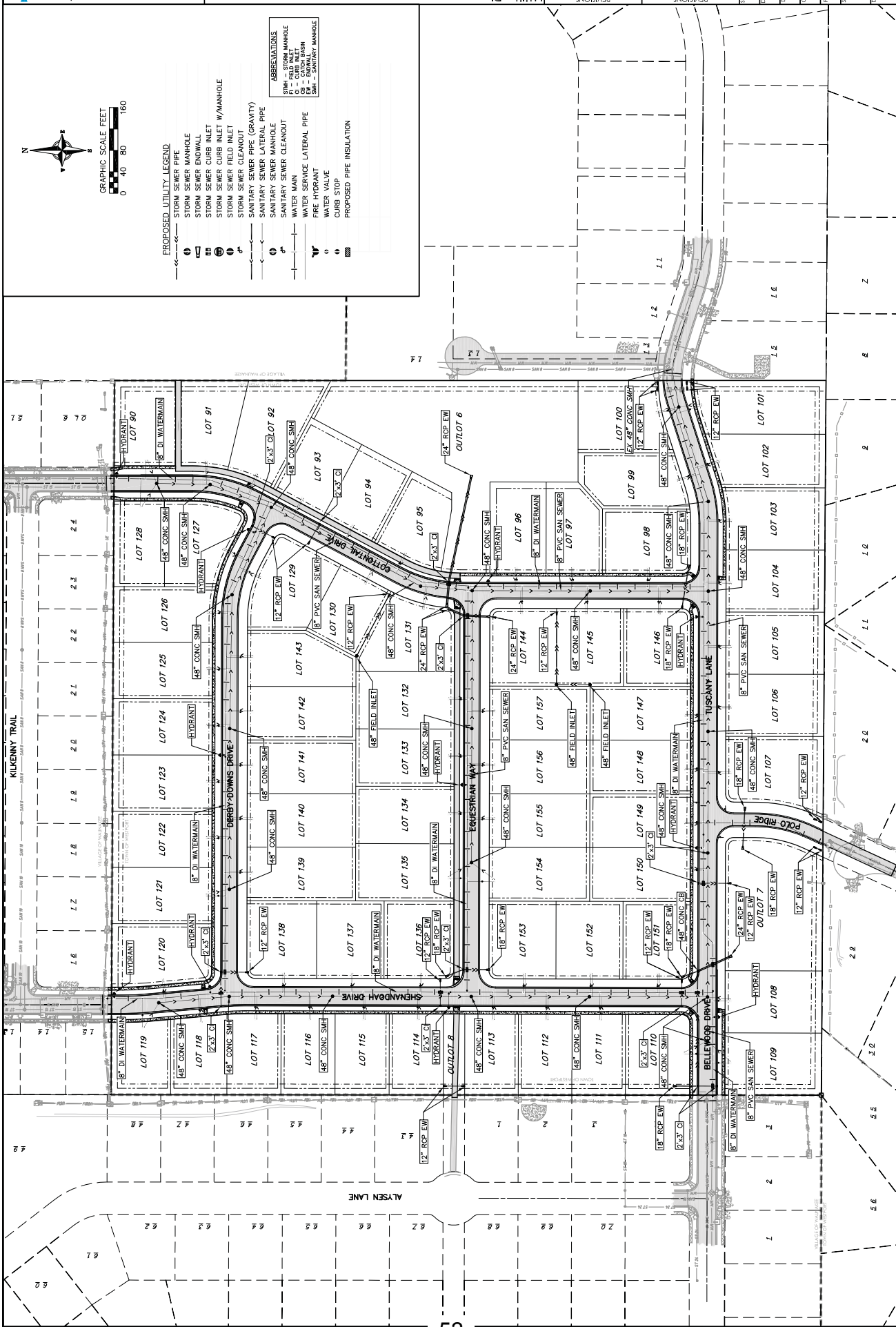


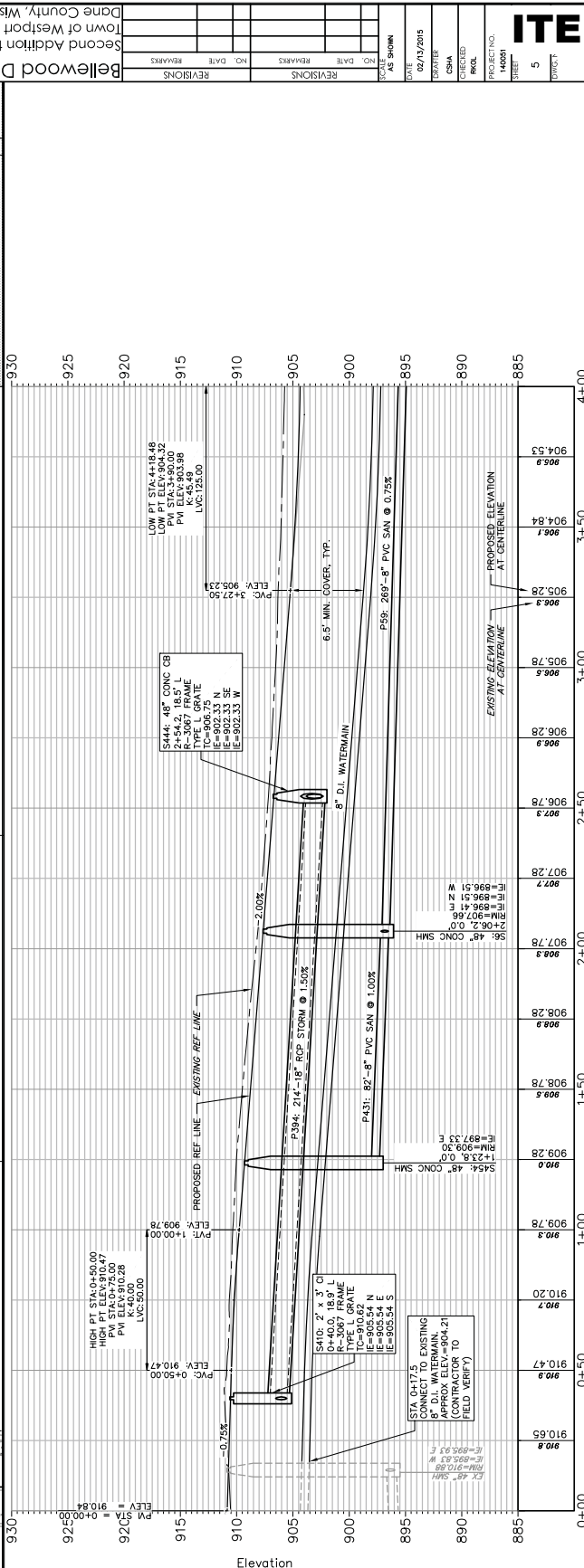
Grading & Erosion Control Plan

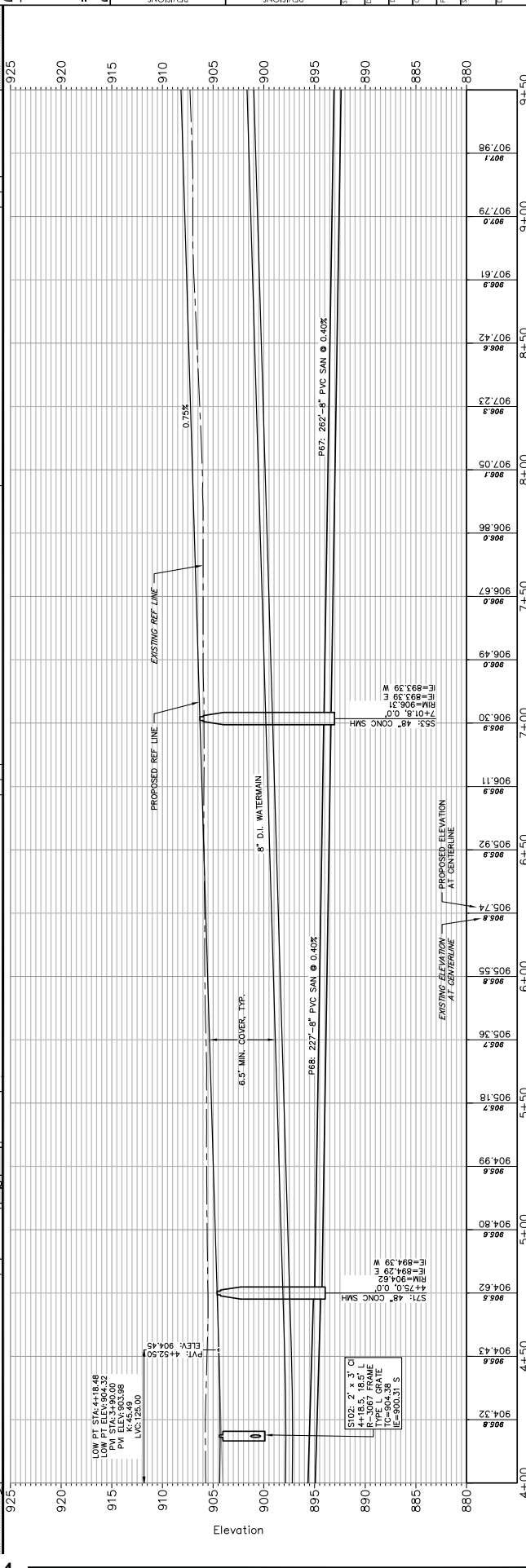
Second Addition to Cartage Ridge
Town of Westport
Dane County, Wisconsin

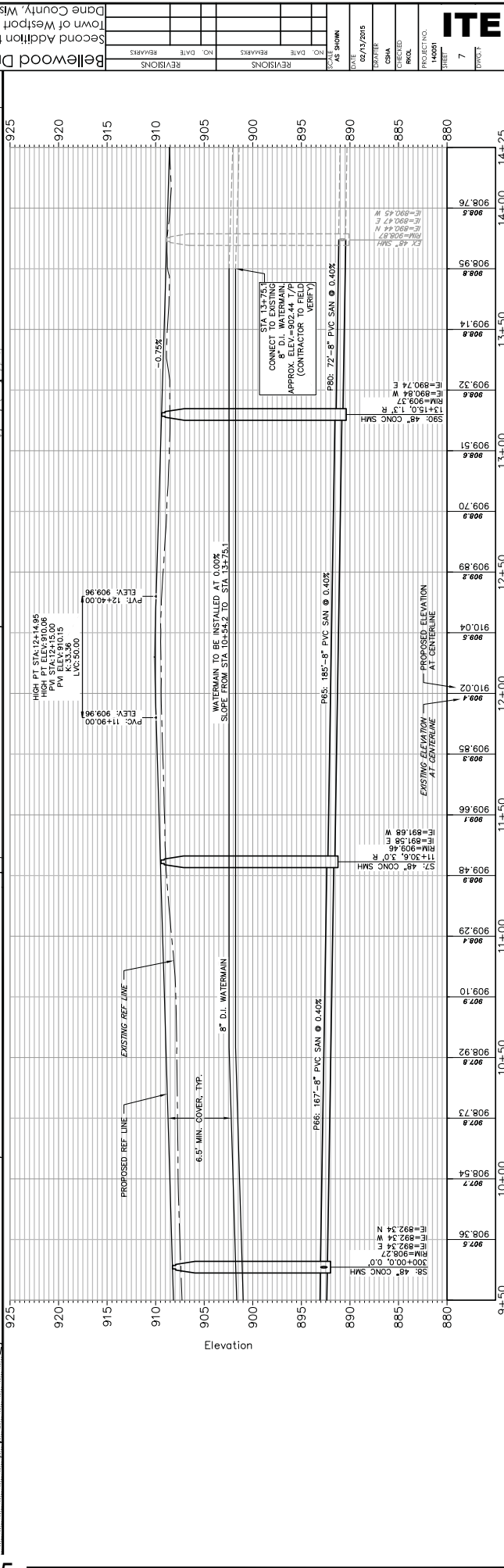
SCALE		AS SHOWN	
DATE		02/13/2015	
DATE		28/AFR	
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NO. DATE		REVISIONS	
NO. DATE		REMARKS	

NO.	DATE	REVISIONS
1	04/12/2015	ISSUED FOR PERMIT
2	04/12/2015	REVISIONS
3	04/12/2015	REVISIONS
4	05/27	REVISIONS



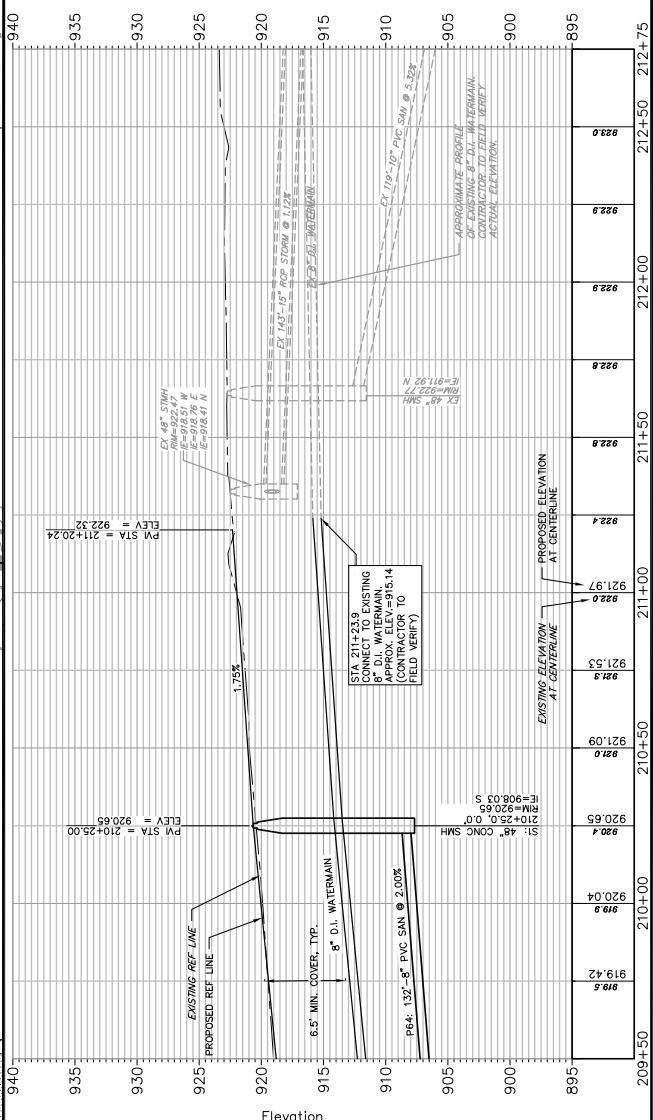
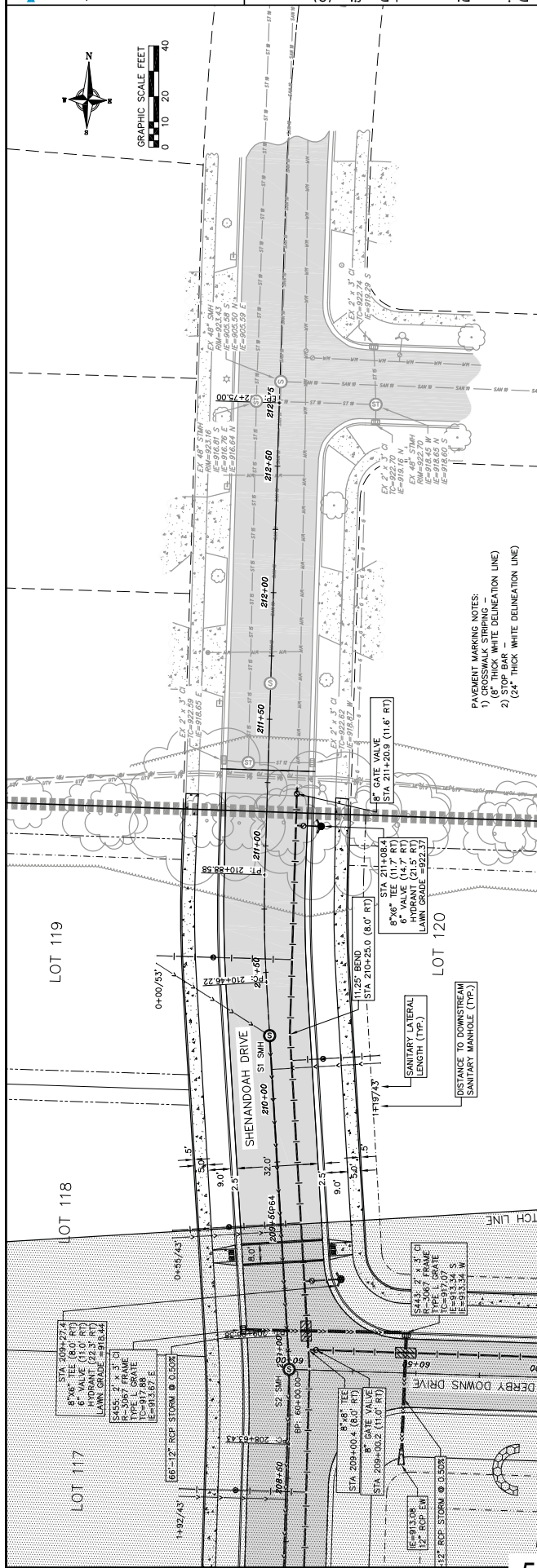






Shenandoah Drive - Plan
Second Addition to Carriage Ridge
Town of Westport
Dane County, Wisconsin



[illegible]

Shenandoah Drive - Plan and Profile (3)

NO.	DATE	REVISIONS
11	02/12/2015	Second Addition to Carriage Ridge
10	02/12/2015	Town of Westport
9	02/12/2015	Dane County, Wisconsin

Cottontail Drive - Plan & Profile (1)

veribicher
planners engineers architects
1550 Highway 100, Suite 100, Madison, WI 53717
Phone: 608.262.0200 Fax: 608.262.0202

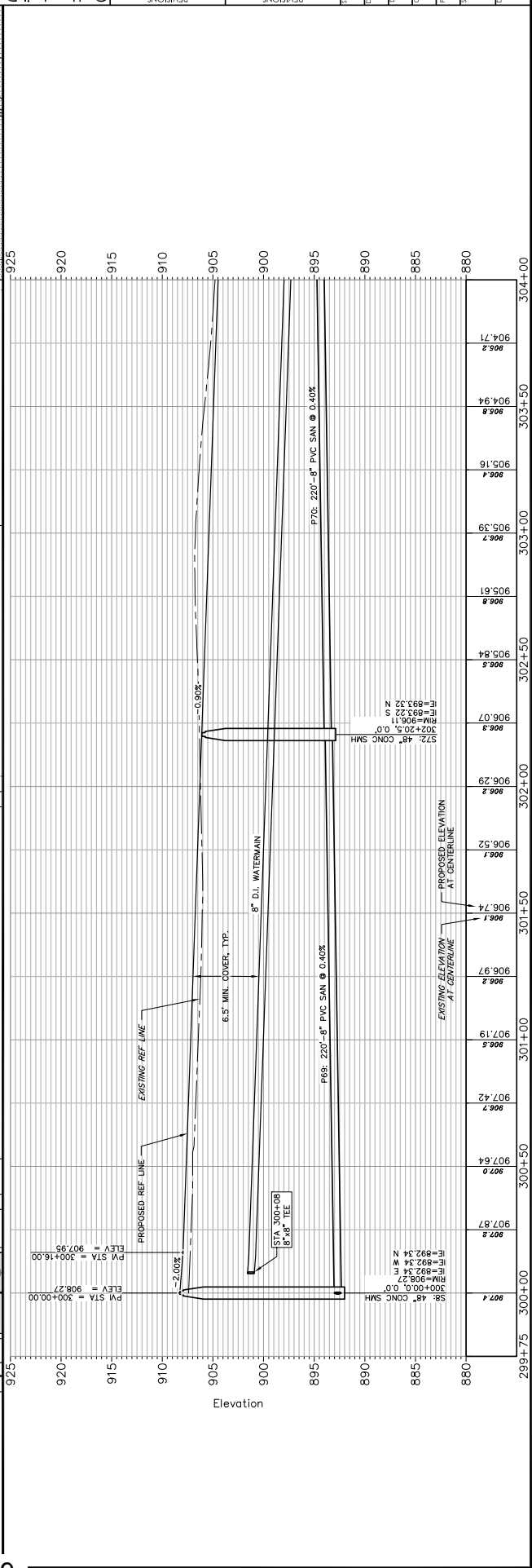
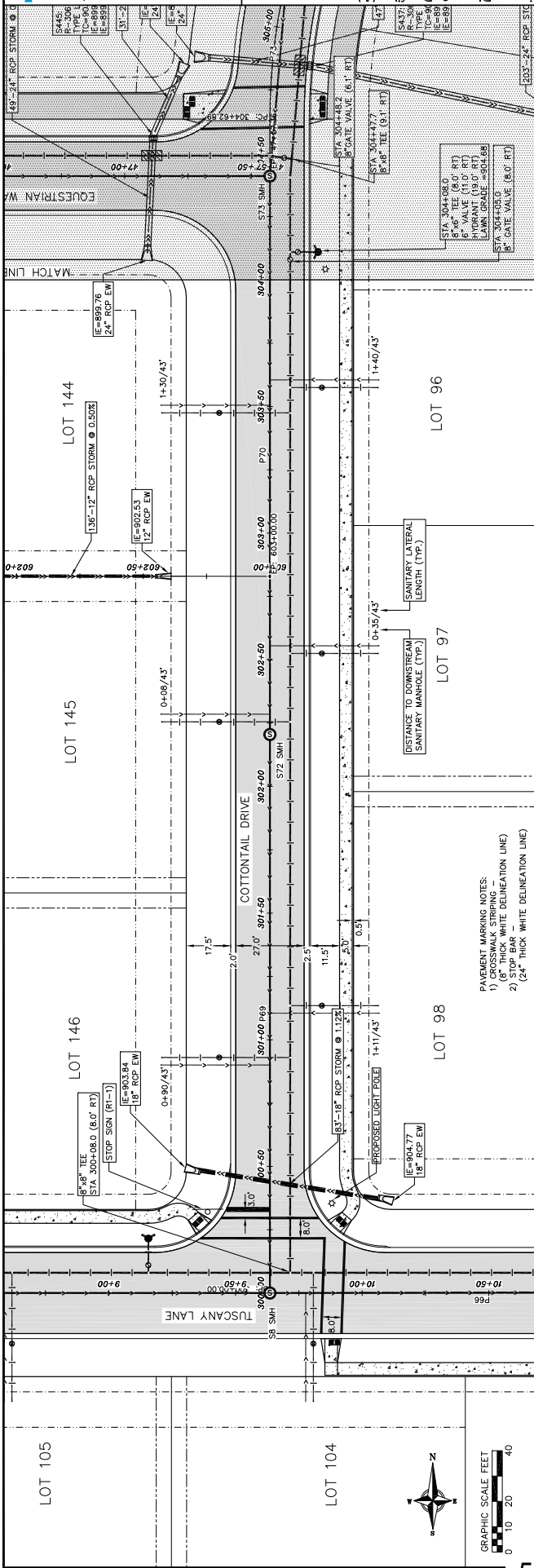


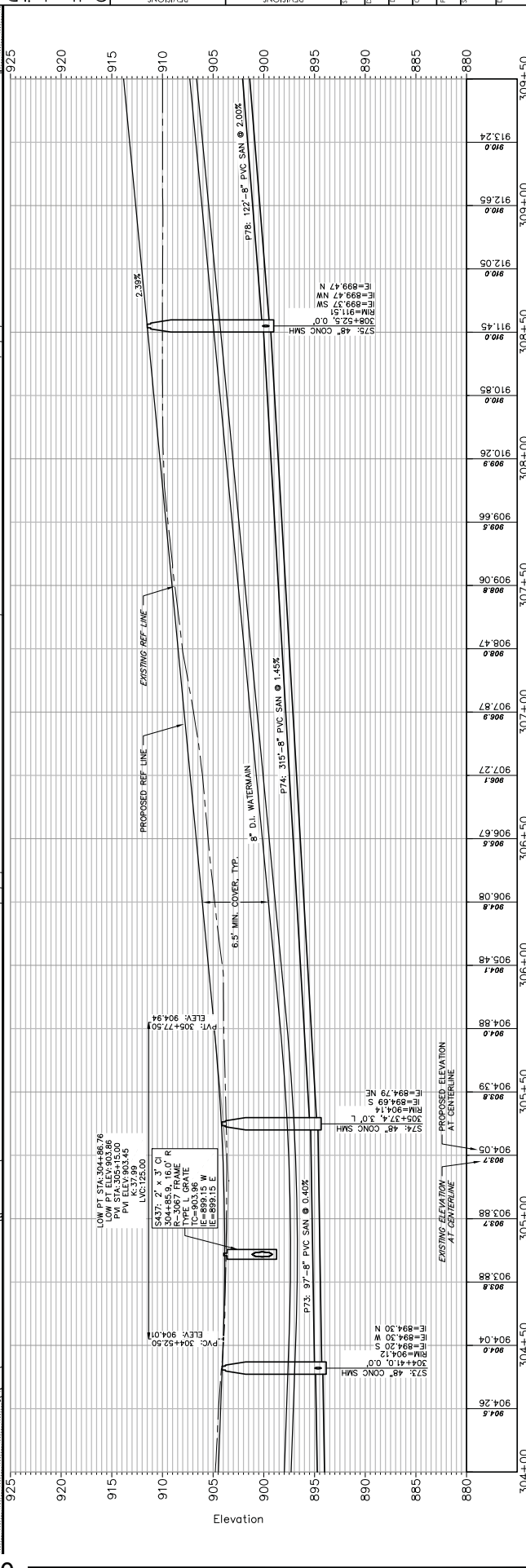
Diagram illustrating a proposed 8" D.I. Watermain installation, showing the profile of the watermain and the existing ground line.

Watermain Details:

- Proposed 8" D.I. Watermain
- Watermain Profile: 122'-8" PVC SAN @ 2.00%
- Watermain Profile: 315'-5" PVC SAN @ 1.45%
- Watermain Profile: 97'-8" PVC SAN @ 0.40%

Ground and Elevation Data:

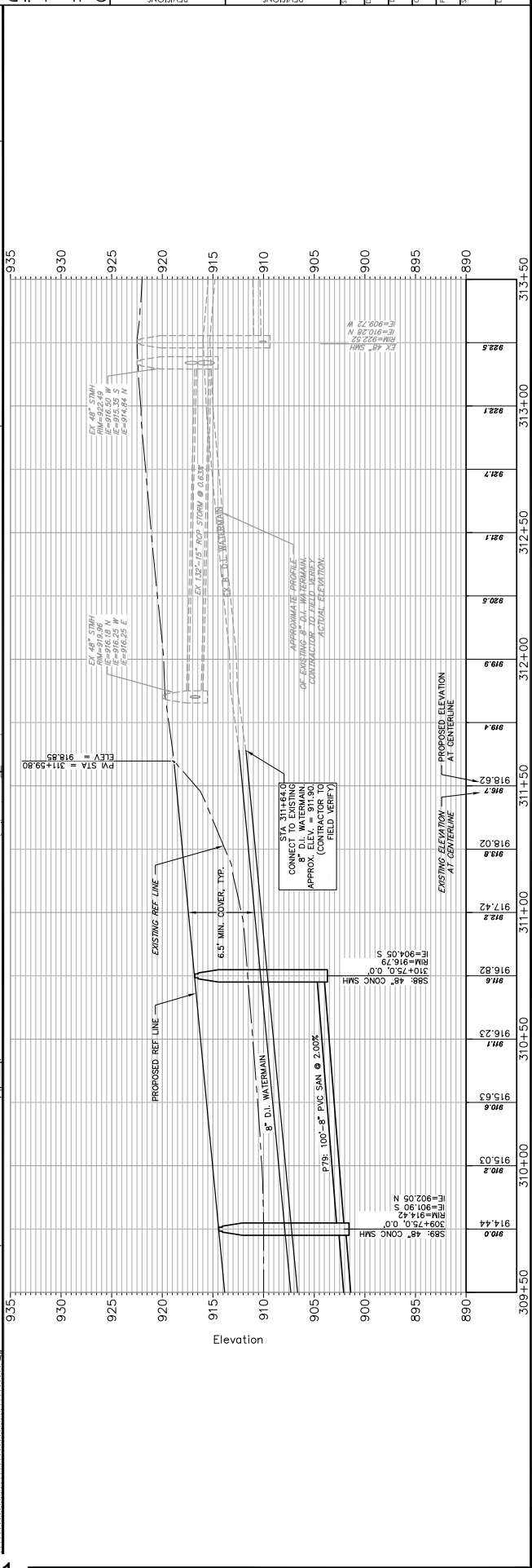
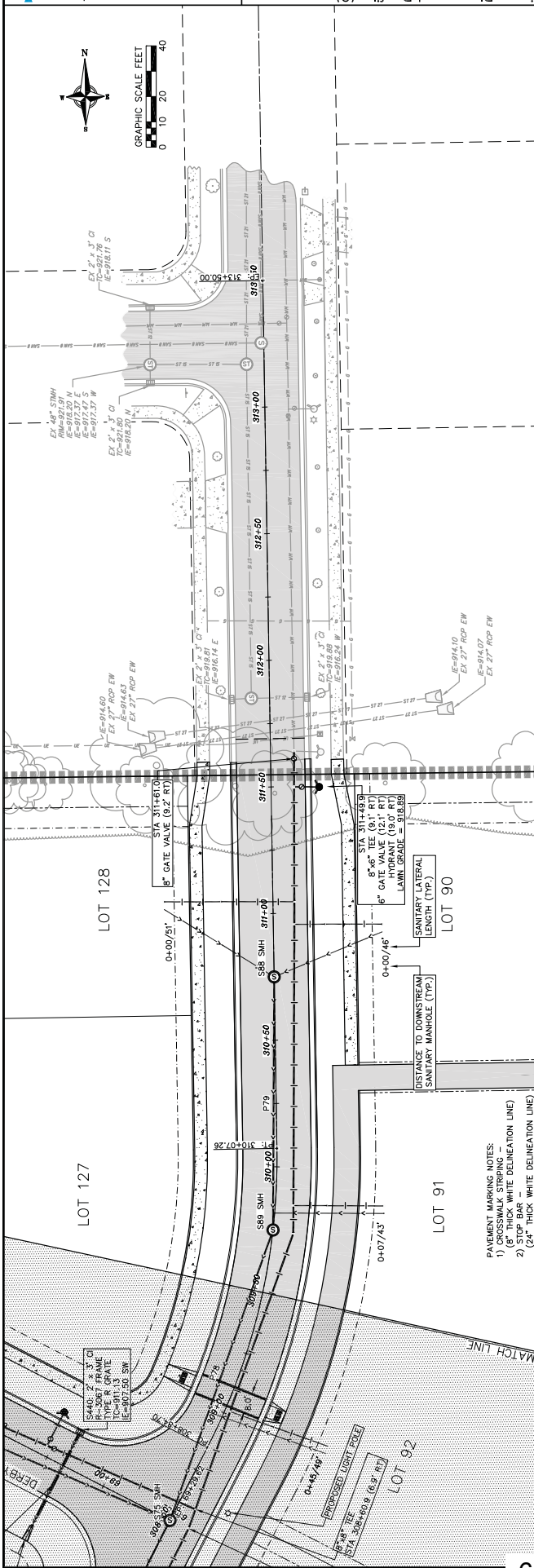
- Existing Ref Line
- Proposed Ref Line
- 6.5' MIN. COVER, TYP.
- Stationing: 904.00, 904.26, 904.50, 904.75, 905.00, 905.25, 905.50, 905.75, 906.00, 906.25, 906.50, 906.75, 907.00, 907.25, 907.50, 907.75, 908.00, 908.25, 908.50, 908.75, 909.00, 909.25, 909.50, 909.75, 910.00, 910.25, 910.50, 910.75, 911.00, 911.25, 911.50, 911.75, 912.00, 912.25, 912.50, 912.75, 913.00, 913.25, 913.50, 913.75, 914.00, 914.25, 914.50, 914.75, 915.00, 915.25, 915.50, 915.75, 916.00, 916.25, 916.50, 916.75, 917.00, 917.25, 917.50, 917.75, 918.00, 918.25, 918.50, 918.75, 919.00, 919.25, 919.50, 919.75, 920.00, 920.25, 920.50, 920.75, 921.00, 921.25, 921.50, 921.75, 922.00, 922.25, 922.50, 922.75, 923.00, 923.25, 923.50, 923.75, 924.00, 924.25, 924.50, 924.75, 925.00, 925.25, 925.50, 925.75, 926.00, 926.25, 926.50, 926.75, 927.00, 927.25, 927.50, 927.75, 928.00, 928.25, 928.50, 928.75, 929.00, 929.25, 929.50, 929.75, 930.00, 930.25, 930.50, 930.75, 931.00, 931.25, 931.50, 931.75, 932.00, 932.25, 932.50, 932.75, 933.00, 933.25, 933.50, 933.75, 934.00, 934.25, 934.50, 934.75, 935.00, 935.25, 935.50, 935.75, 936.00, 936.25, 936.50, 936.75, 937.00, 937.25, 937.50, 937.75, 938.00, 938.25, 938.50, 938.75, 939.00, 939.25, 939.50, 939.75, 940.00, 940.25, 940.50, 940.75, 941.00, 941.25, 941.50, 941.75, 942.00, 942.25, 942.50, 942.75, 943.00, 943.25, 943.50, 943.75, 944.00, 944.25, 944.50, 944.75, 945.00, 945.25, 945.50, 945.75, 946.00, 946.25, 946.50, 946.75, 947.00, 947.25, 947.50, 947.75, 948.00, 948.25, 948.50, 948.75, 949.00, 949.25, 949.50, 949.75, 950.00, 950.25, 950.50, 950.75, 951.00, 951.25, 951.50, 951.75, 952.00, 952.25, 952.50, 952.75, 953.00, 953.25, 953.50, 953.75, 954.00, 954.25, 954.50, 954.75, 955.00, 955.25, 955.50, 955.75, 956.00, 956.25, 956.50, 956.75, 957.00, 957.25, 957.50, 957.75, 958.00, 958.25, 958.50, 958.75, 959.00, 959.25, 959.50, 959.75, 960.00, 960.25, 960.50, 960.75, 961.00, 961.25, 961.50, 961.75, 962.00, 962.25, 962.50, 962.75, 963.00, 963.25, 963.50, 963.75, 964.00, 964.25, 964.50, 964.75, 965.00, 965.25, 965.50, 965.75, 966.00, 966.25, 966.50, 966.75, 967.00, 967.25, 967.50, 967.75, 968.00, 968.25, 968.50, 968.75, 969.00, 969.25, 969.50, 969.75, 970.00, 970.25, 970.50, 970.75, 971.00, 971.25, 971.50, 971.75, 972.00, 972.25, 972.50, 972.75, 973.00, 973.25, 973.50, 973.75, 974.00, 974.25, 974.50, 974.75, 975.00, 975.25, 975.50, 975.75, 976.00, 976.25, 976.50, 976.75, 977.00, 977.25, 977.50, 977.75, 978.00, 978.25, 978.50, 978.75, 979.00, 979.25, 979.50, 979.75, 980.00, 980.25, 980.50, 980.75, 981.00, 981.25, 981.50, 981.75, 982.00, 982.25, 982.50, 982.75, 983.00, 983.25, 983.50, 983.75, 984.00, 984.25, 984.50, 984.75, 985.00, 985.25, 985.50, 985.75, 986.00, 986.25, 986.50, 986.75, 987.00, 987.25, 987.50, 987.75, 988.00, 988.25, 988.50, 988.75, 989.00, 989.25, 989.50, 989.75, 990.00, 990.25, 990.50, 990.75, 991.00, 991.25, 991.50, 991.75, 992.00, 992.25, 992.50, 992.75, 993.00, 993.25, 993.50, 993.75, 994.00, 994.25, 994.50, 994.75, 995.00, 995.25, 995.50, 995.75, 996.00, 996.25, 996.50, 996.75, 997.00, 997.25, 997.50, 997.75, 998.00, 998.25, 998.50, 998.75, 999.00, 999.25, 999.50, 999.75, 1000.00, 1000.25, 1000.50, 1000.75, 1001.00, 1001.25, 1001.50, 1001.75, 1002.00, 1002.25, 1002.50, 1002.75, 1003.00, 1003.25, 1003.50, 1003.75, 1004.00, 1004.25, 1004.50, 1004.75, 1005.00, 1005.25, 1005.50, 1005.75, 1006.00, 1006.25, 1006.50, 1006.75, 1007.00, 1007.25, 1007.50, 1007.75, 1008.00, 1008.25, 1008.50, 1008.75, 1009.00, 1009.25, 1009.50, 1009.75, 1010.00, 1010.25, 1010.50, 1010.75, 1011.00, 1011.25, 1011.50, 1011.75, 1012.00, 1012.25, 1012.50, 1012.75, 1013.00, 1013.25, 1013.50, 1013.75, 1014.00, 1014.25, 1014.50, 1014.75, 1015.00, 1015.25, 1015.50, 1015.75, 1016.00, 1016.25, 1016.50, 1016.75, 1017.00, 1017.25, 1017.50, 1017.75,

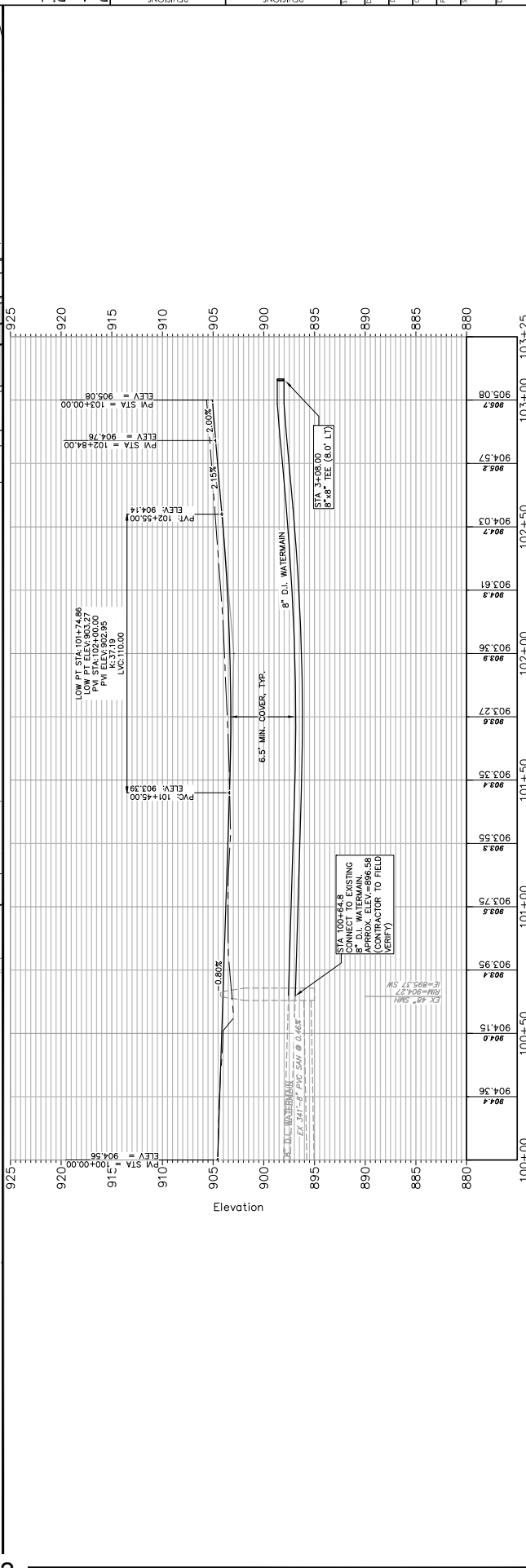
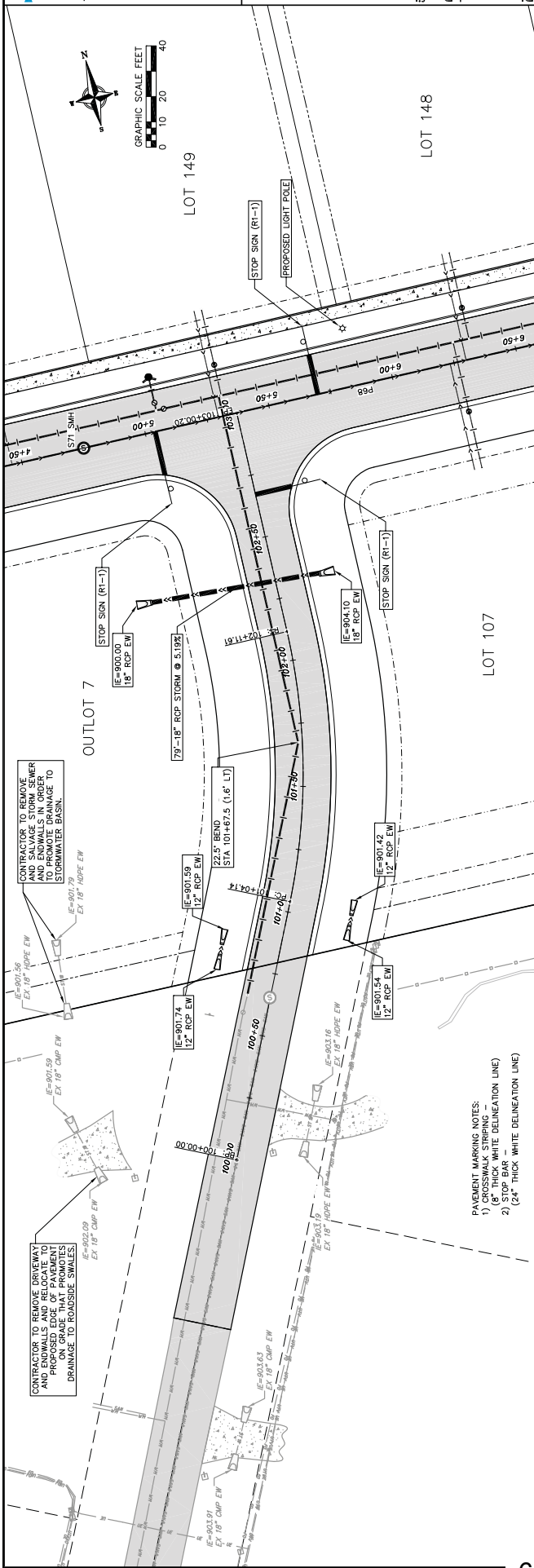


PROJECT NO.	140051
SHEET	13
DATE	04/17/2015
DESIGNED BY	WOL
CHECKED BY	
IN CHARGE	
NO. DATE	
REVISIONS	
NO. DATE	
REMARKS	

Cottontail Drive - Plan and Profile (3)
Second Addition to Carriage Ridge
Town of Westport
Dane County, Wisconsin

planners engineers architects
vrieblicher
140051 - COTTONTAIL DRIVE - PLAN AND PROFILE (3)
140051 - COTTONTAIL DRIVE - PLAN AND PROFILE (3)
140051 - COTTONTAIL DRIVE - PLAN AND PROFILE (3)

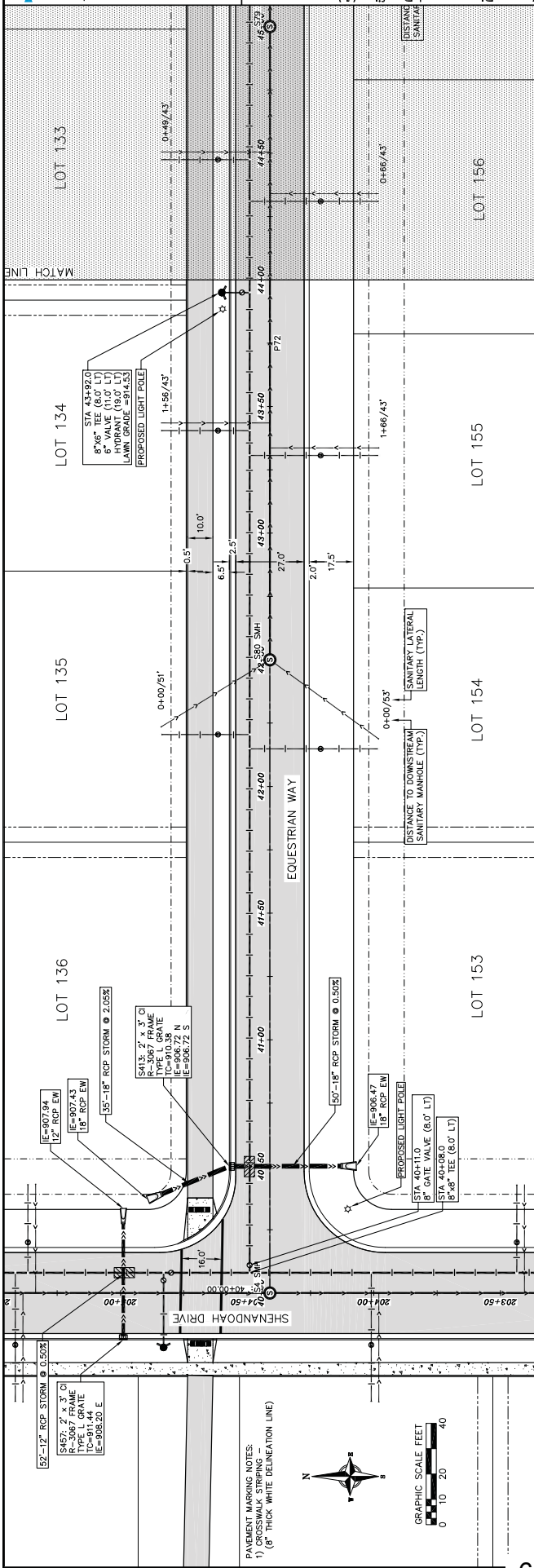
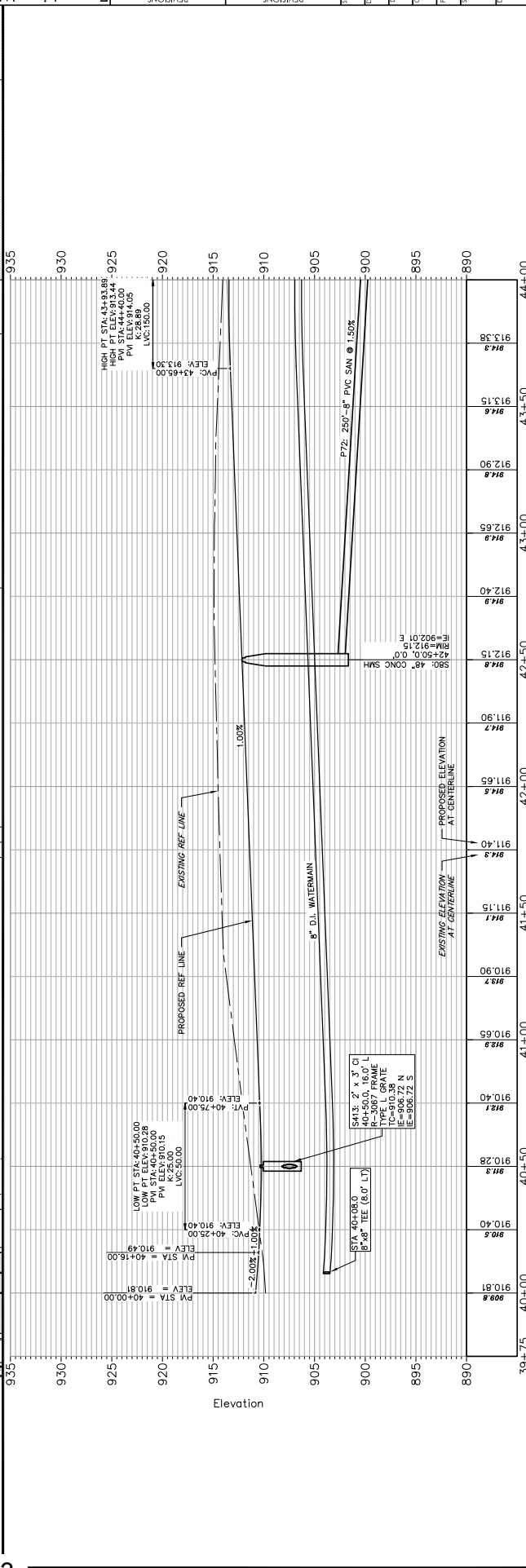


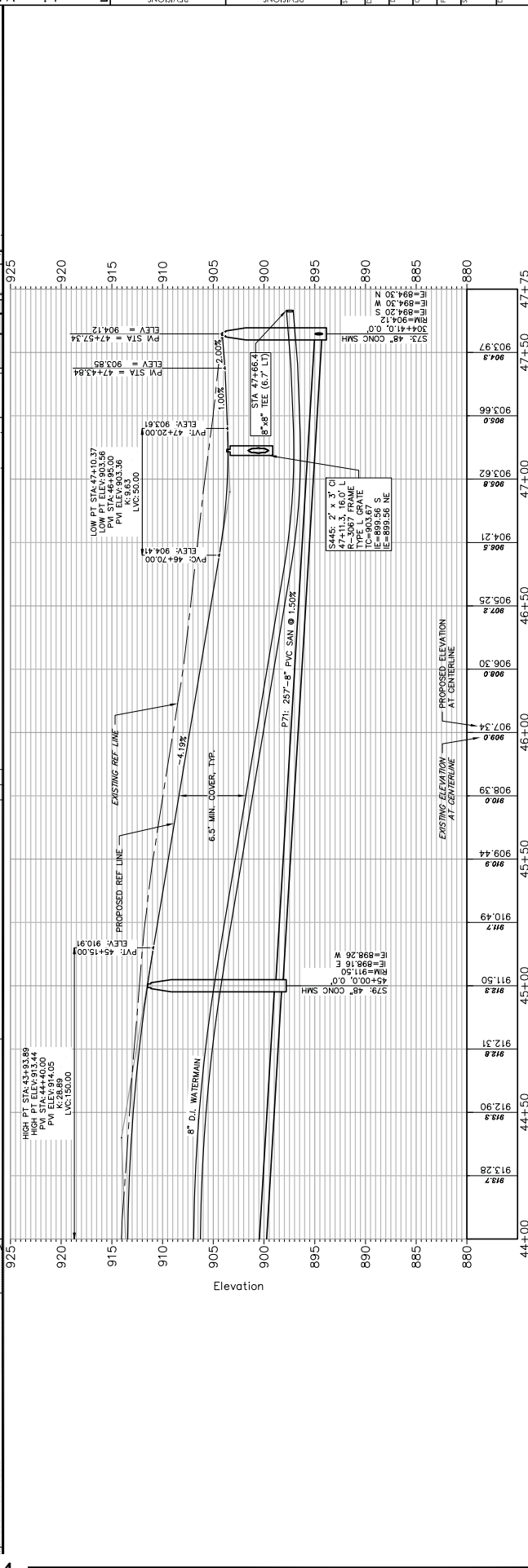
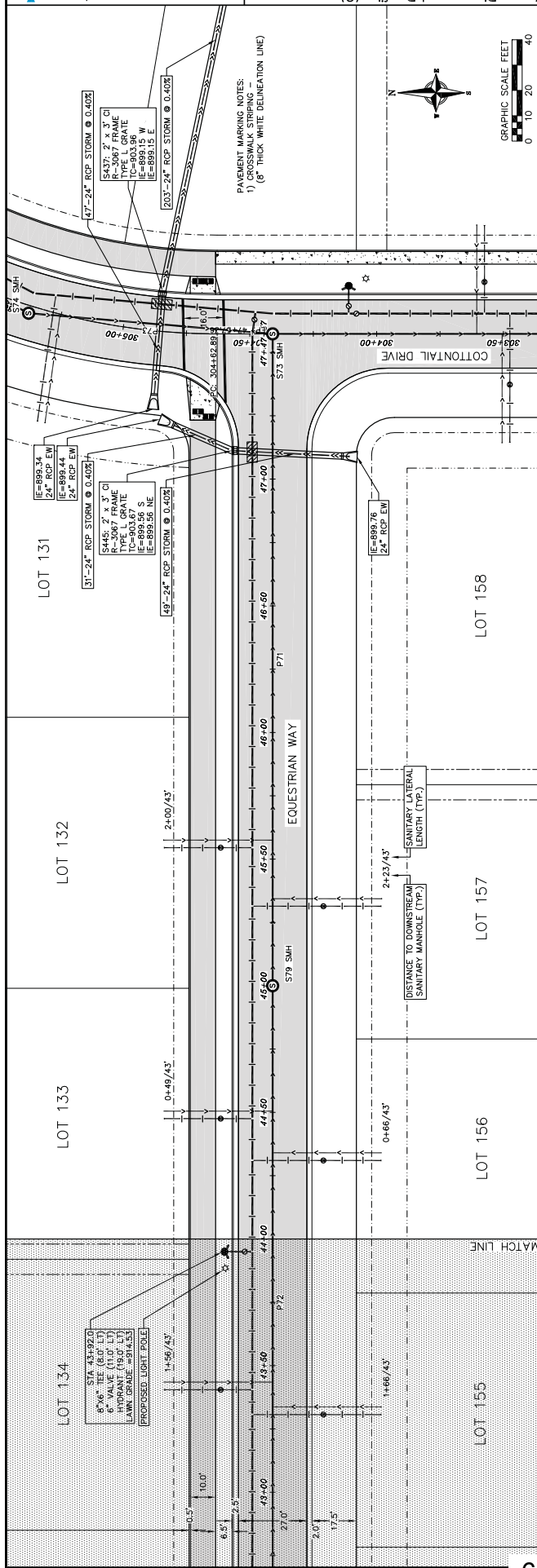
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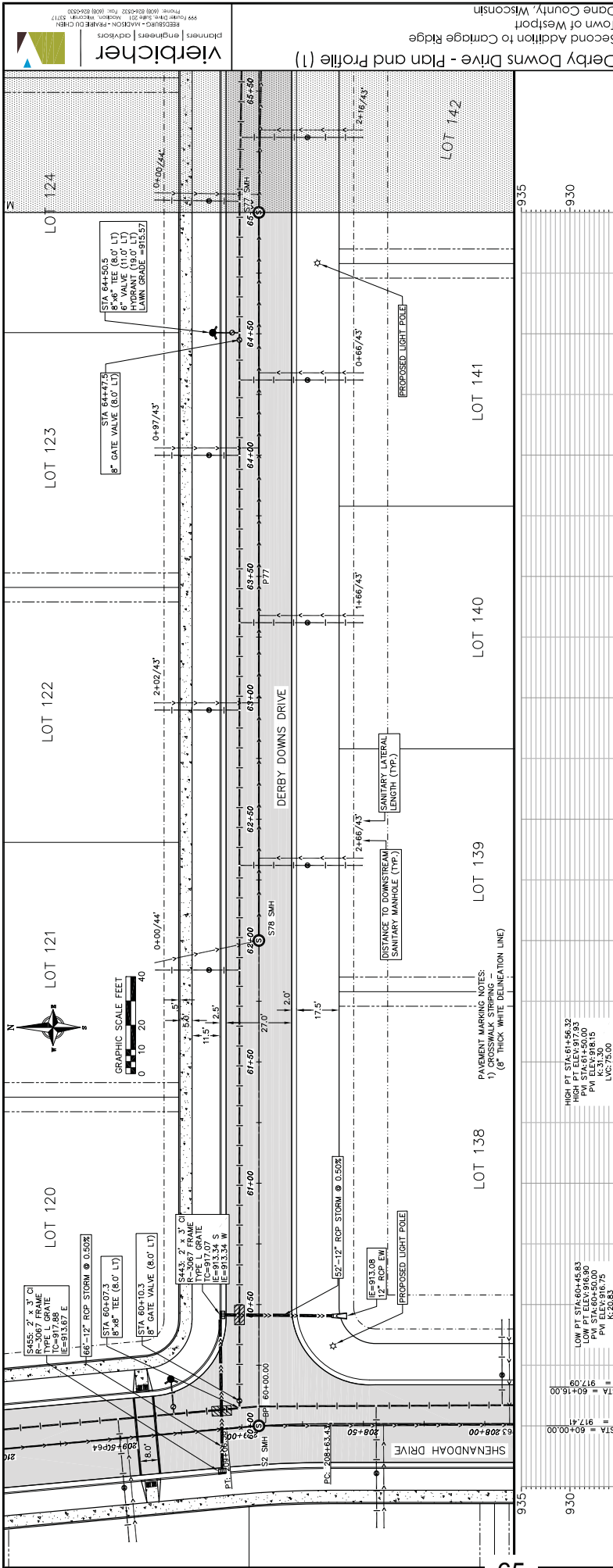
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Equestrian Way - Plan and Profile (1)
Second Addition to Carriage Ridge
Town of Westport
Dane County, Wisconsin

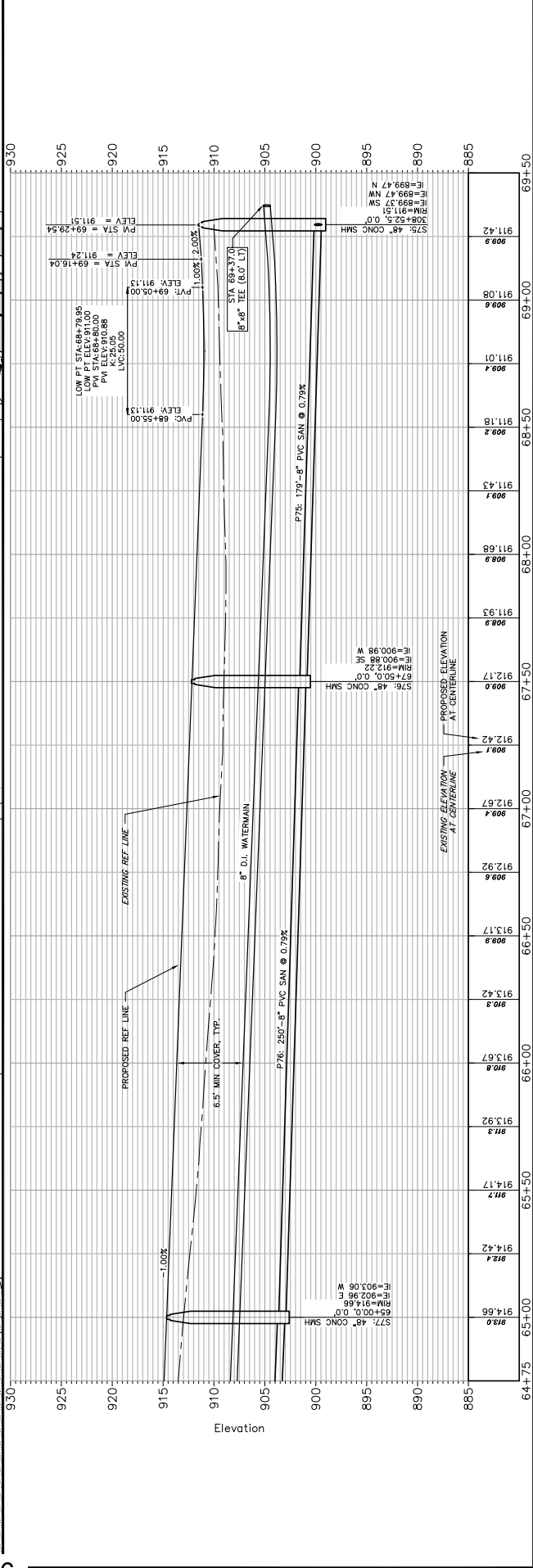
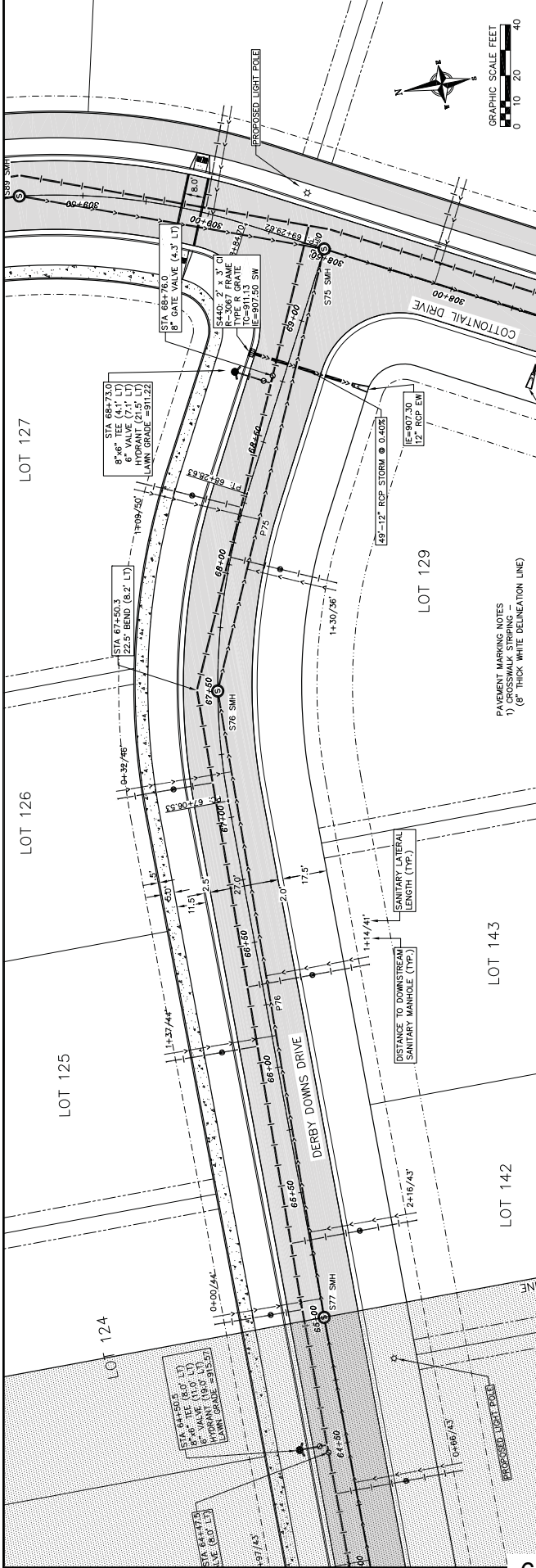
planners engineers architects
vrieblicher
1500 North Main Street, Suite 200
Westport, Wisconsin 53187
Phone: (608) 826-2222 Fax: (608) 826-2222



[illegible]



NO.	DATE	REVISIONS
1	02/12/2015	ISSUED FOR PERMIT
2	02/12/2015	DESIGNER
3	02/12/2015	CHECKED
4	02/12/2015	IN CHARGE
5	02/12/2015	PROJECT NO.
6	02/12/2015	PROJECT NO.
7	02/12/2015	PROJECT NO.
8	02/12/2015	PROJECT NO.
9	02/12/2015	PROJECT NO.
10	02/12/2015	PROJECT NO.
11	02/12/2015	PROJECT NO.
12	02/12/2015	PROJECT NO.
13	02/12/2015	PROJECT NO.
14	02/12/2015	PROJECT NO.
15	02/12/2015	PROJECT NO.
16	02/12/2015	PROJECT NO.
17	02/12/2015	PROJECT NO.
18	02/12/2015	PROJECT NO.
19	02/12/2015	PROJECT NO.
20	02/12/2015	PROJECT NO.



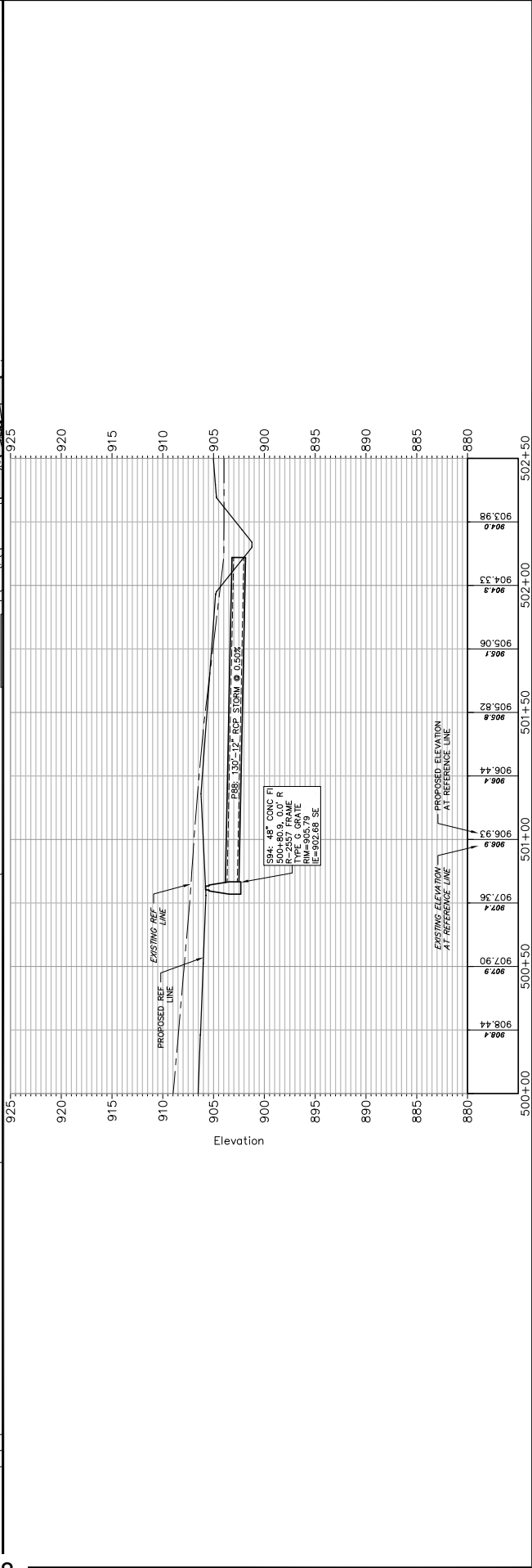
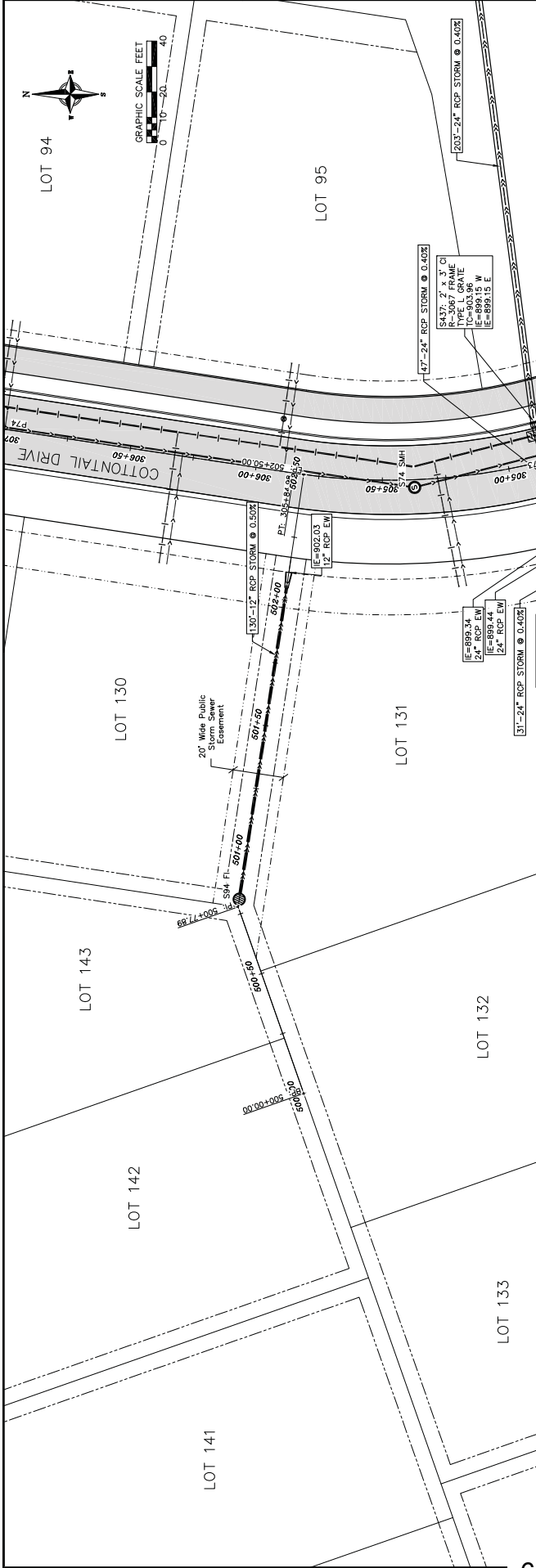
ITEM #3.

PROJECT NO.	140001	
SHEET	19	
DATE	04/13/2015	
DESIGNED BY		
CHECKED BY		
IN CHARGE		
SCALE	AS SHOWN	
NO.	DATE	REVISIONS
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veribicher
planners | engineers | drafters
11500 W. 100th Ave., Suite 101, Golden, CO 80601
Phone: 303.440.8200 Fax: 303.440.8205

Easement (Storm Sewer - North) - Plan & Profile
Second Addition to Carriage Ridge
Town of Westport
Dane County, Wisconsin

REVISIONS		NO.	DATE	REMARKS
SCALE		AS SHOWN		
DATE		04/13/2015		
DRAWN BY		VERIBICHER		
CHECKED BY		VERIBICHER		
PROJECT NO.		140001		
SHEET		20 of 27		
DWG. NO.				



EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE TOWN OF WESTPORT EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wisconsin.gov/topic/water/technicalstandards/technicalstandards.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERMETER SILT FENCE, INLET PROTECTION, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. THE INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR TOWN. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT MAY BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 7' CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISCONSIN TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. EXISTING DISTURBED GROUND: ANY GRASS OR BUILT PILES WHICH WILL REMAIN IN EXPOSURE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL BE DESIGNED TO HOLD WATER FOR A MINIMUM OF 24 HOURS. WATER SHALL BE DISCHARGED TO A SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. PUMPERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
11. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE TOWN HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
12. USE DETENTION BASINS AS SEDIMENT BASINS DURING CONSTRUCTION (DO NOT USE INFILTRATION AREAS). AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.
13. RESTORATION (SEED, FERTILIZER AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE BASIN DETAIL SHEET.
14. TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
15. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
16. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDD AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
17. EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1. EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
18. SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
20. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
21. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
22. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
23. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
24. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
25. THE TOWN, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
26. DEEP TILL ALL PERVIOUS AREAS COMPACTED DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE, INLET PROTECTION, AND TRACKING PAD
2. STRIP TOPSOIL
3. GRADE STREET & LOTS TO SUBGRADE (PER PLAN).
4. INSTALL SILT FENCE AROUND TOPSOIL STOCKPILE.
5. CONSTRUCT UNDERGROUND UTILITIES.
6. INSTALL INLET PROTECTION IN NEW STORM SEWER.
7. DEEP TILL PERVIOUS AREAS COMPACTED DURING CONSTRUCTION
8. RESTORE LOT AREAS - TOPSOIL, TEMPORARY SEED, FERTILIZER, AND MULCH.
9. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, SIDEWALK, AND ASPHALTIC PAVEMENT).
10. RESTORE TERRACES - TOPSOIL, PERMANENT SEED, AND FERTILIZER.
11. REMOVE SILT FENCE, SILT SOCKS, AND INLET PROTECTION AFTER DISTURBED AREAS ARE RESTORED.

SEEDING RATES:

- TEMPORARY:
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
 2. USE WINTER RYE AT 3.0 LB./1,000 S.F. FOR FALL PLANTINGS.
 3. USE WINTER RYE AT 3.0 LB./1,000 S.F. FOR FALL PLANTINGS AFTER SEPTEMBER 15.

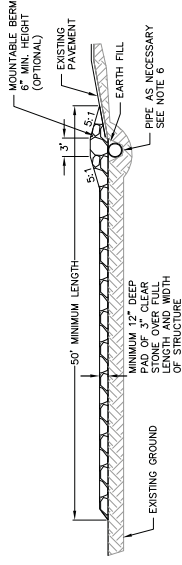
- PERMANENT:
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

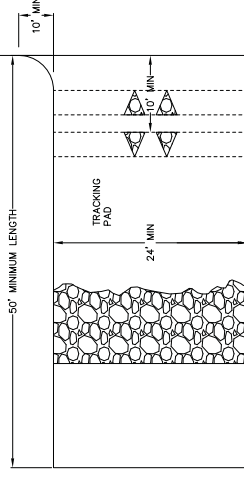
- TEMPORARY AND PERMANENT:
- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

- TEMPORARY AND PERMANENT:
- USE 2 INCHES OF MULCH, CONVERT PER SECTION 607.72 S.F. FOR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



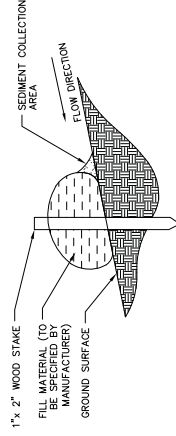
PROFILE VIEW



PLAN VIEW

1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'.
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WSDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE Piped THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND THE PIPE IS LOCATED AT A LOW SPOT, THE PIPE SHALL BE INSTALLED WITH A 5:1 SLOPE. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1 TRACKING PAD
21 NOT TO SCALE



2 SILT SOCK
21 NOT TO SCALE

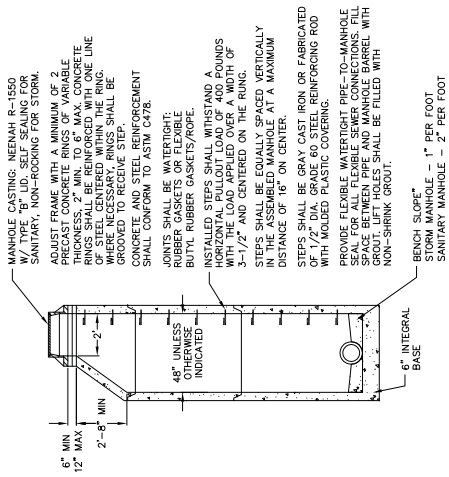
Construction Details
Second Addition to Carriage Ridge
Town of Westport
Dane County, Wisconsin

NO.	DATE	REVISIONS
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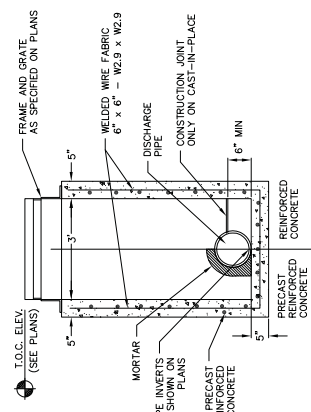
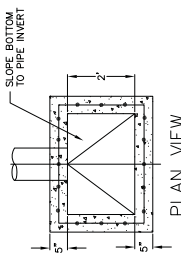


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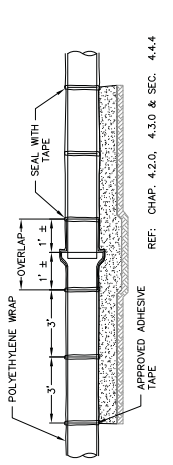
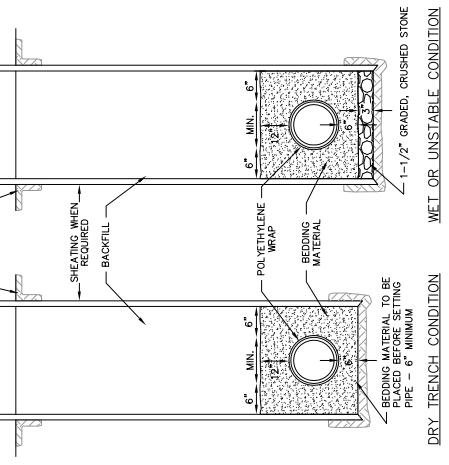
ITEM #3.



1 PRECAST CONCRETE MANHOLE
 NOT TO SCALE
 23



2 CURB INLET - TYPE 3, 2' x 3' BASIN
 NOT TO SCALE
 23

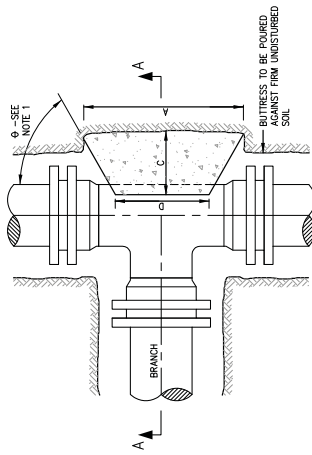


3 STANDARD ENDWALL
 NOT TO SCALE
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4 STANDARD WATERMAIN TRENCH SECTION
 NOT TO SCALE
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NOTES

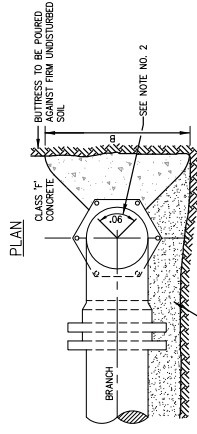
1. DIMENSION "C" SHOULD BE LARGE ENOUGH TO MAKE ANGLE θ EQUAL TO OR LARGER THAN 45°.
2. CONCRETE SHOULD BEAR ON THIS QUADRANT OF PIPE AS A MINIMUM.
3. DIMENSION "Y" SHOULD BE AS LARGE AS POSSIBLE BUT SHOULD NOT INTERFERE WITH MECHANICAL JOINTS.
4. BUTTRESS DIMENSIONS ARE BASED ON A SOIL RESISTANCE OF TWO TONS PER SQ. FT. AND A WATER PRESSURE OF 150 PSI.
5. ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.



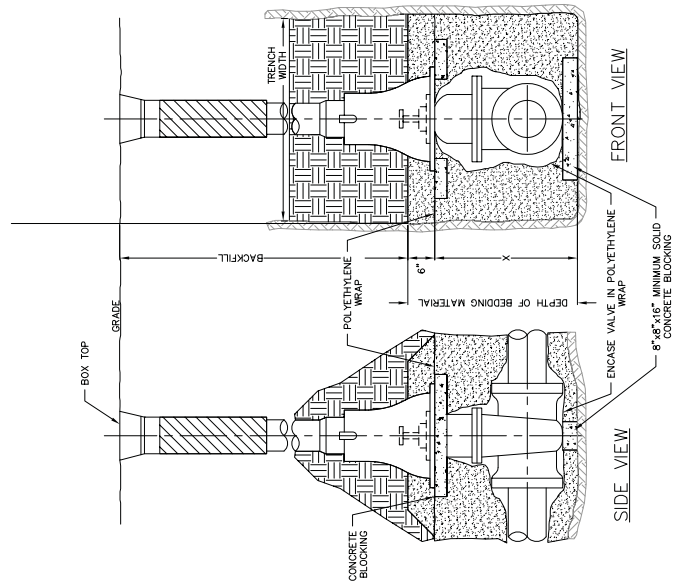
1 INSULATION DETAIL
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BUTTRESS DIMENSIONS				
B.D.	A	B	C	D
6"	1'-3"	1'-0"	1'-0"	1'-0"
8"	1'-6"	1'-4"	1'-0"	1'-0"
12"	2'-3"	2'-0"	1'-0"	1'-0"
16"	3'-2"	2'-6"	1'-0"	1'-0"
20"	4'-0"	3'-0"	1'-0"	1'-0"
24"	5'-3"	3'-4"	1'-0"	1'-0"
30"	6'-3"	4'-3"	1'-0"	1'-0"

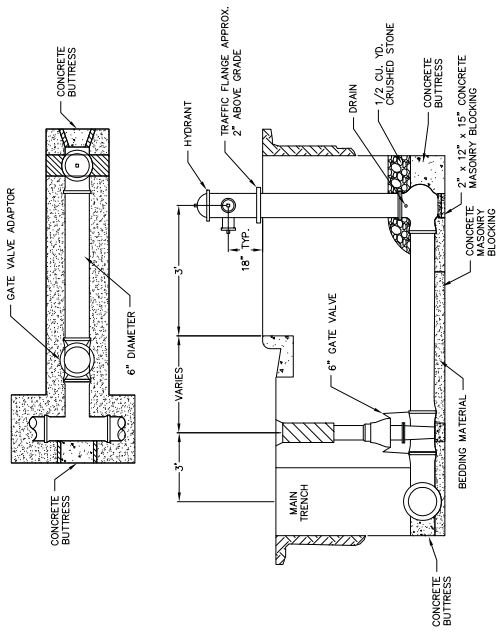
B.D. = BRANCH DIAMETER



2 BUTTRESS FOR TEES
NOT TO SCALE

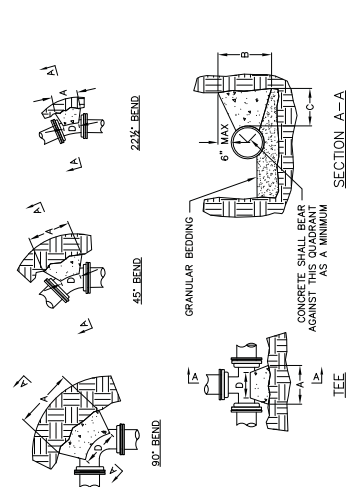


3 STANDARD GATE VALVE BOX SETTING
NOT TO SCALE



4 STANDARD HYDRANT SETTING
NOT TO SCALE

PIPE DIA. INCHES	X=SETTING INCHES
2	6
3	7
4	8
6	12
8	13
12	21
16	30



DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.

DIMENSION "C" SHALL BE AT LEAST 6 INCHES, AND LARGE ENOUGH TO MAKE THE "Q" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE, OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.

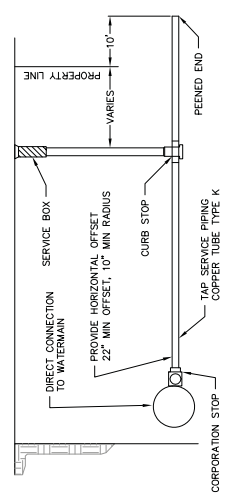
CONCRETE SHALL BE CLASS "CC". SEE SECTION 03301

BUTTRESS DIMENSIONS											
PIPE SIZE	A	B	C	D	E	F	G	H	I	J	K
6"	1'-3"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
8"	1'-6"	1'-4"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
10/12"	2'-0"	1'-4"	1'-4"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
14/16"	2'-6"	1'-10"	1'-8"	2'-6"	2'-4"	2'-4"	1'-10"	1'-10"	1'-10"	1'-10"	1'-10"
18/24"	3'-0"	2'-4"	2'-0"	3'-0"	2'-4"	2'-4"	2'-4"	2'-4"	2'-4"	2'-4"	2'-4"
24/30"	3'-6"	3'-0"	2'-6"	3'-6"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
30/36"	4'-0"	3'-6"	3'-0"	4'-0"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"

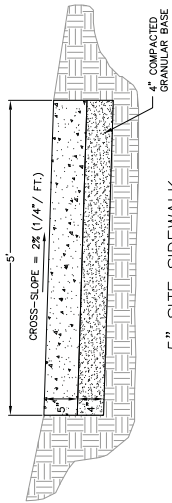
* = FOR TEE THIS WILL BE THE BRANCH PIPE

DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LB/SQ. FT.

5 BUTTRESS FOR BENDS
NOT TO SCALE



6 WATER SERVICE
NOT TO SCALE

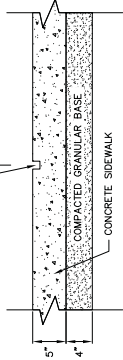


5" SITE SIDEWALK

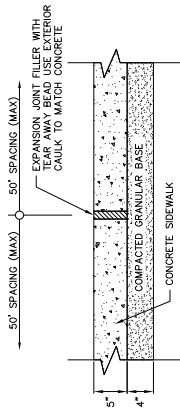
5' JOINT SPACING UNLESS NOTED

—0" SPACING 5'-0" SPACING

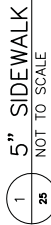
1/4" DEEP BY
1/4" WIDE



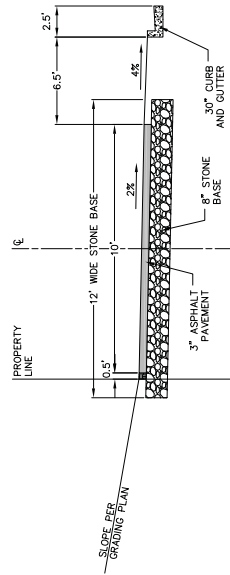
SIDEWALK CONTROL JOINT



SIDEWALK EXPANSION JOINT



NOT TO SCALE



TRAIL TYPICAL SECTION

NOT TO SCALE

DATE		02/11/2015	
DRAWER		CSHA	
CHECKED		RROL	
PROJECT NO.		140091	
SHEET		25	
DRAWING		ITE	

ITEM #3.

Construction Details	Second Addition to Carriage Ridge Town of Westport Dane County, Wisconsin
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Construction Details



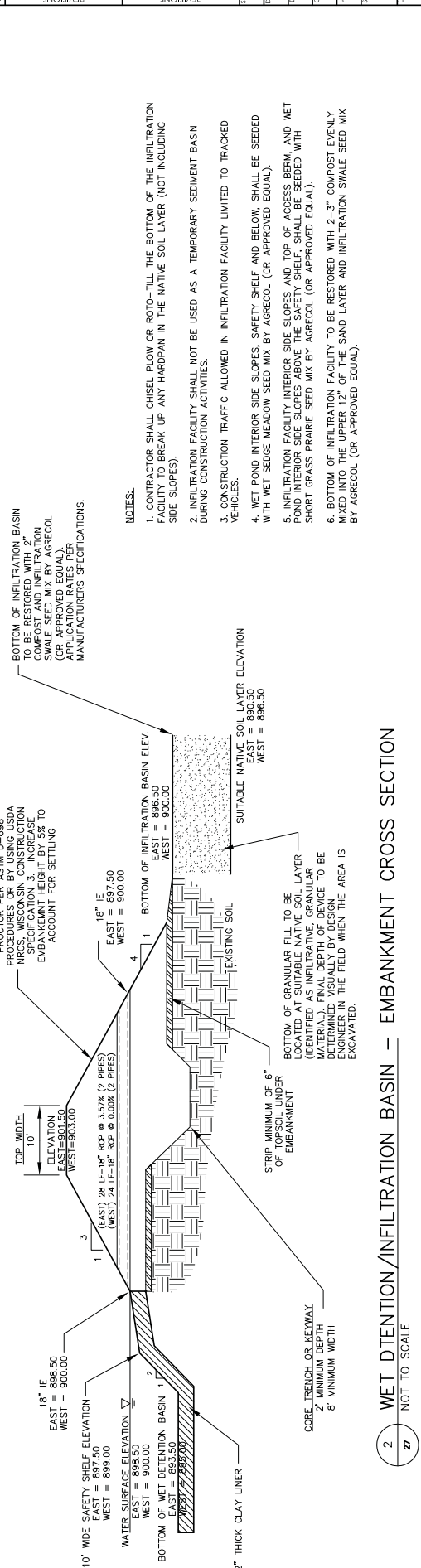
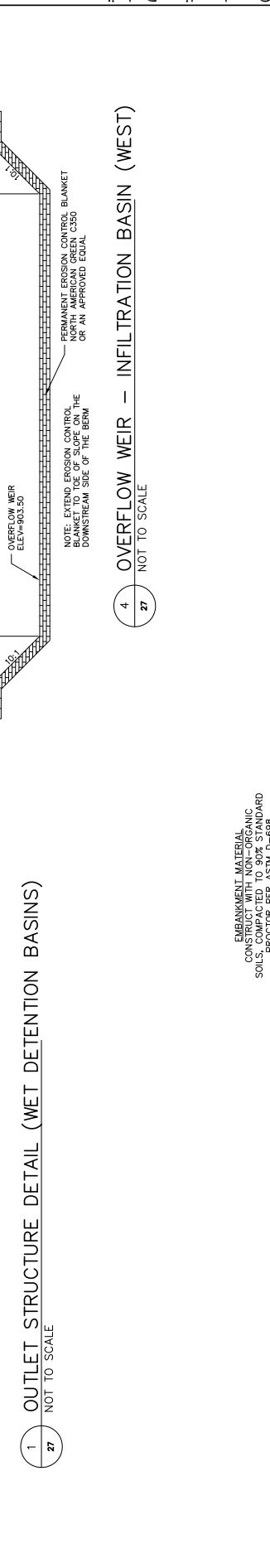
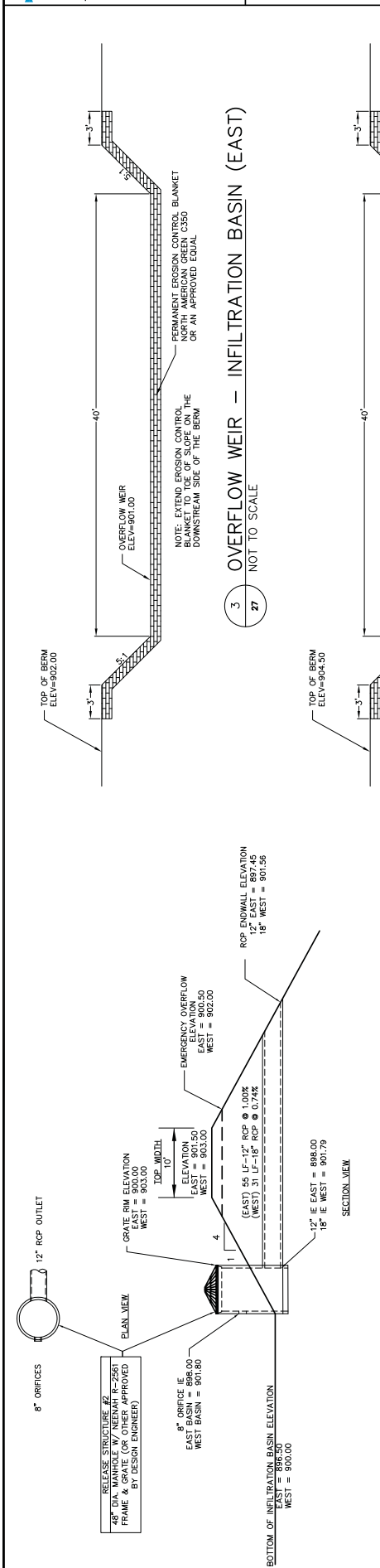
vierbicher
planners | engineers | advisors

REDSBURG - MADISON - PRAIRIE DU CHIEN
100 Viking Drive, Redsburg, Wisconsin 53959
Phone: (608) 524-6468 Fax: (608) 524-9218



DATE		02/13/2015	
DRAWER			
CSHA			
CHECKED			
RXCOL			
PROJECT NO.		1400091	
SHEET		26 OF 27	
DWG. NO.			

NO.	DATE	REVISIONS
1	04/12/2015	DATE
2		DESIGNER
3		CHECKED
4		IN CHARGE
5		PROJECT NO.
6		PROJECT NO.
7		PROJECT NO.
8		PROJECT NO.
9		PROJECT NO.
10		PROJECT NO.
11		PROJECT NO.
12		PROJECT NO.
13		PROJECT NO.
14		PROJECT NO.
15		PROJECT NO.
16		PROJECT NO.
17		PROJECT NO.
18		PROJECT NO.
19		PROJECT NO.
20		PROJECT NO.
21		PROJECT NO.
22		PROJECT NO.
23		PROJECT NO.
24		PROJECT NO.
25		PROJECT NO.
26		PROJECT NO.
27		PROJECT NO.



ITEM #1.

Tracy Meinholz

From: Ed Freer <Ed.Freer@smithgroupjjr.com>
Sent: Friday, November 21, 2014 10:36 AM
To: Kevin
Cc: Tracy Meinholz
Subject: First Choice Dental - Signage resolution
Attachments: First Choice Dental Building Proposed Signage .pdf

Kevin

I met with the architects for First Choice Dental earlier in the week .
The attachment illustrates what they are thinking as an option for the new signage on the building.

The extended planter wall and signage was a bit of a challenge and clunky.

They told me that the three wall mounted signs together represent about 147 SF. [150 SF allowed per premises]

If it makes them happy it works from me.

Give me a call and share your thoughts.
I ask Tracy to put them on the agenda for January.

ed.

Ed Freer
Landscape Arch V
.....

SmithGroupJJR
44 East Mifflin Street, Suite 500
Madison, WI 53703

t 608.251.1177 **d** 608.327.4405
f 734.780.8964 **c** 608.320.4567

Ed.Freer@smithgroupjjr.com

Expect the Unexpected.
Visit www.smithgroupjjr.com

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**VILLAGE OF WAUNAKEE
PLAN COMMISSION
MINUTES**

A regular meeting of the Waunakee Plan Commission was held Monday, January 26, 2015, at the Waunakee Village Hall, 500 W. Main Street, Waunakee, WI.

CALL TO ORDER

Meeting called to order at 7:21 p.m.

ROLL CALL

Members Present: John Laubmeier, Steve Kraus, Gary Herzberg, Brad Zeman.

Members Absent: Pat McGowan, Mark McGuire, Bill Pellino.

Also Present: Kevin Even, Tracy Meinholz, Ed Freer, Gene Post, Scott Kammer, Roberta Baumann.

APPROVAL OF MINUTES

Motion Kraus, second Herzberg, to approve the minutes from the November 24, 2014 meeting. Motion carried.

PUBLIC COMMENT

None

OLD BUSINESS

**DISCUSSION / RECOMMENDATION ON REVISED SIGNAGE FOR FIRST CHOICE DENTAL
AT 1141 SIMON CRESTWAY**

Motion Kraus, second Zeman, to recommend approval of the First Choice Dental wall sign as presented to the Joint Plan Commission. Motion carried.

NEW BUSINESS

**PUBLIC HEARING & DISCUSSION / ACTION ON A REQUEST BY ISAAC SHOWAKI OF
OCTOPI BREWING FOR A CONDITIONAL USE PERMIT FOR OUTDOOR SEATING AT 1311
UNIEK ST.**

Public hearing opened at 7:24 p.m., there were no comments from the public, and the public hearing was closed at 7:25 p.m.

Motion Herzberg, second Zeman, to approve the conditional use permit for Octopi Brewing with the

ITEM #1.

condition that the applicant shall comply with the terms and conditions of Section 17 of the Development Agreement executed with Village that govern the service, sale, and consumption of beer on the premises. Motion carried.

DISCUSSION / ACTION ON PROPOSED SIGNAGE FOR MR. BREWS TAPHOUSE, 300 N. CENTURY AVENUE

Motion Kraus, second Zeman, to approve the signage for Mr. Brews Taphouse subject to staff approval of reduction in size as requested by the property owner. Motion carried.

DISCUSSION / RECOMMENDATION ON A PROPOSED ORDINANCE AMENDMENT REGULATING PORTABLE OUTDOOR STORAGE UNITS (POD'S)

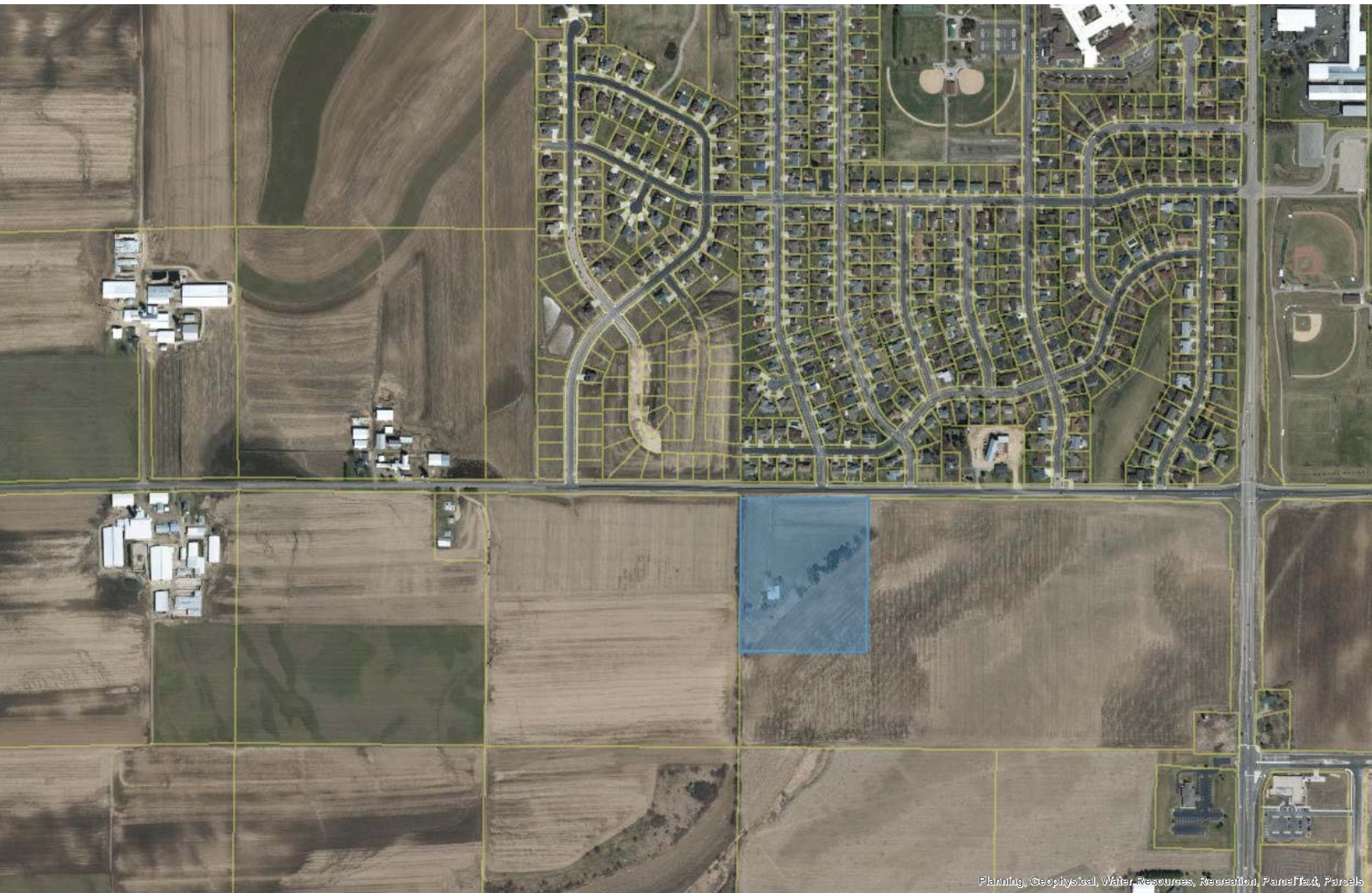
Motion Zeman, second Kraus, to recommend approval of the ordinance regulating portable outdoor storage units to the Village Board and staff is directed to notify local vendor of the ordinance change. Motion carried.

ADJOURN

Motion Herzberg, second Kraus, to adjourn the meeting at 7:30 p.m. Motion carried.

Submitted By: Tracy Meinholz, Recording Secretary Approved: _____

Concordia Church Conceptual Rezone Request



Planning, Geophysical, Water, Resources, Recreation, Parks & Parks

WOODLAND DRIVE

Peaceful Valley Parkway

Tierney Drive

Water Wheel Drive