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**VILLAGE OF WAUNAKEE  
TOWN OF WESTPORT JOINT PLAN COMMISSION  
5387 Mary Lake Road, Westport  
June 9, 2015 - 6:00 PM**

**Agendas may change prior to the commencement of the meeting.  
Please check the posting board at the Village Hall, 500 W. Main Street,  
Waunakee, Wisconsin for the current agenda.**

**AGENDA**

**CALL TO ORDER**

**ROLL CALL: Ken Sipsma, John Van Dinter, Dean Grosskopf, Pat McGowan, Mark McGuire, Brad Zeman**

**MINUTES**

1. May 12, 2015

**PUBLIC COMMENT**

**NEW BUSINESS**

1. Discussion and Recommendation on Design / Site Plan Review for Skipper Buds Office Addition, 5381 Westport Road, Town of Westport

**PUBLIC HEARING & DISCUSSION / ACTION**

1. Public Hearing and Discussion / Action on a Request, by First Presbyterian Church of Waunakee, for a Certified Survey Map (Land Swap) and Rezone for Property Located at 5763 & 5765 County Highway Q, Town of Westport
2. Public Hearing and Discussion / Action on a Request, by Drumlin Ridge Farm Vineyards LLC, 5972 Cherokee Valley Pass, Town of Westport, for Rezone from A1-ex to A-1 with a Request for Conditional Use Permit for the Purpose of Operating a Winery
3. Public Hearing and Discussion / Action on a Request by Joseph Capaul for Detachment and Rezone of Approximately 43.3 acres, Whose Billing Address is 5704 State Highway 113, Village of Waunakee, from A-1 Agricultural/Holding to A-1E Exclusive Agriculture

**ADJOURN**



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**Any person who has a qualifying disability as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format should contact the municipal clerk at (608) 850-8500, 500 West Main Street, Waunakee, Wisconsin, at least twenty-four hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.**

**VILLAGE OF WAUNAKEE BOARD AND PLAN COMMISSION MEETING  
TOWN OF WESTPORT BOARD AND PLAN COMMISSION MEETING**

**Notice is hereby given that the Village or Town Board or Village or Town Plan Commission may attend this meeting. No action will be taken by the Village or Town Board or Village or Town Plan Commission at this meeting.**

***Next scheduled meeting is July 14, 2015.***



Village of Waunakee and Town of Westport  
**Joint Plan Commission**

A regular meeting of the Waunakee/Westport Joint Plan Commission was held Tuesday, May 12, 2015, 6:00 p.m. at the Town of Westport Community Room, 5387 Mary Lake Road, Town of Westport.

**CALL TO ORDER**

The meeting was called to order at 6:06 p.m.

Members Present: Ken Sipsma, Dean Grosskopf, John Van Dinter, Mark McGuire, Pat McGowan,  
 Members Absent: Brad Zeman

Also Present: Tom Wilson, Kevin Even, Tracy Meinholz, Gerald Marsden, Dennis Barman,  
 Marijo Bunbury, Thomas Bunbury, Randy Guttenberg, Randy Kolinske, Bill Mazanett.

**APPROVAL OF MINUTES**

Motion McGowan, second Grosskopf, to approve the minutes from the April 14, 2015 Joint Plan Commission meeting. Motion carried.

**PUBLIC COMMENT**

None

**NEW BUSINESS**

**DEFERRED FROM LAST MEETING, DISCUSSION OF ANNEXATION OF WOODLAND DRIVE SCHOOL PROPERTY**

After discussion and presentation of a draft restriction agreement.

Motion McGowan, second Van Dinter, to recommend approval of the restriction agreement to the Village and Town Board with an amendment to paragraph one (1) to clarify “annexation of any parcels, as they exist today, prior to subdividing”. Motion carried.

**INITIAL CONSULTATION, FIRST PRESBYTERIAN CHURCH CSM & REZONE, CTH Q**

Discussion of a land swap with no plans to expand in the near future. No action necessary. Applicant told to work with staff on formal submittal.

**DISCUSSION / ACTION ON WAUNAKEE BAPTIST CHURCH SIGN, EMERALD GROVE LANE**

Comments for Town Plan Commission consideration are:

- 1) Request to see material samples
- 2) Confirm that it is compatible with the residential area

## ITEM #1.



3) JPC members not comfortable with the LED time/temp feature  
No formal action taken.

### DISCUSSION / ACTION ON DESIGN REVIEW /SITE PLAN REVIEW FOR NEW MAZANET BUILDING ON NORTH BLUEBILL PARK DRIVE

Landscape plan, lighting and signage all missing. Suggestion that the south elevation be broken up with some architectural feature. To be brought back next month with a recommendation from the Town Plan Commission. No formal action taken.

### DISCUSSION / ACTION ON CARRIAGE RIDGE PARK PLAN

Motion Van Dinter, second McGuire, to recommend the Town Board proceed with the proposal of offsite parkland dedication and direct staff to finalize square footage details with the applicant. Motion carried.

### ADJOURN

Motion Grosskopf, second McGowan, to adjourn the meeting at 7:05 p.m. Motion carried.

Submitted By: Tracy Meinholz, Recording Secretary

Approved: \_\_\_\_\_



Village of Waunakee GIS

TextBox1



VILLAGE OF  
WAUNAKEE

500 W. Main St  
Waunakee, WI 53597  
(608) 850-8500

Print Date: 6/4/2015

DISCLAIMER: The Village of Waunakee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives. SCALE: 1" = 339'

**TOWN OF WESTPORT**  
**DESIGN REVIEW APPLICATION**  
**GENERAL INFORMATION**

**Project:** SKIPPERBUD'S OFFICE ADDITION  
**Name:** SKIPPERBUD'S  
**Address:** 5381 WESTPORT RD  
MADISON, WI 53704

**Applicant:**

**Name:** SKIPPERBUD'S  
**Address:** 5381 WESTPORT RD  
MADISON, WI 53704

**Telephone Number:** 608-246-2628

**Representative:**

**Name:** TODD SUCHOMEL  
**Address:** 215 NORTHPOINT DRIVE  
WINTHROP HARBOR, IL 60096

**Telephone Number:** 847-872-0292 x1082  
tsuchomel@skipperbuds.com

**Date Submitted:** 5/18/15

**Review Period Ends:** 6/30/15

**Period Extended To:**       

**Date of Plan Commission meetings:** 6/8/15 + 6/9/15

**Time of meeting:** 7 + 6

I agree that the following information is true to the best of my knowledge, and to abide by Town of Westport Design Review Ordinance Provisions.

**By:** Todd Suchomel  
**Date:** 5/18/15

**TOWN OF WESTPORT  
DESIGN REVIEW APPLICATION  
CHECK LIST**

*For further reference and details refer to the attached Ordinance*

**General**

N/A The proposed development and use have been approved by Dane County Zoning.

✓ All required setbacks are met or exceeded.

✓ Fee Paid.

**Submittal**

✓ Fifteen (15) sets of required plans plus three (3) sets of full size scale drawings, with one (1) being colored.

✓ Required photos.

✓ Building materials samples with colors.

**Site Plan Requirements**

N/A The land area in square feet of the lot or parcel is shown on the plan.

N/A All existing trees over 3" in caliper are shown on the plan.

✓ Existing property lines, street pavements, easements and utilities are shown.

N/A Existing buildings on the site and within 50 feet adjoining the site are shown.

N/A Existing and proposed contours are shown with drainage flow arrows.

N/A Storm drainage, flooding, ponding, or other drainage problems will not occur on the property, on other properties, or on public streets as a result of this development.

N/A All parking, service, and loading areas are paved.

# ITEM #1.

N/A All curbs are paved.

N/A The auto and truck parking quantities are shown.

- ☐ By zoning requirements.
- ☐ By this plan.
- ☐ By maximum demand at any one time.
- ☐ By evening/weekend use.

N/A All of the required information on exterior lighting had been provided.

N/A Exterior lighting shall be established, directed, and maintained so as not to be cast directly on occupied structures or adjacent properties or of an intensity or colors disturbing to adjacent properties or users of public rights of way. If these standards are not met in the opinion of the Plan Commission, the lighting must be immediately changed or removed at the owner's expense as may be ordered by the Commission or Town Board.

## Landscape Plan Requirements

N/A Existing trees (3" or more in size) been preserved to the extent practicable.

N/A There is screening of parking lots.

N/A There is decorative landscape treatment at the perimeter of the site/lot.

N/A Storage areas, refuse containers, detached equipment, (e.g. transformers) and structures shown are screened from the common view of adjoining properties and public rights-of-way.

N/A Existing and proposed lawn areas are shown.

N/A Detailed tree and shrub planting list and specifications are shown on plan, including at least one shade tree of 3" or more caliper or a four foot minimum conifer tree per 9,000 square feet of lot area.

N/A The landscape planting will be of sufficient height and density within five years or less to provide buffering to adjacent properties.

N/A All ground mounted identification/advertising signs are landscaped.

N/A All lawns and plantings will be in place and maintained attractive and healthy for the duration of the use of the development.

**Building Floor Plan Requirements**

- ☒ The gross area of the floor is shown on the plan in square feet.
- ☒ The respective component floor use areas are designated and shown in square feet.

**Exterior Building Elevations and Roof Plan Requirements**

- ☒ The requirements of the Ordinance have been fulfilled.
- N/A All rooftop equipment, etc., are covered and screened as an integral part of the design.
- ☒ All exterior roof and facade material have been designated on the plans.
- ☒ Existing buildings to remain have been shown and the exterior materials have been designated.
- N/A Proposed wall mounted signs have been shown on the building elevation plans.

**Detailed Sign Plan Requirements**

- N/A The design, size, material, color, and lighting of all proposed signs are included. Signs may not be changed or added to the building or site without another design review and approval by the Plan Commission except for changes to approved signs where the lettered message or logo are the only change while color, size of the sign, letters or logo, and materials remain unchanged.

# ITEM #1.

## Design Standards

✓ The Design Standards of Ordinance are met.

**Design Standards** means the standards that proposed development must meet. Design standards shall be in accordance with all applicable Town ordinances, including but not limited to driveway and culvert requirements. Design standards include the following:

- a. Land forms and landscape shall be preserved in their natural state, insofar as practicable, by minimizing soil and tree removal that is not essential to project development and by retaining grades and contours in keeping with the general appearance of neighboring developed areas.
- b. Building masses and long, straight building fronts and sides that are visually accessible may be broken up and made more variegated with staggerings and offsets, and with landscaping or surficial features. The front facade and street side facades shall be of brick, stone, architectural metal or wood and/or glass including curtain walls. Unfaced concrete block, structural concrete, prefabricated metal siding and the like are discouraged for such facade areas.
- c. Within residential development, parking areas that are located in front or street side yards shall have landscape screening and/or screening by fencing having decorative character to soften views of parked vehicles, and shall have decorative landscape treatment at the perimeter of the lot, and, for multi-family residential lots containing five (5) or more parking spaces, island areas within the lot to provide break-up of the expanse of paving.
- d. Rooftop mechanical equipment, communication dishes and signal receiving antennas that are readily visible when viewed from ground level of adjacent properties or from major public ways shall be softened by screening or covered in a manner that forms an integral part of the building design.
- e. External garbage or refuse containers shall be screened from common view by walls, beams or effective landscaping, or combinations thereof.
- f. Each development shall provide landscaping, at the time of development of sufficient height and density to accomplish buffering to adjacent properties within five (5) years.
- g. Each development shall be so planned and constructed that all surface drainage flows from structures and neighboring properties and follows natural drainage patterns.
- h. Outside storage of materials, fuel, scrap, inoperative vehicles and similar objects in places that are readily visible from public rights-of-way or neighboring properties shall be prohibited.
- i. Exterior lighting, when used, shall be established, directed and maintained so as not to be cast directly on occupied structures or adjacent properties or be lighted in intensity or colors seriously disturbing to adjacent properties.
- j. Each development shall allow for proper ingress and egress from roads to site. Internal traffic safety shall be provided by adequate driveway widths, separations between drives, access points, visual clearances and queuing requirements.

## Submittal Requirements

✓ The submittal requirements of the Ordinance as follows are met.

- a. All exhibits required for the permanent file (noted in the following paragraphs) must be submitted reduced in size to 8-1/2" x 14". However, larger mounting boards, material samples, or other exhibits not meeting this criteria may be used for Commission presentation.
- b. Twelve (12) black or blue-line prints (one of which shall be colored) of the following required drawings shall be submitted to the Town Administrator for presentation to the Commission:
  - 1. A scaled floor plan with rooms/uses labeled.
  - 2. A complete set of building plans.
  - 3. An adequate number of color photographs (Polaroid-type) required to illustrate the site, including buildings and other existing features. Photos may also be used to illustrate installations on other sites that are similar to the applicant's proposal.
- c. A site plan for review is required, containing the following information:
  - 1. Scale and north arrow.
  - 2. Location of site and address if available.
  - 3. All property and street pavement lines.
  - 4. Existing and proposed contours.
  - 5. Building heights.
  - 6. Gross area of building stated in square feet.
  - 7. Net area utilized or devoted to patrons.
  - 8. Total square feet of office area.
  - 9. Density (building and occupants).
  - 10. Setbacks for side yards, front and back yards, and setback from high water mark, if appropriate.
  - 11. Gross area of parcel(s) stated in square feet.
  - 12. If parking is involved, show calculations for determining the required number of off-street parking spaces as required by applicable zoning ordinance. Give the number of spaces actually proposed. Give the maximum number of employees, customers, and office vehicles that would be at the facility at any one time.
  - 13. Proposed ingress and egress to the site, including on-site parking area(s), parking stalls, and adjacent streets. Delineate traffic flow with directional arrows and indicate the location of direction signs or other motorist's aides (if any).
  - 14. Calculations for determining the number of trees to be placed within the proposed parking area must be shown, as well as the designation of required buffer screens (if any) between the parking area and adjacent property.
  - 15. Location of all isolated trees having a diameter of six (6) inches or more. (Tree masses may be shown with a diagrammatic outline and a written inventory of individual trees included.)
  - 16. Existing landscaping that will be retained and proposed landscaping shall be differentiated and shown on the plan. The type, size, number, and spacing of all plantings must be illustrated.
  - 17. Location of all existing (to remain) and proposed buildings on the site and all

## ITEM #1.

buildings within fifty (50) feet of the site's boundaries.

18. Location of all existing (to remain) and proposed lighting standards, complete with routing of electrical supply and isofootcandle diagram.

19. Zoning classification for the entire site.

d. **Elevations.** Complete elevations of all proposed construction and related elevations of existing structures (if any) are required containing the following information.

1. Scale.
2. All signs to be mounted on the elevations.
3. Designation of the kind, color, and texture of all primary materials to be used.

e. **Section Profiles.** Two (2) section profiles through the site are required containing the following information.

1. Scale.
2. Buildings.
3. Lighting fixtures and standards.
4. Signs.

f. **Material Samples.** Material samples are required for all major materials.

g. **Lighting Standard Drawing.** A scaled drawing of the proposed lighting standard(s) is required and should contain the following information.

- a. All size specifications.
- b. Information on lighting intensity (number of watts, isofootcandle diagram, etc.)
- c. Materials, colors.
- d. Ground or wall anchorage details.

**TOWN OF WESTPORT  
DESIGN REVIEW APPLICATION  
APPROVAL/REJECTION FORM**

**Date of Approval:** \_\_\_\_\_

**Date of Rejection:** \_\_\_\_\_

**Reason for Rejection:** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Approval Conditions:** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Signed:**

\_\_\_\_\_  
Town Administrator

ITEM #1.

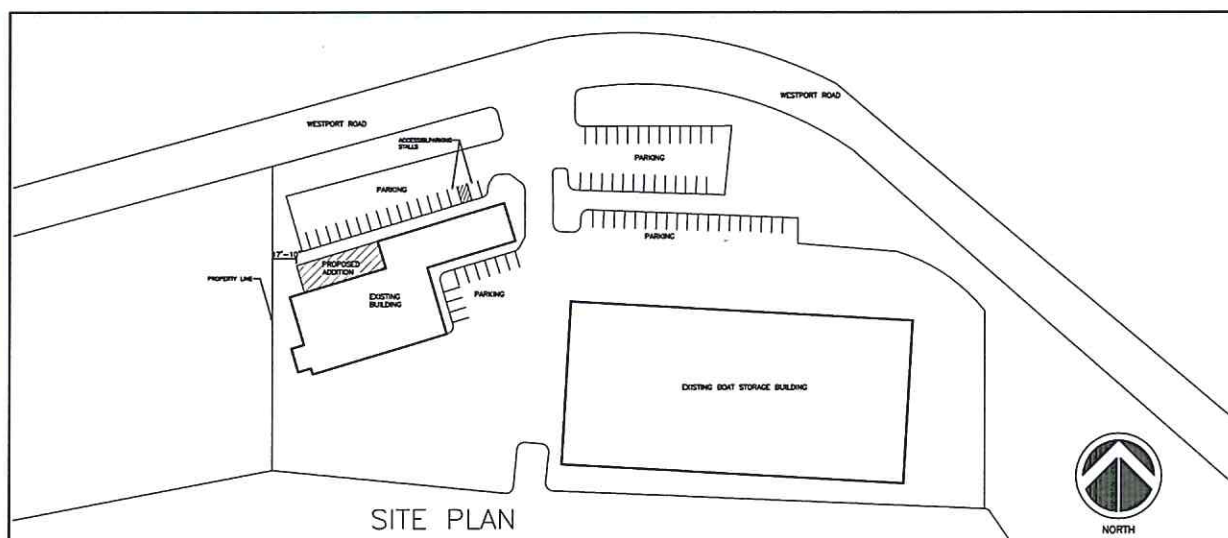


ITEM #1.





OWNER  
SKIPPER MARINE DEVELOPMENT  
215 NORTH POINT DRIVE  
WINTHROP HARBOR, IL 60096

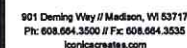


## SITE PLAN

# SKIPPER MARINE

## MADISON, WI

<b>Building Design</b>		2009 International Existing Building Code, with WI amendments	2009 International Building Code, with WI amendments
1. Building Use and Occupancy:	Separated Occupancy: Business (8) Factory moderate hazard (F-1)		
2. Construction Classification:	Type VB		
3. Area and Stories per Table 503:	Business - 9,000 gsf and 2 stories; F-1 - 8,500 gsf and 1 story		
4. Occupancy Separation:	Existing 1 hour wall. Not required for occupancy separation per Table 508.4, but used to separate sprinklered/non-sprinklered areas, and to separate 2 story/1-story areas		
5. Fire Protection System:	Sprinklered In Factory portion only. NFPA 13		
6. Area per Floor Adjustments:	Using frontage increase (506.2) with the most restrictive F-1 classification. 8,500sf allowed x .703 frontage increase = 14,475 gsf allowed		
7. Mezzanine:	Can be enclosed if occupancy is 10 or less (505.4 exception1)		
8. Separated Areas:	Business 1st floor: 4,625 gsf F-1 1st floor: 4,796 gsf F-1 mezzanine: 882 Total: 1st floor 9,421 gsf (mezzanine does not contribute)	Business 2nd floor: 5,816 gsf    Total: 2nd floor 5,816	
9. Fire Areas:	Existing 1 hour rated wall separating occupancy F-1 is not adequate for a required Fire area per 903.2.4 (12,000gpf). Per Table 707.3.9, a 3 hour fire barrier is required at F-1 occupancy, and a 2 hour fire barrier is required at 8 occupancy		
10. Fire Barriers:	Shall be continuous from floor to bottom of roof sheathing (707.5) Door "D" not included in 25% width requirement (707.6 exception 3) Window "A" 25% maximum of width of rated wall (707.6)		
11. Corridor Protection:	Per Table 1018.1, rated corridor is not required if the occupant load is under 30		
12. Corridor Width:	Minimum width is 36" with an occupant load under 50 (1018.2 exception 2)		
13. Addition Area:	1,233 gsf, Business occupancy		
14. Minimum Number of Exits:	2 minimum (Table 1021.1)		
15. Occupant load per code:	Business 1st floor: 47	Business 2nd floor: 59	
(Table 1004.1.1)	F-1 1st floor: 48 + 9 in mezzanine	Total: 163 occupants	
16. Operational Occupant load:	40		
17. Exit Access Travel Distance:	200' In Business, 250' In Factory (Table 1016.1)		
18. Dead end Corridors:	20' (1018.4)		
19. Common Path of Travel:	75' (1014.3)		
20. Corridors:	Not required to be rated if occupant load is under 30 (Table 1018.1)		
21. Toilet Facilities:	Total Occupant Load per code: 163 82 male, 82 female WC - 4 for women required, 5 existing are provided WC - 4 for men required, 3 existing are provided plus 3 urinals LAV - 3 for women required, 4 existing are provided LAV - 3 for men are required, 4 existing are provided DF - 2 required, existing N/A provided SS - 1 required, 1 existing provided		
22. Fire Extinguishers:	Per International fire code - 1 per 75' of travel		

[illegible]

**SKIPPER MARINE**  
215 NORTH POINT DRIVE

## ISSUE DATES:

STATE SUB: 05-11-15
STATE SUB/BID SET: 05-18-15

REVISI DATE:

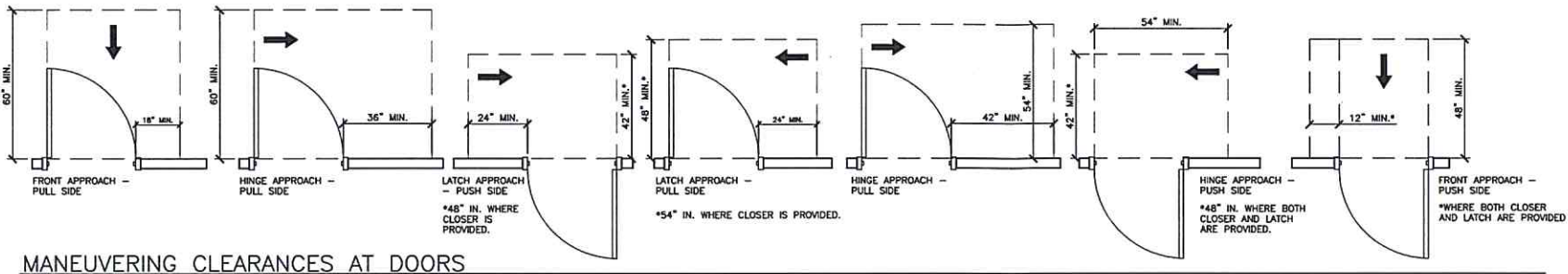
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PROJECT #: 20150280

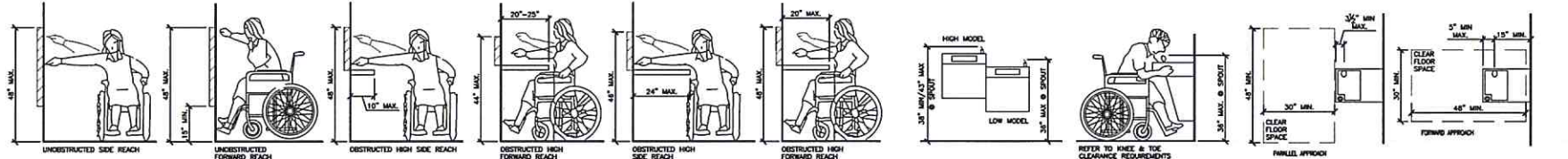
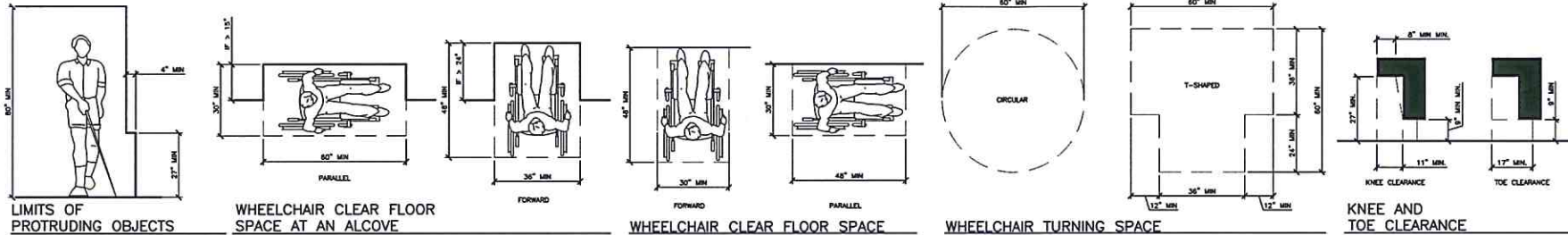
**SHEET NUMBER**

A001

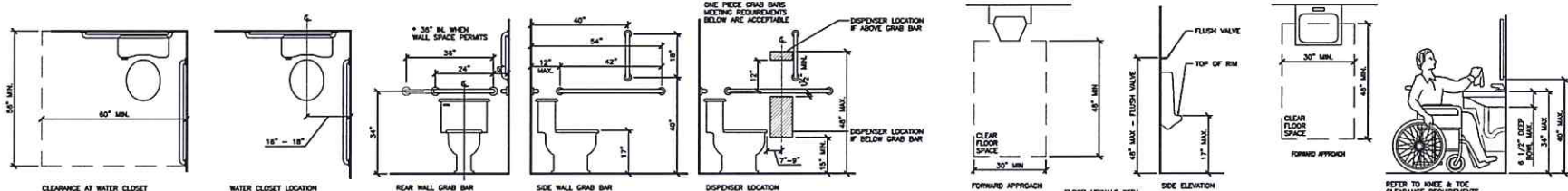
\*2014, Pearson, Inc.



MANEUVERING CLEARANCES AT DOORS



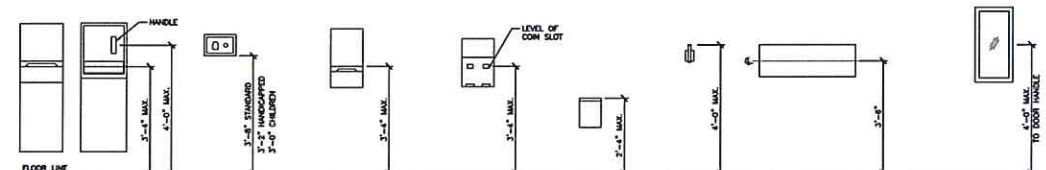
WHEELCHAIR REACH RANGES



WATER CLOSETS

URINALS

LAVATORIES



TOILET ACCESSORIES

MISCELLANEOUS

GENERAL NOTES APPLY TO ALL SHEETS.

SEE CODE DRAWINGS FOR LOCATION OF WALLS OF FIRE-RESISTIVE CONSTRUCTION. ALL WALLS OF FIRE-RESISTIVE CONSTRUCTION SHALL EXTEND TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE.

ARCHITECTURAL FINISH FLOOR ELEVATION 100'-0" EQUALS ACTUAL SITE REFERENCE ELEVATION OF FINISH FLOOR. SEE SITE PLAN.

ALL EXTERIOR DIMENSIONS TO WALL CONSTRUCTION ARE TO FACE OF FOUNDATION, CMU OR SHEATHING TYPICAL UNLESS NOTED OTHERWISE.

ALL INTERIOR DIMENSIONS TO WALL CONSTRUCTION ARE TO FACE OF STUD OR CMU TYPICAL.

DIMENSIONS WITH DOTS ARE TO STRUCTURAL GRID LINES TYPICAL.

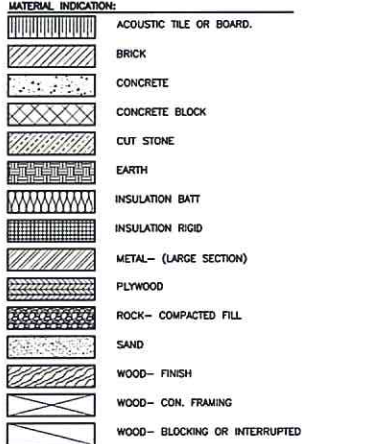
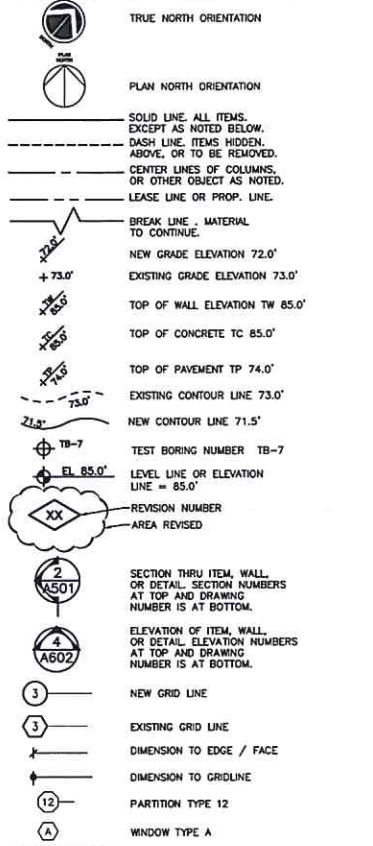
DIMENSIONS FOR DOOR AND WINDOW OPENINGS ARE TO ROUGH OPENING.

HOLLOW METAL DOOR ROUGH OPENINGS ARE INDICATED DOOR WIDTH PLUS 2" FRAME EACH SIDE PLUS 1/2" EACH SIDE.

SEE STRUCTURAL DRAWINGS FOR BRACING OF STEEL FRAMES.

WALL TYPES SHALL BE DESIGNATED ON FLOOR PLANS (XX) - SEE SHEETS A701 FOR WALL TYPES AND GENERAL NOTES.

SYMBOLS LEGEND:



ABBREVIATIONS

U.N.O. UNLESS NOTIFIED OTHERWISE

O.C. ON CENTER

E.C. ELECTRICAL CONTRACTOR

M.S.D.W. METAL STUD DRYWALL CONTRACTOR

E.W.C. EARTHWORK CONTRACTOR

CJ CONSTRUCTION JOINT

CMU CONCRETE MASONRY UNIT

DIA. DIAMETER

EA. EACH

EJ. EXPANSION JOINT

GA. GAUGE

HVAC HEATING, VENTING AND AIR CONDITIONING

N.L.C. NOT IN CONTRACT

SYMBOLS

○ AT

x BY (AS 6' x 8')

⊙ CENTER LINE

⊘ ROUND/DIAMETER

W/ WITH

W/O WITHOUT



901 Derring Way // Madison, WI 53717  
Ph: 608.664.3500 // Fx: 608.664.3536  
iconicacreate.com

**SKIPPER MARINE**  
5381 WESTPORT ROAD  
MIDDLETON, WISCONSIN 53704

**SKIPPER MARINE**  
215 NORTH POINT DRIVE  
WINTHROP HARBOR, ILLINOIS 60086

ISSUE DATES:  
STATE SUB: 05-11-15  
STATE SUB/BID SET: 05-18-15

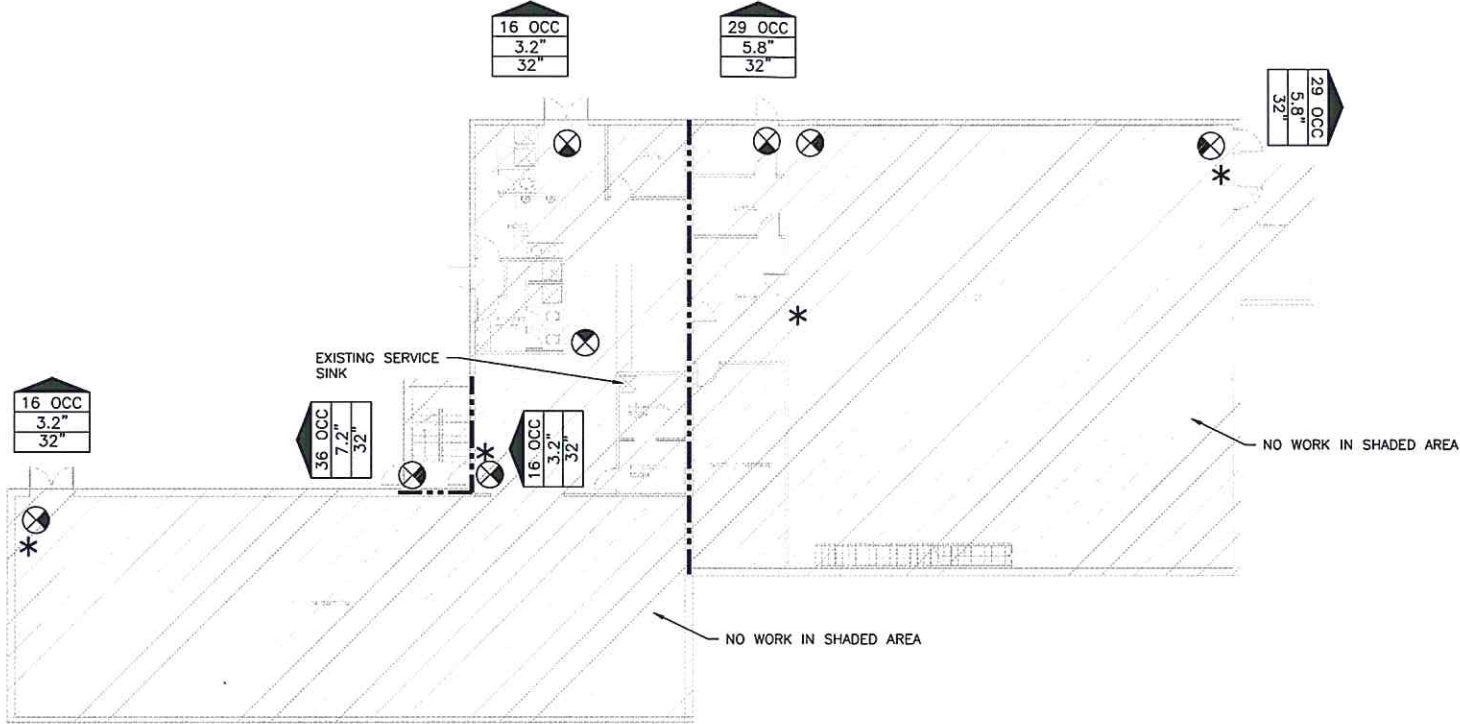
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PROJECT #: 20150280  
SHEET NUMBER

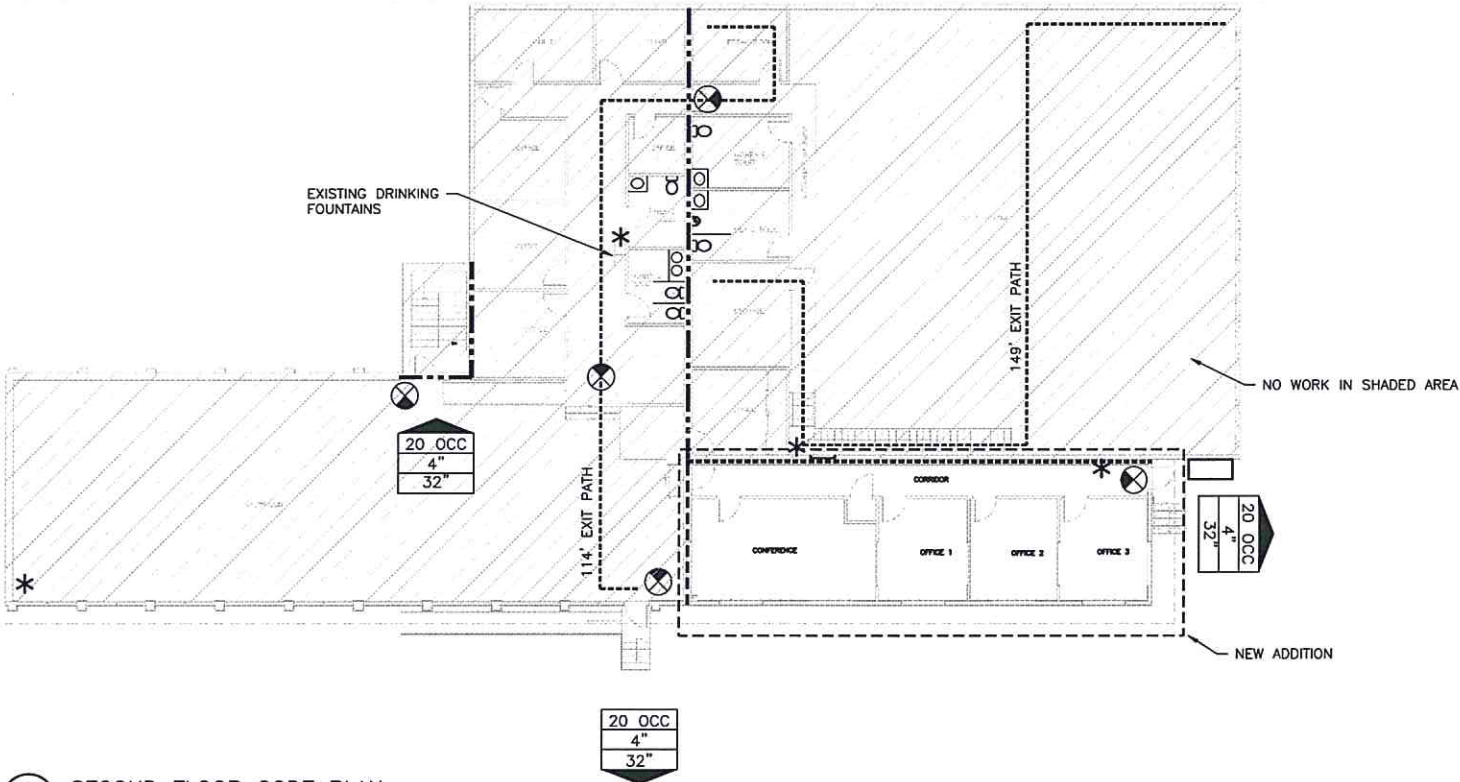
A002

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ITEM #1.



1 FIRST FLOOR CODE PLAN  
A003 SCALE: NTS



2 SECOND FLOOR CODE PLAN  
A003 SCALE: NTS

GENERAL NOTES	
---	1-HR RATED WALL
----	2-HR RATED FIRE BARRIER WALL
.....	3-HR RATED FIRE BARRIER WALL

GENERAL NOTES	
SEE SHEET A001 FOR OVERALL BUILDING CODE STUDY.	

KEY	
198 30" 32"	# OF OCCUPANTS REQUIRED EXIT WIDTH PER 1005.1
30" 32"	PROVIDED EXIT WIDTH
EXIT SIGN	PER EXIT DOOR
* FIRE EXTINGUISHER	
EXISTING BUILDING	



901 Daring Way // Madison, WI 53717  
Ph: 608.664.3500 // Fx: 608.664.3535  
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SKIPPER MARINE

5381 WESTPORT ROAD

MIDDLETON, WISCONSIN 53704

SKIPPER MARINE

215 NORTH POINT DRIVE

WINTHROP HARBOR, ILLINOIS 60096

ISSUE DATES:  
STATE SUB: 05-11-15  
STATE SUB/BID SET: 05-18-15

RF/BI DATE:

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PROJECT #: 20150280  
SHEET NUMBER

A003



SINGLE DOOR  
(FACE DOOR FROM OUTSIDE OR KEYSIDE)

LEFT HAND  
HINGES ON LEFT  
OPENS INWARD

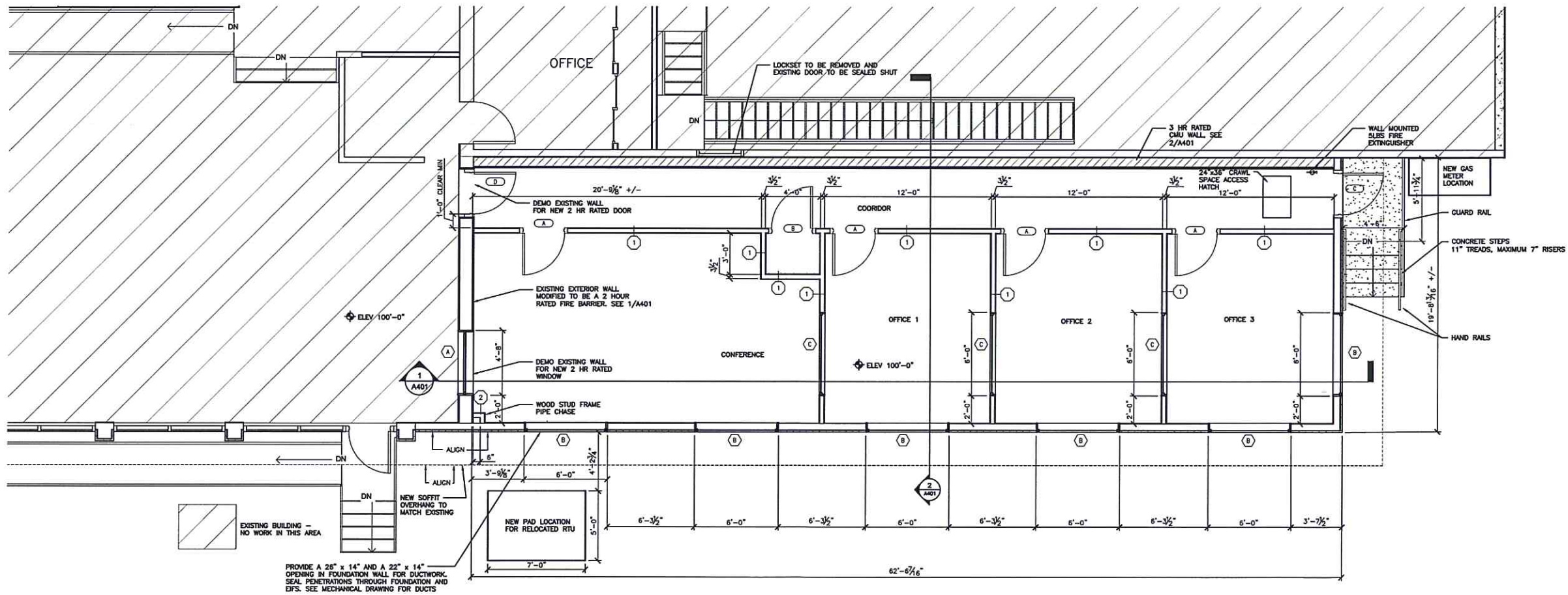
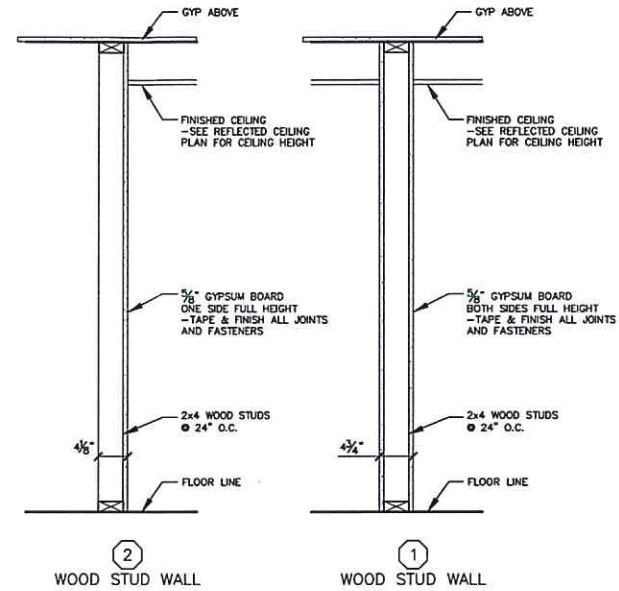
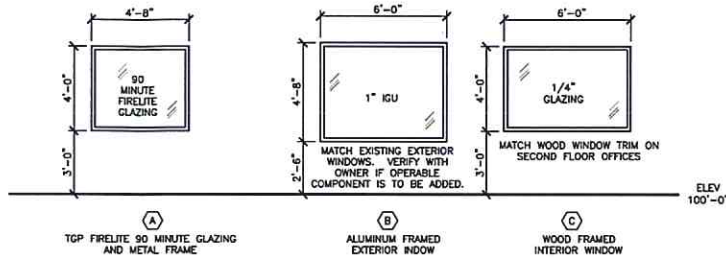
LEFT HAND  
REVERSE  
HINGES ON LEFT  
OPENS OUTWARD

RIGHT HAND  
HINGES ON RIGHT  
OPENS INWARD

RIGHT HAND  
REVERSE  
HINGES ON RIGHT  
OPENS OUTWARD

THIRD FLOOR DOOR SCHEDULE									
DOOR NUMBER	DOOR LOCATION	W	H	HAND/SWING	MAT./SERIES	NOTES	MAT.	ANCHOR TYPE	
A	OFFICE DOOR	3'-0"	7'-0"	RM	WD	1,3	WD	WD	
B	FURNACE ROOM DOOR	3'-0"	7'-0"	LHR	WD	1,3	WD	WD	
C	STEEL EXTERIOR DOOR	3'-0"	7'-0"	LH	ST	2,4	HM	WD	
D	STEEL 120 MINUTE RATED DOOR	3'-0"	7'-0"	LH	ST	5	HM	WD	

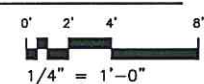
- DOOR SCHEDULE NOTES:
1. MATCH FINISH OF EXISTING SECOND FLOOR OFFICE DOORS - HOLLOW CORE WOOD.
  2. HOLLOW METAL INSULATED - PAINT TO MATCH INTERIOR AND EXTERIOR WALLS.
  3. MATCH DOOR HARDWARE OF SECOND FLOOR OFFICES.
  4. EXIT ONLY LATCH WITH CLOSER, THRESHOLD, DOOR GASKETS AND SWEEP.
  5. PASSAGE LATCH AND CLOSER HARDWARE.



GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF STUD.
2. FLOOR FINISH, WALL FINISH, DOOR TRIM AND CEILINGS TO MATCH EXISTING SECOND FLOOR OFFICES.
3. PLANS ARE FOR DESIGN INTENT ONLY. COORDINATE ALL MATERIAL AND FINISH SELECTIONS WITH OWNER

1 SECOND FLOOR PLAN  
A201 SCALE: 1/4" = 1'-0"



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215 NORTH POINT DRIVE  
WINTHROP HARBOR, ILLINOIS 60086

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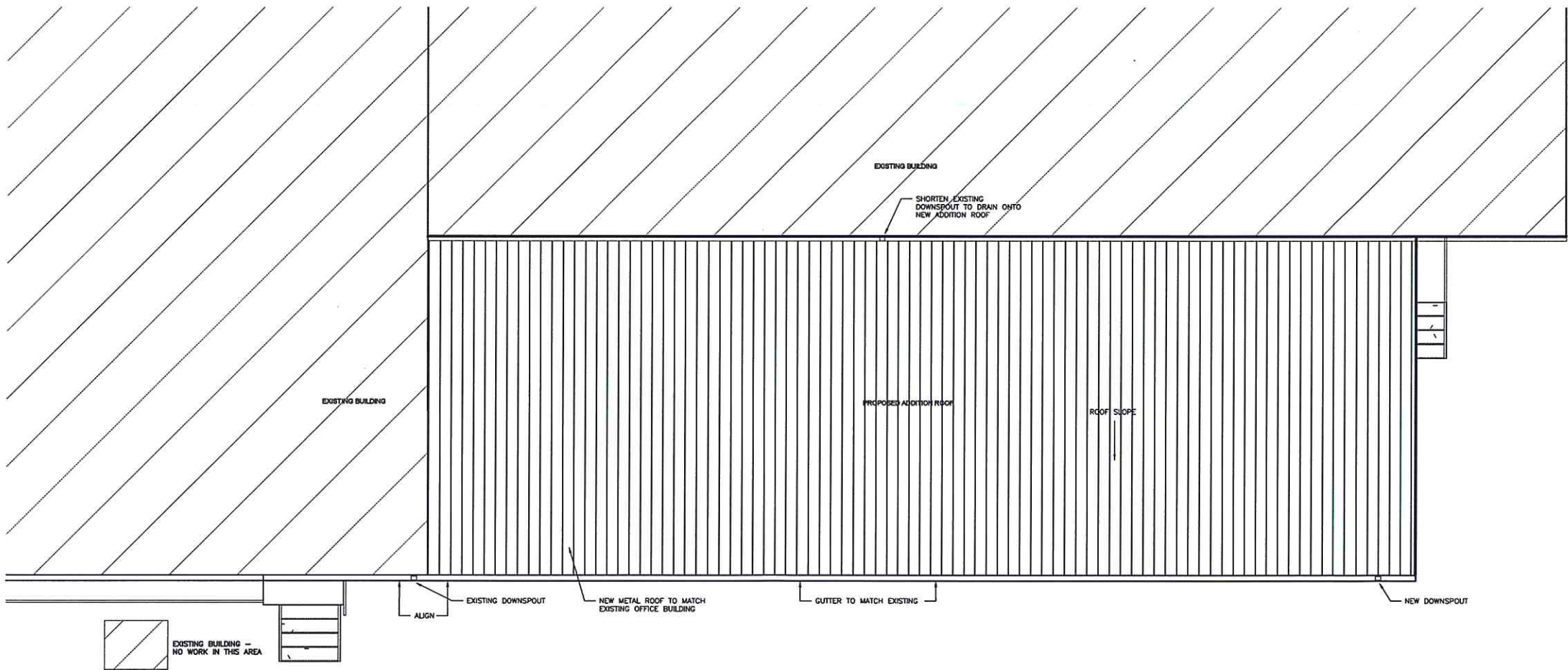
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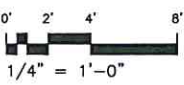
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1 ROOF PLAN  
A202 SCALE: 1/4" = 1'-0"



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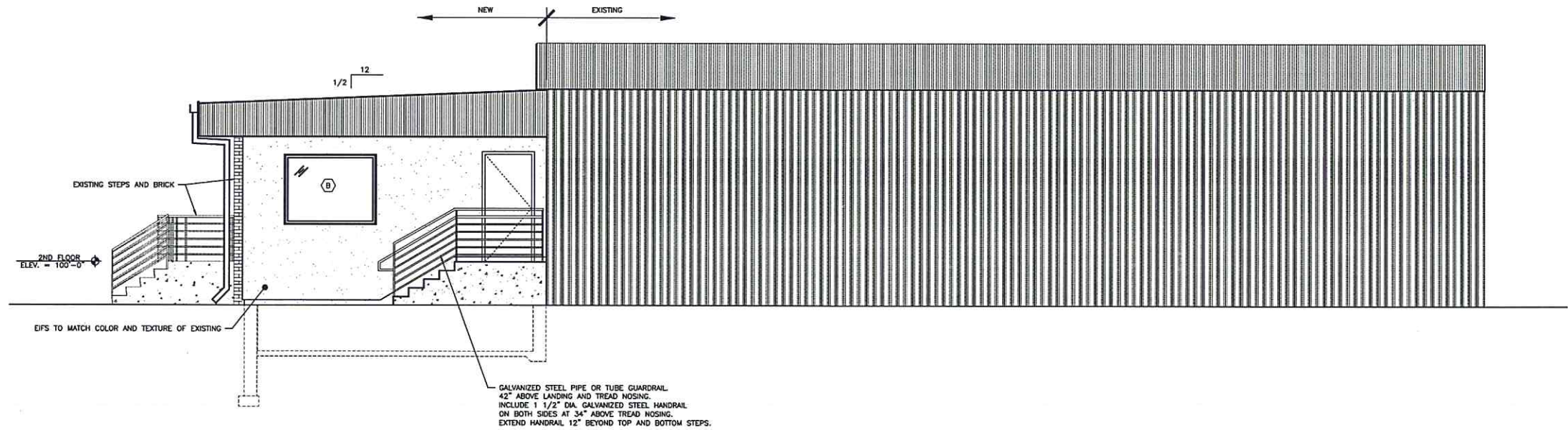
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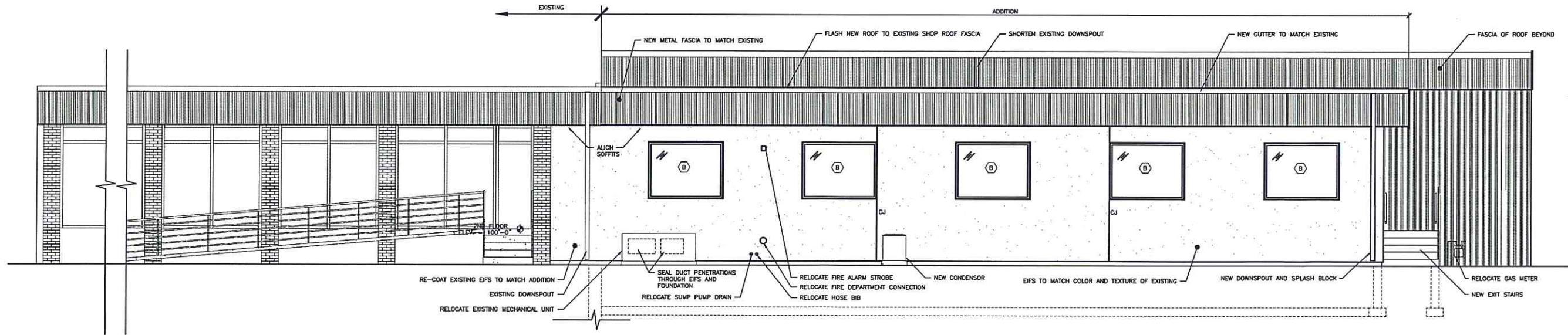
A202

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2 WEST ELEVATION  
 A301 SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION  
 A301 SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. PLANS ARE FOR DESIGN INTENT ONLY. COORDINATE ALL MATERIAL AND FINISH SELECTIONS WITH OWNER



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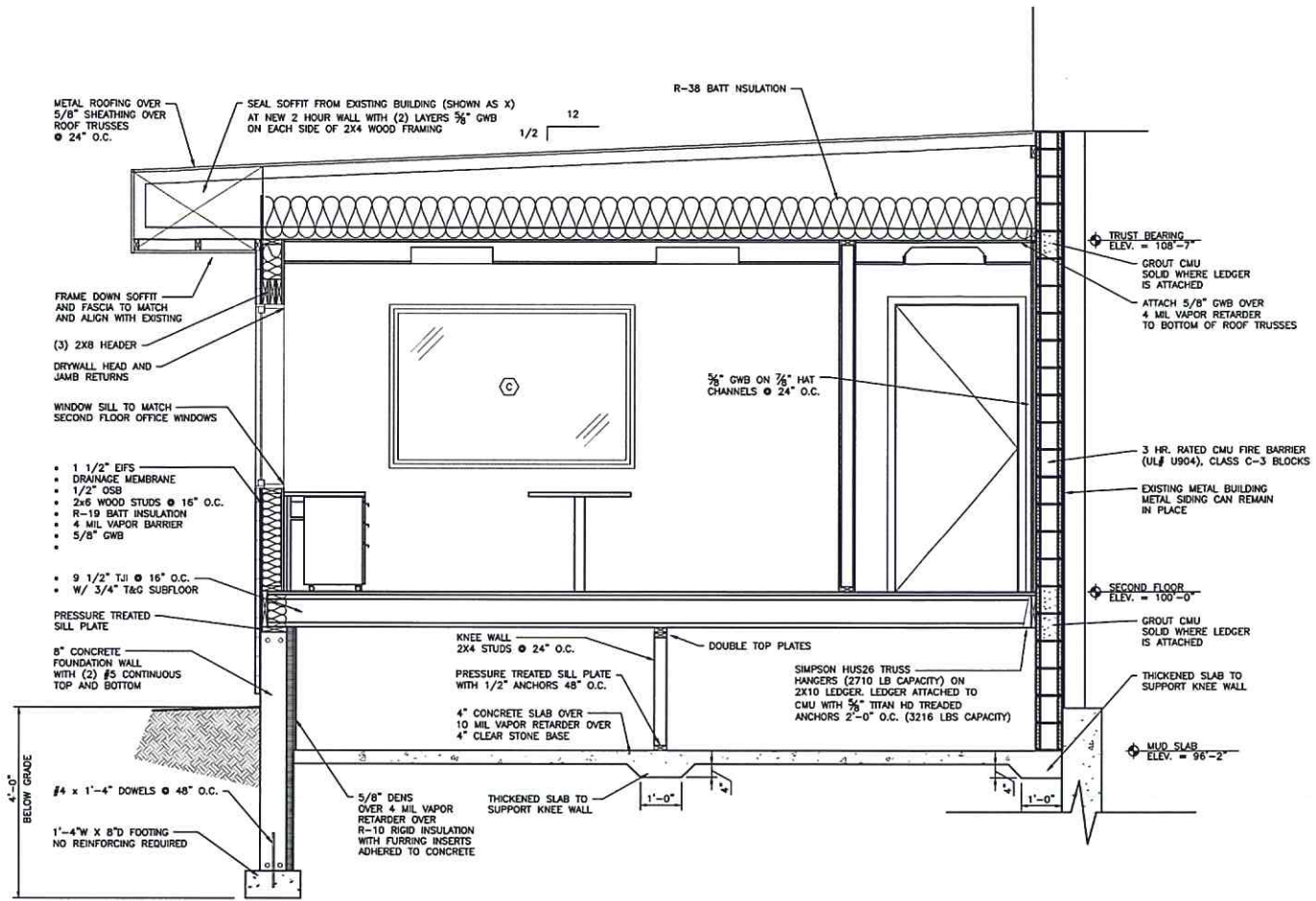
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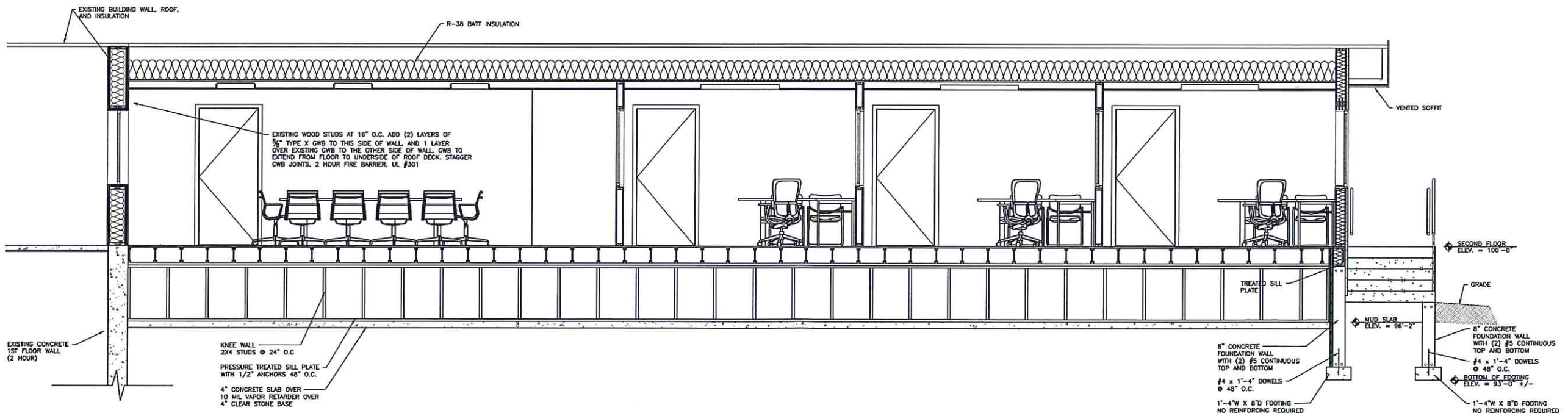
PROJECT #: 20150280  
 SHEET NUMBER

A301

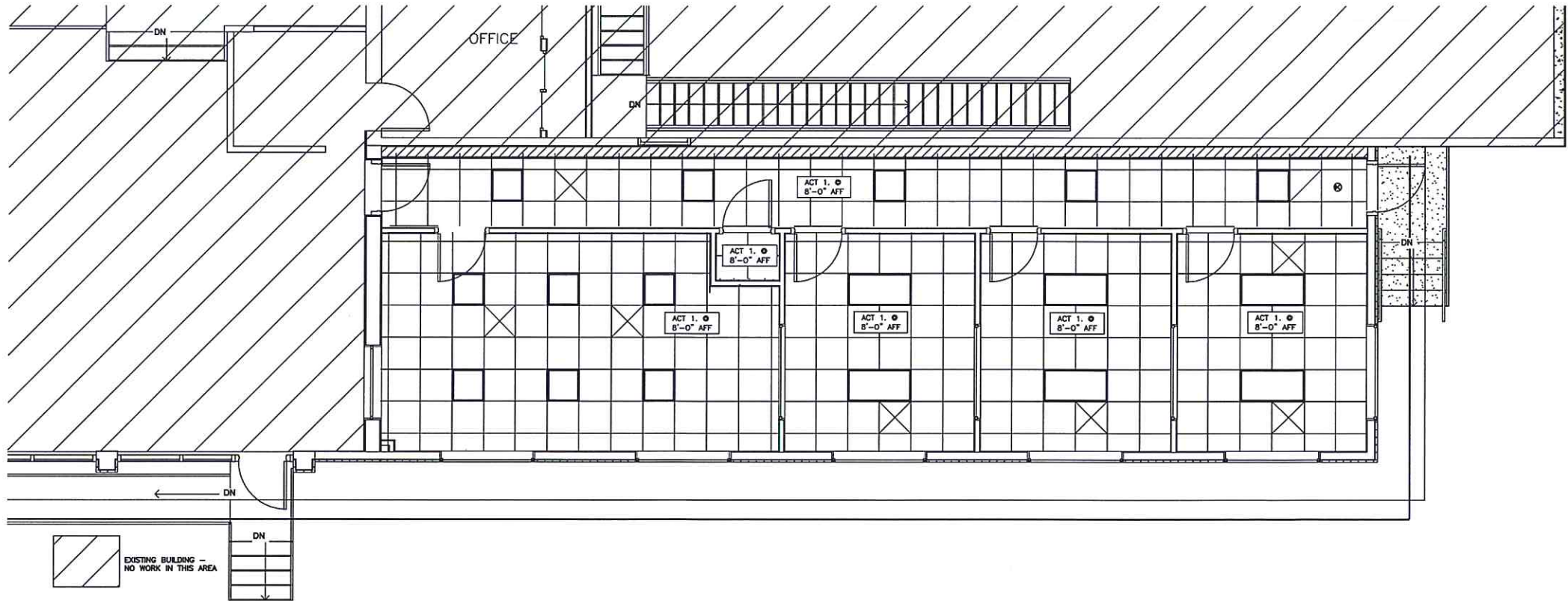
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2 BUILDING SECTION  
A401 SCALE: 1/2" = 1'-0"



1 BUILDING SECTION  
A401 SCALE: 3/8" = 1'-0"



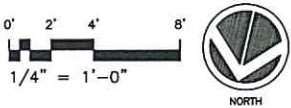
**CEILING GRID LEGEND**

- SUPPLY GRILLE
- RETURN AIR/EXHAUST GRILLE
- EXIT SIGN
- 2'x2' FLUORESCENT LIGHT FIXTURE (SEE ELECTRICAL)
- 2'x4' FLUORESCENT LIGHT FIXTURE (SEE ELECTRICAL)
- ACT 1: MATCH EXISTING 2ND FLOOR OFFICE ACT AND GRID

**NOTES:**

1. CENTER ALL FIXTURES IN CEILING TILE

**1 REFLECTED CEILING PLAN**  
A801 SCALE: 1/4" = 1'-0"



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LIGHT FIXTURE SCHEDULE								
ID	Description	Size	Manufacturer	Model #	Voltage	Lamps	Mounting	Remarks
A	VOLUMETRIC LAYIN	2'x2'	FOCAL POINT	FLJL 22 PS 30K 1C 120 LD1 G WH	120	LED, 39W, 3000L, 3000K	LAY-IN	COLOR BY OWNER
B	VOLUMETRIC LAYIN	2'x4'	FOCAL POINT	FLJL 24 PS 30K 1C 120 LD1 G WH	120	LED, 62W, 5000L, 3000K	LAY-IN	COLOR BY OWNER
X	THERMOPLASTIC EXIT LIGHT	12"x6"	LITHONIA	LDM S W 3 R 120/277	120	LED, 0.82W	SEE PLAN	# FACES PER PLAN

POWER:

⊕ DUPLEX RECEPTACLE - TAMPER RESISTANT, MOUNTED 18" AFF UNLESS NOTED OTHERWISE

FLUSH MOUNT ELECTRICAL PANEL



INDICATES DESIGNATION

LIGHTING:

▢ RECESS MOUNTED FIXTURE SIZE TO PLAN SCALE

A — FIXTURE DESIGNATION (SEE SCHEDULE)

PANEL-CKT — CIRCUIT NUMBER (SEE PLAN FOR PANEL BOUNDARIES)  
(CIRCUITING TYPICAL OF ALL LIGHT FIXTURES)

PANEL DESIGNATION



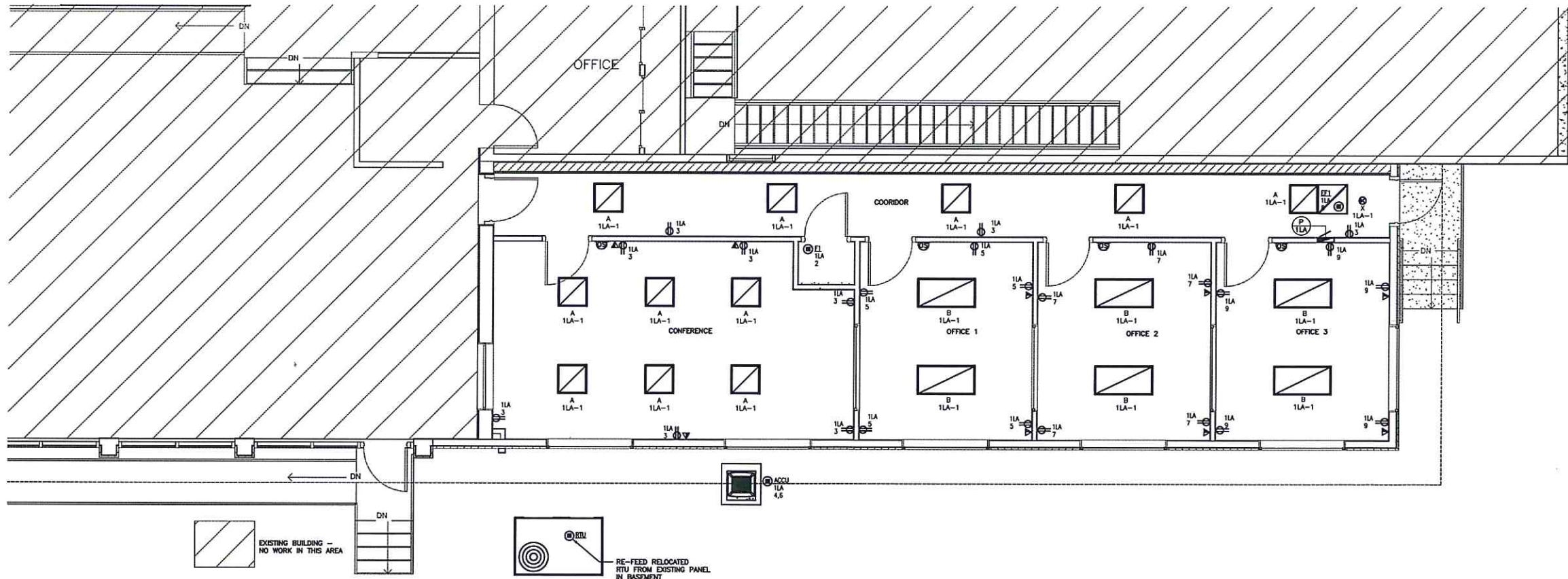
LIGHTING CONTROL OCCUPANCY SENSOR, WALL MOUNTED  
AT 44" AFF UNLESS NOTED OTHERWISE

SYSTEMS:

▶ VOICE/DATA ROUGH IN.  
4 11/16" x 4 11/16" J-BOX MOUNTED 18" AFF WITH 1  
GANG PLASTER RING(UNLESS NOTED OTHERWISE) AND A 1"  
RACEWAY STUBBED TO ABOVE ACCESSIBLE CEILING.

PANEL NAME: 1LA											
Bus Ampacity	100	Surface Mounting Recessed Mounting Main Lugs Main Breaker				Source	100 / 2				
Voltage	120 / 208		XXX								
Phase	1		XXX			NEMA 1					
Wires	2										
Branch Circuits	24										
AIC											
Load to be Fed	Circuit #	Breaker Amps/Poles	Left Phases		Right Phases		Breaker Amps/Poles	Circuit #	Load to be Fed		
			A	B	A	B					
LIGHTING	1	20 / 1	873	—	1470	—	20 / 1	2	FURNACE		
CONFERENCE / CORRIDOR RECEPT	3	20 / 1	—	1440	—	2964	30 / 2	4	ACCU		
OFFICE 1 — RECEPT	5	20 / 1	900	—	2,964	—	—	6			
OFFICE 2 — RECEPT	7	20 / 1	—	900	—	180	20 / 1	8	EF1		
OFFICE 3 — RECEPT	9	20 / 1	900	—	—	—	20 / 1	10	SPARE		
SPARE	11	20 / 1	—	—	—	—	—	12	SPACE		
SPACE	13	—	—	—	—	—	—	14	SPACE		
SPACE	15	—	—	—	—	—	—	16	SPACE		
SPACE	17	—	—	—	—	—	—	18	SPACE		
SPACE	19	—	—	—	—	—	—	20	SPACE		
SPACE	21	—	—	—	—	—	—	22	SPACE		
SPACE	23	—	—	—	—	—	—	24	SPACE		
Subtotals Left & Right (Watts)			2,673	2,340	4,434	3,144	NOTE: PROVIDE ARC FAULT BREAKERS AS REQUIRED BY CODE FOR APARTMENT UNITS				
Phase Totals (Watts)			7,107	5,484							
Panelboard Total (Watts)			12,591								
Panelboard Connected Amps			60.5								

NOTE: PROVIDE ARC FAULT BREAKERS AS  
REQUIRED BY CODE FOR APARTMENT  
UNITS



2 SECOND FLOOR ELECTRICAL PLAN  
A301 SCALE: 1/4" = 1'-0"

0' 2' 4' 8'  
1/4" = 1'-0"



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## HVAC GENERAL NOTES:

- DUCT DIMENSIONS INSIDE AND ARE BASED ON METAL DUCT WRAPPED. FIBER BOARD DUCT NOT PERMITTED.
- DUCT TO BE INSTALLED AND SEALED ACCORDING TO STATE CODE AND SMACNA GUIDELINES.
- DUCT TO BE INSULATED TO STATE CODE (SEE CHART)
- MAXIMUM FLEX LENGTH PERMITTED IS 6'.
- FRESH AIR INTAKE TO BE AT LEAST 10' FROM ANY VENT OR FLUE HORIZONTALLY, OR 2' BELOW EXHAUST OR FLUE INTAKE TO BE AT LEAST 12" ABOVE ANTICIPATED SNOW DEPTH.
- FRESH AIR INTAKE TO BE PROTECTED FROM THE ELEMENTS.
- RELIEF TO BE AT LEAST 2' ABOVE ROOF OR GROUND.
- FLUES TO BE MOUNTED AT LEAST 3' ABOVE ROOF AND 2' ABOVE ANY STRUCTURE WITHIN A 10' RADIUS.
- VENT EXHAUST FANS/OUTLETS TO EXTERIOR OF BUILDING AS SHOWN ON PLAN. INSTALL AS TO NOT CAUSE A NUISANCE.
- THERMOSTAT MOUNTING TO BE IN ACCORDANCE WITH A.D.A. REQUIRING 48" ABOVE FLOOR TO TOP OF STAT.
- CONTRACTOR TO CONFIRM VOLTAGES, ALSO ELECTRICIAN MUST PROVIDE A PROTECTED OUTLET THAT IS WITHIN 25' OF EACH PIECE OF EQUIPMENT.
- CONTRACTOR TO INSTALL AND ADJUST EQUIPMENT PER MANUFACTURER'S GUIDELINES.
- VENTILATION TO RUN CONTINUOUSLY DURING OCCUPANCY.
- UPON COMPLETION OF INSTALLATION, CONTRACTOR TO BALANCE AIR SYSTEM AND LEAVE A REPORT WITH BUILDING OWNER CERTIFYING AIR FLOWS THROUGH REGISTERS, F.A.I. & EXHAUST AS LISTED. THIS REPORT TO BE KEPT ON FILE BY OWNER FOR STATE INSPECTION WHEN REQUESTED.
- OWNER TO MAINTAIN & SERVICE EQUIPMENT ACCORDING TO MANUFACTURER'S GUIDELINES MINIMAL, OR MORE OFTEN IF CONDITIONS WARRANT. CONTRACTOR TO LEAVE A COMPLETE SET OF EQUIPMENT OPERATION MANUALS WITH OWNER. CONTRACTOR SHALL PROVIDE THE BUILDING OWNER WITH WRITTEN INSTRUCTIONS FOR OPERATION OF HVAC SYSTEM.
- PROVIDE FOR CONDENSATE REMOVAL FOR FURNACES, FAN COILS & A.C. COILS.

## DIFFUSERS - REGISTERS - GRILLES

IDENTIFICATION	CD1	RR1
SERVICE	SUPPLY	RETURN
STYLE	PLAQUE	REGISTER
MANUFACTURER	PRICE	PRICE
MODEL	SPD	530
MATERIAL	STEEL	STEEL
FINISH	WHITE	WHITE
AIRFLOW CFM	SEE PLAN	SEE PLAN
FACE SIZE l x h inches	24X24	16X8
MOUNTING	LAY-IN	SURFACE
MAXIMUM NC	25	25
REMARKS:	1-3	1-3

- SEE PLANS FOR THROAT/DUCT CONNECTION SIZE.
- PROVIDE POWDER COATED FINISH.
- INTEGRAL BALANCE DAMPER

- PROVIDE FLEXIBLE CONNECTIONS AT FURNACE ON BOTH SUPPLY & RETURN DUCTS.
- EXHAUST FANS TO BE CONTROLLED BY TIME CLOCK TO OPERATE DURING BUILDINGS OCCUPIED SCHEDULE. OVERRIDE SWITCH TO BE PROVIDED TO OPERATE FAN DURING BUILDING UN OCCUPIED SCHEDULE.
- THERMOSTATS ARE TO BE SETBACK TYPE AND HAVE 2' DEADBAND.
- PROVIDE BALANCING DAMPER IN EACH SUPPLY OR EXHAUST DUCT RUNOUT. ACCESS TO DAMPER TO BE PROVIDED AT EACH LOCATION IF HIDDEN.
- GAS PIPING TO BE SIZED & INSTALLED ACCORDING TO N.F.P.A. 54 CODE BOOK. IF HIGH PRESSURE GAS USED PRESSURE REGULATORS TO BE USED TO REDUCE PRESSURE TO APPLIANCES AS REQUIRED.
- AIR INTAKES & EXHAUST SHALL BE AT LEAST 10 FEET FROM A PROPERTY OR LOT LINE OR BOTH, OR AN ADJACENT BUILDING ON THE SAME PROPERTY. THIS RESTRICTION DOES NOT APPLY TO PROPERTY LINES ALONG STREETS OR ALLEYS. A MINIMUM OF 10' FROM CENTER OF STREET MUST BE MAINTAINED.
- AS PER IFGC 503.3.3 ALL GAS APPLIANCE VENTING MUST TERMINATE AT LEAST 7' OR GREATER ABOVE ADJACENT WALK. IF MANUFACTURER HAS A MORE RESTRICTIVE HEIGHT REQUIREMENT THAT MUST BE USED ON ALL SIDES, EXCEPT RESIDENTIAL UNITS THAT ARE FIRE SEPARATED FROM EACH OTHER.
- CONDENSOR LOCATION IF NOT SHOWN TO BE DETERMINED AT SITE.
- IF RETURN AIR CFM (SINGLE OR COMBINED) IS 2000 CFM OR GREATER LISTED OR TESTED, SMOKE SENSOR IN RETURN AIR DUCT TO BE INSTALLED & WIRED TO ALARM OR CONTROL SMOKE/FIRE CENTER AS REQUIRED BY CODE.
- THE MC SHALL PROVIDE A MINIMUM OF 1 HOURS OF TRAINING ON NEW HVAC UNITS/CONTROLS.

## FANS

IDENTIFICATION	EF1
SERVING	CORRIDOR
MANUFACTURER	GREENHECK
MODEL	SP-A190
TYPE	CEILING FAN
DRIVE	DIRECT
AIRFLOW CFM	170
ESP in wg	0.20
FAN SPEED RPM	1400
CONTROL	NOTE 6
FAN INLET SONES	2.5
ELECTRICAL:	
V/PH/HZ	120/1/60
MOTOR HP	180 WATTS
MCA/MOCP	
REMARKS:	NOTE 1-3

- UL/cUL 705 LISTED.
- INTERLOCK WITH F1 OCCUPIED SCHEDULE.
- PROVIDE INTERNAL PLUG DISCONNECT, METAL GRILLE, AND GRAVITY BACK DRAFT DAMPER. CONNECT OUTLET TO COMMON LOUVER PLENUM.

## SEQUENCE OF OPERATION

- 1.1 CONSTANT VOLUME, FURNACE, (1 Stage Cooling, 1 Stage Heating) - CONTROL SEQUENCES (F1/ACCUI)
- A. Each split system furnace, condensing unit shall have a microprocessor-based controller which shall monitor and control as directed by the 7 Day Programmable Space Thermostat.
- B. Control Sequence:
- Unoccupied Mode
    - The Thermostat initiates the Unoccupied Mode.
    - Heating setpoint (65 degrees F adjustable).
    - Cooling setpoints (80 degrees F adjustable).
    - Outside air damper is closed.
    - Supply fan is off and will cycle on with a call for heating or cooling.
  - Thermostat locations are indicated on plans.
  - If the unoccupied setpoints are exceeded:
    - Heating
      - Supply fan runs continuously until setpoint is met.
      - Heating shall stop on until setpoint is met.
    - Cooling
      - Supply fan runs continuously until setpoint is met.
      - Economizer operation is initiated if available.
      - Mechanical cooling to stage on and provide additional cooling as needed until setpoint is met.
  - Occupied Mode
    - Heating setpoint (72 degrees F adjustable).
    - Cooling setpoints (74 degrees F adjustable).
    - Supply fan is on continuous.
    - Outside air damper shall open to the minimum setting unless economizer is available.
  - Cooling
    - During the Occupied cooling mode the mechanical cooling is used to control the space temperature.
    - Minimum on/off timing of the mechanical cooling shall prevent rapid cycling.
  - Heating
    - Heating shall be enabled until space setpoint is met.
3. Coordination of Unit Sequences: Ensure that Heating and Cooling setpoints have common inputs and do not overlap in function.

## INSULATION REQUIREMENTS

## COMMERCIAL BUILDINGS

## IECC 503.2.7

## DUCT INSULATION

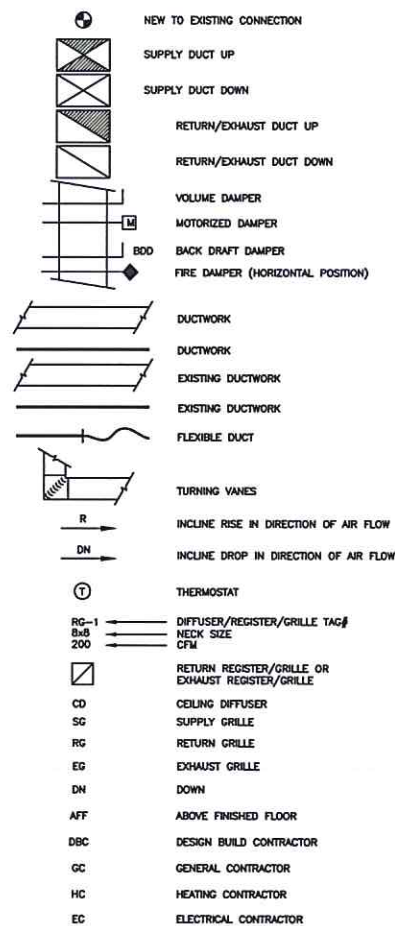
Must have Manufacturer provided R-Value, installed thickness, flame spread & smoke development ratings visible on exterior insulation jacket every 36" or less.

Supply air, return air, exhaust air and outside air intake ducts to be insulated per the following:  
Not required with temperature difference < 15°F.  
Minimum R-5 required in Unconditioned Spaces.  
Minimum R-8.0 required when duct is located outside building envelope.

## PIPING INSULATION

Required if fluid temperature >105°F  
Required if fluid temperature < 55°F

## HVAC SYMBOL SCHEDULE



## LOUVERS

IDENTIFICATION	DAL1	EAL1
SERVING	F1	EF1
MANUFACTURER	GREENHECK	GREENHECK
MODEL	ESJ-150	ESJ-150
TYPE	1.5" J BLADE	1.5" J BLADE
SIZE WxH (IN)	12X12	12X12
FREE AREA (SQ FT)	0.36	0.36
VELOCITY (FPM)	472	472
AIRFLOW (CFM)	170	170
PRESSURE DROP (IN WC)	0.035	0.035
DAMPER	NOTE 2	NA
INTERLOCK	F1	NA
REMARKS:	NOTES 1-5	NOTES 1,3-6

- PROVIDE MODEL VCD-23, 120V MOTORIZED DAMPER.
- INTERLOCK CONTROL DAMPER WITH SYSTEMS/EQUIPMENT INDICATED ON SCHEDULE.
- PROVIDE FACTORY INSTALLED BIRD SCREEN.
- CHANNEL FRAME
- STANDARD COLOR TO MATCH SOFFIT COLOR.
- NO DAMPER.

## FURNACES

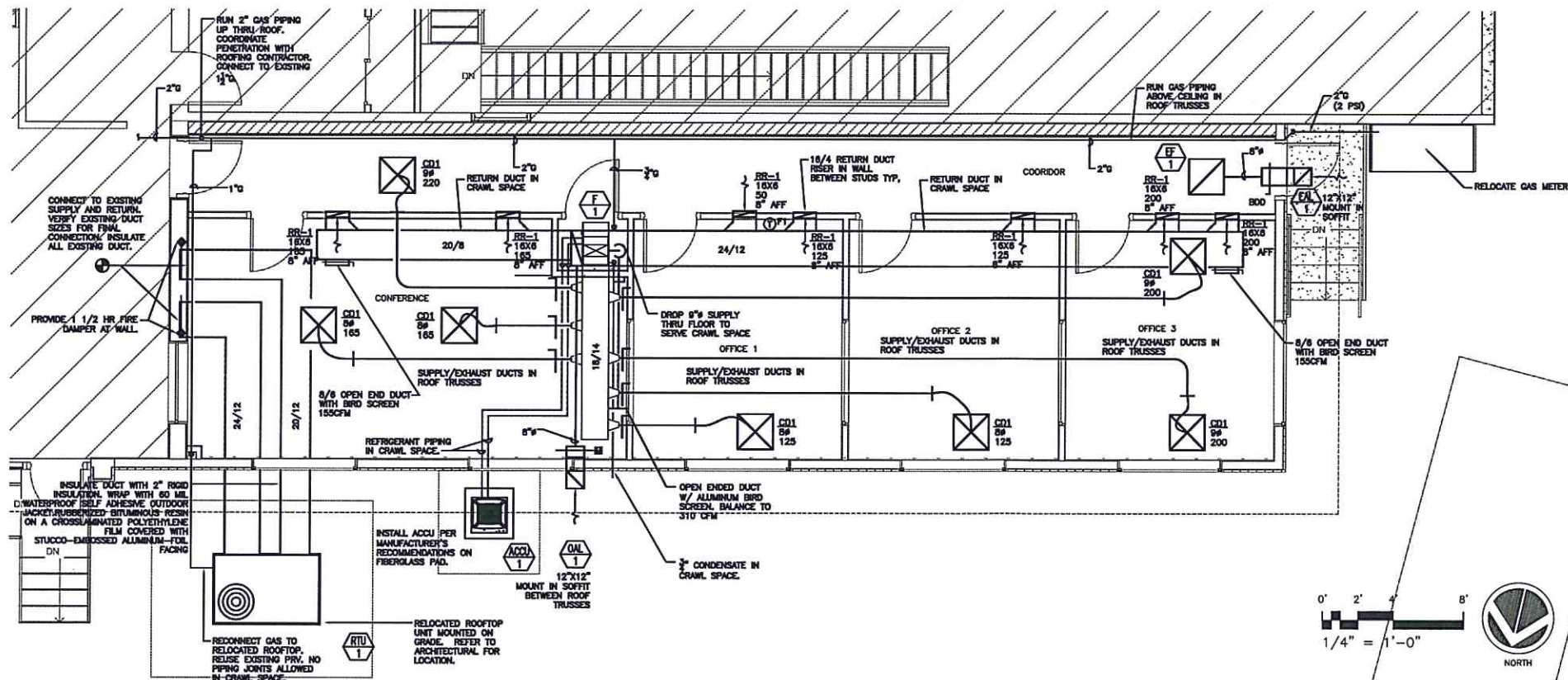
IDENTIFICATION	F1
SERVICE	OFFICE ADDITION
MANUFACTURER	CARRIER
MODEL	59SCA080S17-14
TYPE	SEALED COMBUSTION UPFLOW
OUTSIDE AIR CFM	170
SUPPLY FAN:	
AIRFLOW CFM	1200
ESP "WC	.5
HORSEPOWER	1/2
HEATING:	
EAT DB "F	
INPUT/OUTPUT MBH	80/74
GAS PRESSURE "WC	4-14
COOLING COIL:	
EAT DB/WB "F	
LAT DB "F	
SENSIBLE MBH	33.5
TOTAL MBH	36.5
MAX APD "WC	
FILTERS:	
SIZE/TYPE	MERV8
ELECTRICAL:	
VOLTAGE/PHASE/HZ	120/1/60
MCA	12.8
MOCP	20
REMARKS:	1,2,3

- PIPE COMBUSTION AIR AND VENT UP THRU ROOF AND TERMINATE AS PER MANUFACTURER'S RECOMMENDATIONS.
- INSTALL FURNACES WITH BOTTOM RETURN ON 24" STAND.
- PROVIDE RETURN FROM BOTTOM AND SIDE.

## AIR COOLED CONDENSING UNITS

IDENTIFICATION	ACCUI
SERVING	F1
MANUFACTURER	CARRIER
MODEL #	24ABC6-36-30
WEIGHT	275
MOUNTING	ON GRADE, PROVIDE FIBERGLASS PAD
COMPRESSORS:	
QUANTITY	1
TYPE	SCROLL
REFRIGERANT	R-410A
FANS:	
QUANTITY	1
OPERATING CONDITIONS MIN "F	32
EFFICIENCY:	
SEER	15
ELECTRICAL:	
V/PH/HZ	208/1/60
MCA/MOCP	21.9/35
REMARKS:	1,2,3,4,5,6

- PROVIDE MATCHING ENCASED CARRIER CNPVP EVAPORATOR COIL TO OBTAIN REQUIRED CAPACITY.
- PROVIDE COMPRESSOR START ASSIST - CAPACITOR AND RELAY.
- PROVIDE CRANKCASE HEATER.
- PROVIDE EVAPORATOR FREEZE THERMOSTAT.
- PROVIDE LOW AMBIENT PRESSURE SWITCH KIT.
- PROVIDE TXV.



## 2 NEW ADDITION MECHANICAL SECOND FLOOR PLAN

M201 SCALE: 1/4" = 1'-0"



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ITEM #1



# First Presbyterian Church

TextBox1

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SCALE: 1" = 202'



## VILLAGE OF WAUNAKEE

500 W. Main St  
Waunakee, WI 53597  
(608) 850-8500

Print Date: 5/7/2015

	Village of Waunakee Planning/Zoning Department 500 W. Main Street Waunakee, WI 53597 Phone (608) 850-8500 Fax (608) 849-5628	<h2 style="text-align: center;">Rezoning Application</h2>
---	---	---

1. LOCATION OF PROPERTY 5763 & 5765 CTH Q
2. LEGAL DESCRIPTION  
(METES & BOUNDS OR PLAT & LOT) Lot 1 CSM #10433 @ Part of SE 1/4 of NE 1/4 Sec. 18. T8N, R9E
3. ZONING CHANGE : FROM A-2(4) TO G-1 & A-1
4. PROPOSED USE OF PROPERTY CHURCH / AGRICULTURAL

ATTACH 40 COPIES OF A SITE PLAN (10 FULL/30 11X17) SHOWING ANY PROPOSED LAND DIVISIONS, PLUS VEHICULAR ACCESS POINTS AND THE LOCATION AND SIZE OF ALL EXISTING AND PROPOSED STRUCTURES AND PARKING AREAS.

5. TYPE OF RESIDENTIAL DEVELOPMENT (IF APPLICABLE) N/A  
TOTAL DWELLING UNITS PROPOSED N/A NO. OF PARKING STALLS \_\_\_\_\_  
  
TYPE OF NON-RESIDENTIAL DEVELOPMENT (IF APPLICABLE) 1  
TOTAL TENNANTS PROPOSED 1 NO. OF PARKING STALLS \_\_\_\_\_

6. CURRENT OWNER OF PROPERTY: First Presbyterian Church @ Herbert State  
MAILING ADDRESS: 5763 & 5765 CTH Q  
PHONE: 800-438-7240 EMAIL: \_\_\_\_\_
7. CONTACT PERSON: Williamson Surveying  
MAILING ADDRESS: 1044 W. Main St  
PHONE: 255-5705 EMAIL: Chris@williamsonsurveying.com

THE UNDERSIGNED CERTIFIES THAT HE/SHE HAS FAMILIARIZED HIMSELF/HERSELF WITH THE STATE AND LOCAL CODES AND PROCEDURES PERTAINING TO THIS APPLICATION. THE UNDERSIGNED FURTHER HEREBY CERTIFIES THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND CORRECT.

SIGNED:   
(OWNER OR OWNER'S AUTHORIZED AGENT'S SIGNATURE)

FOR VILLAGE USE ONLY:

DATE RECEIVED: 05/13/15 FEE PAID: \$ 345.00  
RECEIPT NUMBER: 6.005056



Village of Waunakee  
Planning/Zoning Department  
500 W. Main Street  
Waunakee, WI 53597  
Phone (608) 850-8500  
Fax (608) 849-5628

## Land Division Application

1. TYPE OF ACTION REQUESTED: ☒ CERTIFIED SURVEY MAP - \$100+\$25 per lot  
☐ PRELIMINARY PLAT APPROVAL - \$100+\$50 per d.u.  
☐ FINAL PLAT APPROVAL - \$100+\$50 per d.u.  
☐ GDP/SIP APPROVAL - \$475 each  
☐ REPLAT
2. PROPOSED LAND USE (CHECK ALL THAT APPLY) ☐ SINGLE-FAMILY RESIDENTIAL  
☐ TWO-FAMILY RESIDENTIAL  
☐ MULTI-FAMILY RESIDENTIAL  
☒ COMMERCIAL/INDUSTRIAL
3. PROJECT NAME: FIRST PRESBYTERIAN CHURCH CSM
4. LEGAL DESCRIPTION OF PROPERTY: Lot 1 CSM #10433 Q  
Part of SE 1/4 of NE 1/4 Section 18, T8N, R9E
5. NUMBER OF PARCELS PROPOSED: 2
6. NUMBER OF BUILDABLE LOTS PROPOSED: 1
7. ZONING DISTRICT(S): A-1 & A-2(4) TO A-1 & G1
8. CURRENT OWNER OF PROPERTY: First Presbyterian Church & Herbert Statz  
MAILING ADDRESS: 5763 & 5765 CTH Q  
PHONE: Bob 438-7240 EMAIL: \_\_\_\_\_
9. CONTACT PERSON: Williamson Surveying  
MAILING ADDRESS: 104A W Main St  
PHONE: 255-5705 EMAIL: Chris@williamsonsurveying.com

THE UNDERSIGNED CERTIFIES THAT HE/SHE HAS FAMILIARIZED HIMSELF/HERSELF WITH THE STATE AND LOCAL CODES AND PROCEDURES PERTAINING TO THIS APPLICATION. THE UNDERSIGNED FURTHER HEREBY CERTIFIES THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND CORRECT.

SIGNED: \_\_\_\_\_

(OWNER OR OWNER'S AUTHORIZED AGENT'S SIGNATURE)

FOR VILLAGE USE ONLY:

DATE RECEIVED: 05/13/15  
RECEIPT NUMBER: 6-005056

FEE PAID: \$150.00

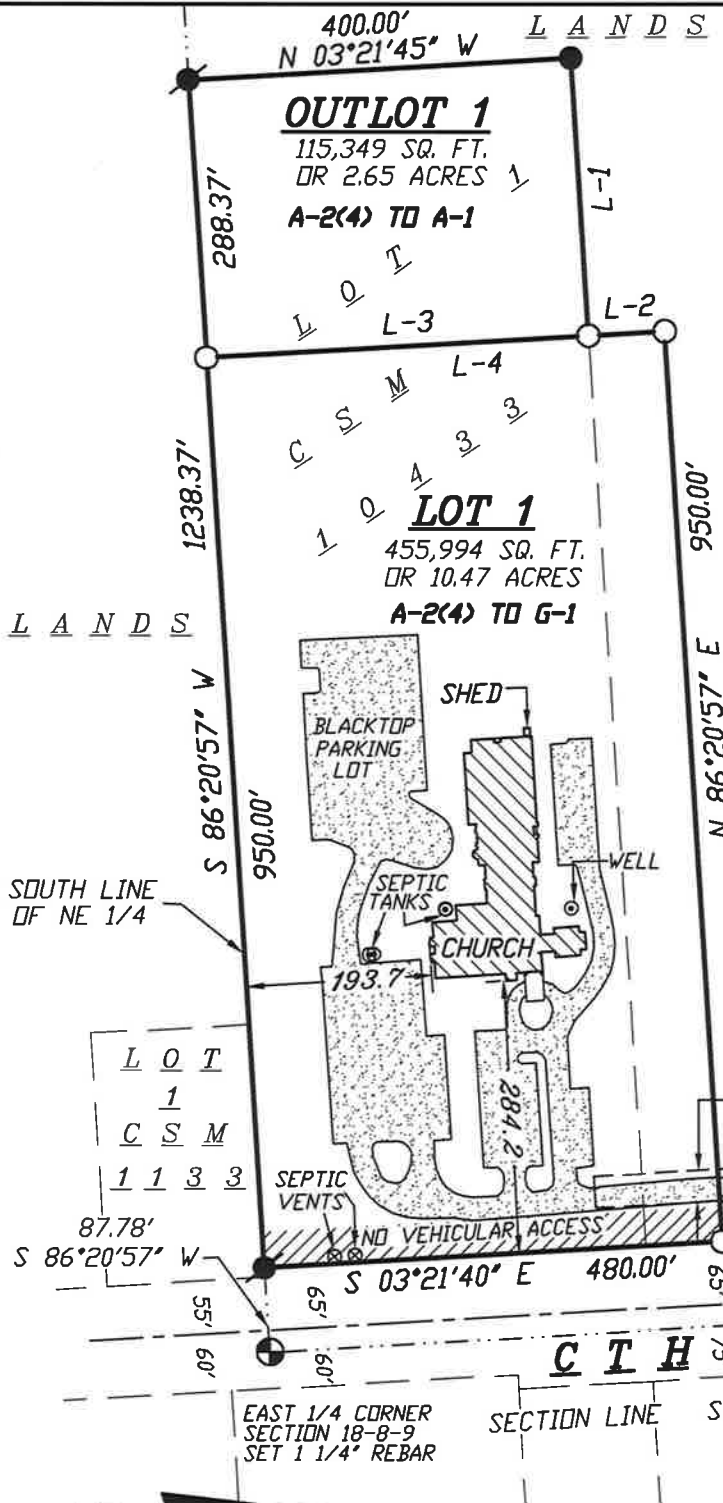


# CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NDA T. PRIEVE & CHRIS W. ADAMS, REGISTERED LAND SURVEYORS  
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the SE 1/4 of the NE 1/4 of Section 18, T8N, R9E, Town of Westport, Dane County, Wisconsin. Including Lot 1 Certified Survey Map No. 10433



## NOTES:

- 1.) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
- 2.) WETLANDS AND FLOOD PLAIN, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- 3.) COUNTY TRUNK HIGHWAY "Q" IS A CONTROLLED ACCESS HIGHWAY PURSUANT TO CHAPTER 79 OF THE DANE COUNTY CODE OF ORDINANCES

## LEGEND

- = SET 3/4"x24" REBAR WT 1.5 LB PER LIN FT
- = FOUND 3/4" REBAR
- ⊙ = FOUND 1 1/4" REBAR
- ⊙ = DANE COUNTY SECTION CORNER (AS NOTED)

## LINE TABLE:

L-#	BEARING	DIST.
L-1	N 86°20'57" E	288.38'
L-2	N 03°21'40" W	80.00'
L-3	S 03°21'40" E	400.00'
L-4	N 03°21'40" W	480.00'

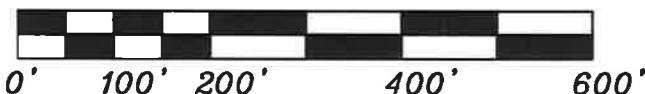
## PREPARED FOR:

1ST PRESBYTERIAN CHURCH  
5763 C.T.H. "Q"  
WAUNAKEE, WI 53597

NORTHEAST CORNER  
SECTION 18-8-9  
FD. ALUMINUM MONUMENT

BEARINGS ARE REFERENCED TO THE EAST  
LINE OF THE NE 1/4 OF SECTION 18-8-9  
LINE TO BEAR S 03°23'46" E

SCALE 1" = 200'



DOCUMENT NO. \_\_\_\_\_

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Sheet 1 of 4

15W-103



# CERTIFIED SURVEY MAP

**WILLIAMSON SURVEYING AND ASSOCIATES, LLC**

NOA T. PRIEVE & CHRIS W. ADAMS, REGISTERED LAND SURVEYORS  
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the SE 1/4 of the NE 1/4 of Section 18, T8N, R9E, Town of Westport, Dane County, Wisconsin. Including Lot 1 Certified Survey Map No. 10433

## SURVEYOR'S CERTIFICATE

I, Noa T. Prieve, Registered Land Surveyor hereby certify that in full compliance with the provisions of Chapter 236.34 Wisconsin Statutes, the subdivision regulations of Dane County, and by the direction of the owners listed below, I have surveyed, divided, and mapped a correct representation of the exterior boundaries of the land surveyed and the division of that land, being part of the SE 1/4 of the NE 1/4 of Section 18, T8N, R9E also including all of Lot 1 Certified Survey Map No. 10433, recorded in Volume 61 on pages 276-279 as Document No. 3506282, more particularly described as follows:

Commencing at the East 1/4 corner of said Section 18; thence S 86°20'57" W along the South line of the Northeast 1/4 of said Section 18, 87.78 feet to the westerly right of way of County Trunk Highway "Q" being the point of beginning.

Thence continue S 86°20'57" W 1238.37 feet; thence N 03°21'45" W, 400.00 feet; thence N 86°20'57" E, 288.38 feet; thence N 03°21'40" W, 80.00 feet; thence N 86°20'57" E, 950.00 feet to the westerly right of way of County Trunk Highway "Q"; thence along said westerly right of way S 03°21'40" E, 480.00 feet to the point of beginning. This parcel contains 571,343 sq. ft. or 13.12 acres.

Williamson Surveying and Associates, LLC  
by Noa T. Prieve & Chris W. Adams

Date \_\_\_\_\_

\_\_\_\_\_  
Noa T. Prieve S-2499  
Registered Land Surveyor

## OWNERS' CERTIFICATE:

As owner, I hereby certify that I caused the land described on this certified survey map to be surveyed, divided and mapped as represented on the certified survey map. I also certify that this certified survey map is required by sec. 75.17(1)(a), Dane County Code of Ordinances, to be submitted to the Dane County Zoning and Land Regulation Committee for approval.

WITNESS the hand seal of said owners this \_\_\_\_\_ day  
of \_\_\_\_\_, 20\_\_\_\_.

FIRST PRESBYTERIAN CHURCH

STATE OF WISCONSIN)  
DANE COUNTY)

\_\_\_\_\_  
PEG JONES, Clerk of Session

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ the above named Peg Jones, Clerk of Session for the First Presbyterian Church to me known to be the person who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_ County, Wisconsin.

My commission expires \_\_\_\_\_

\_\_\_\_\_  
Notary Public

\_\_\_\_\_  
Print Name

**SURVEYORS SEAL**



# CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE & CHRIS W. ADAMS, REGISTERED LAND SURVEYORS  
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the SE 1/4 of the NE 1/4 of Section 18, T8N, R9E, Town of Westport, Dane County, Wisconsin. Including Lot 1 Certified Survey Map No. 10433

## **OWNERS' CERTIFICATE:**

As owner, I hereby certify that I caused the land described on this certified survey map to be surveyed, divided and mapped as represented on the certified survey map. I also certify that this certified survey map is required by sec. 75.17(1)(a), Dane County Code of Ordinances, to be submitted to the Dane County Zoning and Land Regulation Committee for approval.

WITNESS the hand seal of said owners this \_\_\_\_\_day  
of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Herbert J. Statz

\_\_\_\_\_  
Eileen E. Statz

STATE OF WISCONSIN)  
DANE COUNTY)

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ the  
above named Herbert J. Statz and Eileen E. Statz to me known to be the  
person who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_County, Wisconsin.

My commission expires \_\_\_\_\_

\_\_\_\_\_  
Notary Public

\_\_\_\_\_  
Print Name

**SURVEYORS SEAL**



**CERTIFIED SURVEY MAP**

**WILLIAMSON SURVEYING AND ASSOCIATES, LLC**

NDA T. PRIEVE & CHRIS W. ADAMS, REGISTERED LAND SURVEYORS  
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the SE 1/4 of the NE 1/4 of Section 18, T8N, R9E, Town of Westport, Dane County, Wisconsin. Including Lot 1 Certified Survey Map No. 10433

**TOWN BOARD RESOLUTION**

Resolved that this certified survey map is hereby acknowledged and approved by the Town of Westport on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Thomas G. Wilson  
Town Clerk

**VILLAGE OF WAUNAKEE**

Resolved that this certified survey map in the Town of Westport is hereby acknowledged and approved by the Village of Waunakee on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Juliee Helt  
Village Clerk

Approved for recording per Dane County Zoning and Land Regulation Committee action on \_\_\_\_\_.

\_\_\_\_\_  
Daniel Everson  
Assistant Zoning Administrator

**REGISTER OF DEEDS:**

Received for recording this \_\_\_ day of \_\_\_\_\_, 20\_\_ at \_\_\_ o'clock \_\_\_M. and recorded in Volume \_\_\_\_\_ of Dane County Certified Surveys on pages \_\_\_\_\_ through \_\_\_\_\_.

\_\_\_\_\_  
Kristi Chlebowski  
Register of Deeds

DOCUMENT NO. \_\_\_\_\_

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

**SURVEYORS SEAL**

## ITEM #2.



**Drumlin Ridge Farm Vineyards LLC**

DISCLAIMER: The Village of Waunakee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.




SCALE: 1" = 614'

**VILLAGE OF  
WAUNAKEE**

500 W. Main St  
Waunakee, WI 53597  
(608) 850-8500

Print Date: 6/4/2015

	Village of Waunakee Planning/Zoning Department 500 W. Main Street Waunakee, WI 53597 Phone (608) 850-8500 Fax (608) 849-5628	Site Plan Application
--	---	-----------------------

**PROJECT LOCATION** Per submitted plans north of Chorokee Valley Pass on the east side of River Road  
**APPLICANT** Brenda & David Korb  
**ADDRESS** 5972 Cherokee Valley Pass, Waunakee, WI 53597  
**AGENT/CONTACT PERSON** Kirk Keller  
(If different from above)  
**ADDRESS** 2310 Crossroads Dr., Madison, WI 53718  
**EMAIL ADDRESS** kkeller@prarch.com  
**CONTACT PHONE #** 608-240-9900 x353  
**LEGAL DESCRIPTION** See attached  
**PROJECT TYPE**      ☐ MULTI-FAMILY      ☐ COMMERCIAL      ☐ INDUSTRIAL      ☒ OTHER  
                                  ☐ NEW      ☐ ADDITION

BUILDING AND SITE PLANS SUBMITTED TO THE VILLAGE OF WAUNAKEE PLAN COMMISSION FOR ARCHITECTURAL DESIGN REVIEW SHALL FOLLOW THE PROCEDURES LISTED BELOW.

1. Applicant reviews Site Plan guidelines and Submittal Requirements (see attachments).
2. Applicant submits application fee of \$320 and packet by 12:00 noon four (4) weeks prior to the Plan Commission meeting. Plan Commission meetings are regularly scheduled for the last Monday of the month.
3. Applicant attends the Plan Commission meeting for action on the Site Plan.
4. It is Village policy that all costs incurred by outside professional staff members will be charged to the applicant (see Village Ordinance 106-51 (c) ).
5. The Village Engineer shall forward copies of the Site Plan to the following for review and comment:  
Village President, Village Administrator, Planning Consultant, Engineering Consultant, Attorney, Police Chief, Water & Light Superintendent, Recreation Director, Streets Forman, Parks Supervisor, Fire Inspector, Building Inspector, EMS Director and School Superintendent.

THE UNDERSIGNED CERTIFIES THAT HE/SHE HAS FAMILIARIZED HIMSELF/HERSELF WITH THE STATE AND LOCAL CODES AND PROCEDURES PERTAINING TO THIS APPLICATION. THE UNDERSIGNED FURTHER HEREBY CERTIFIES THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND CORRECT.

SIGNED: \_\_\_\_\_

AUTHORIZED AGENT'S SIGNATURE)

FOR VILLAGE USE ONLY:

DATE RECEIVED: 5/15/15

FEE PAID: —

RECIEPT NUMBER: \_\_\_\_\_

**ITEM #2.**

Village of Waunakee  
 Planning/Zoning Department  
 500 W. Main Street  
 Waunakee, WI 53597  
 Phone (608) 850-8500  
 Fax (608) 849-5628

## Rezoning Application

1. LOCATION OF PROPERTY Per submitted plans north of Cherokee Valley Pass on the east side of River Road
2. LEGAL DESCRIPTION (METES & BOUNDS OR PLAT & LOT) See attached
3. ZONING CHANGE : A1 FROM Exclusive TO A1 w/CUP for winery
4. PROPOSED USE OF PROPERTY Winery

ATTACH 40 COPIES OF A SITE PLAN (10 FULL/30 11X17) SHOWING ANY PROPOSED LAND DIVISIONS, PLUS VEHICULAR ACCESS POINTS AND THE LOCATION AND SIZE OF ALL EXISTING AND PROPOSED STRUCTURES AND PARKING AREAS.


5. TYPE OF RESIDENTIAL DEVELOPMENT (IF APPLICABLE) NA  
 TOTAL DWELLING UNITS PROPOSED NA NO. OF PARKING STALLS NA  
 TYPE OF NON-RESIDENTIAL DEVELOPMENT (IF APPLICABLE) Winery  
 TOTAL TENNANTS PROPOSED One NO. OF PARKING STALLS 4 employee 19 visitors 23 total
6. CURRENT OWNER OF PROPERTY: Brenda & David Korb  
 MAILING ADDRESS: 5972 Cherokee Valley Pass, Waunakee, WI 53597  
 PHONE: 608-251-6870 EMAIL: brok@tds.net
7. CONTACT PERSON: Kirk Keller  
 MAILING ADDRESS: 2310 Crossroads Dr., Madison, WI 53718  
 PHONE: 608-240-9900 x353 EMAIL: kkeller@prarch.com

THE UNDERSIGNED CERTIFIES THAT HE/SHE HAS FAMILIARIZED HIMSELF/HERSELF WITH THE STATE AND LOCAL CODES AND PROCEDURES PERTAINING TO THIS APPLICATION. THE UNDERSIGNED FURTHER HEREBY CERTIFIES THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND CORRECT.

SIGNED: \_\_\_\_\_  
 (OWNER OR OWNER'S AUTHORIZED AGENT'S SIGNATURE)

FOR VILLAGE USE ONLY:

DATE RECEIVED: 5/15/15 FEE PAID: \$ 345.00  
 RECIEPT NUMBER: 6-005057

	Village of Waunakee Planning/Zoning Department 500 W. Main Street Waunakee, WI 53597 Phone (608) 850-8500 Fax (608) 849-5628	Conditional Use Permit Application
---	---	---------------------------------------

APPLICANT Brenda & David Korb  
ADDRESS 5922 Cherokee Valley Pass  
CONTACT PHONE # Kirk Keller 240-9900 x353  
EMAIL ADDRESS kkeller@prarch.com  
PROJECT LOCATION Cherokee Valley Pass  
ZONING CLASS A1

CONDITIONAL USE PERMIT REQUESTS SUBMITTED TO THE VILLAGE OF WAUNAKEE PLAN COMMISSION SHALL FOLLOW THE PROCEDURES LISTED BELOW.

1. Applicant meets with staff.
2. Applicant submits application fee of \$ 350 and packet by 12:00 noon four (4) weeks prior to the Plan Commission meeting. Plan Commission meetings are regularly scheduled for the fourth Monday of the month.
3. Staff meets to review the request.
4. It is Village policy that all costs incurred by outside professional staff members will be charged to the applicant (see Village Ordinance 106-51 (c) ).
5. Applicant attends Public Hearing at Plan Commission meeting and action is taken.:
  - a. Notice of Public Hearing shall be given by publication of a Class 2 Notice under WI statutes in the official Village newspaper.
  - b. Owners of properties within one hundred (100) feet of affected property shall be notified at least five (5) days prior to the date of Public Hearing.

THE UNDERSIGNED CERTIFIES THAT HE/SHE HAS FAMILIARIZED HIMSELF/HERSELF WITH THE STATE AND LOCAL CODES AND PROCEDURES PERTAINING TO THIS APPLICATION. THE UNDERSIGNED FURTHER HEREBY CERTIFIES THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND CORRECT.

SIGNED: 

(OWNER OR OWNER'S AUTHORIZED AGENT'S SIGNATURE)

FOR VILLAGE USE ONLY:

DATE RECEIVED: 5/15/15  
RECEIPT NUMBER: 4-005057

FEE PAID: 350.00

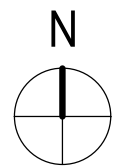


PLUNKETT RAYSICH  
ARCHITECTS, LLP

Drumlin Ridge Farm Vineyards, LLC  
Westport, VA

ITEM #2.

-36-



150055-01

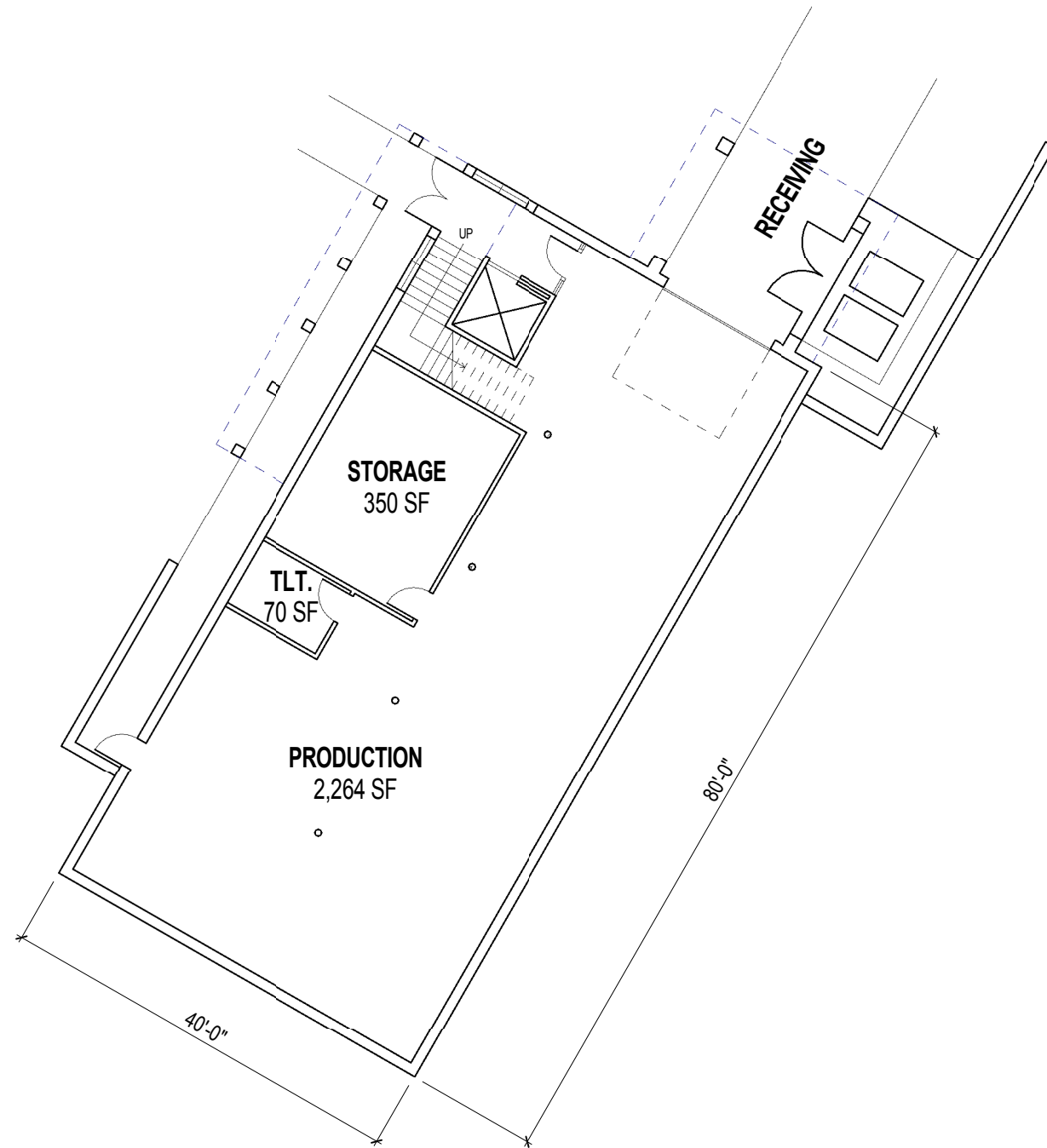
05-14-15



SITE PLAN

Scale: 1" = 80'

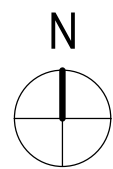
-37-



**GROUND LEVEL FLOOR PLAN**  
3,200 GSF



**MAIN LEVEL FLOOR PLAN**  
3,200 GSF

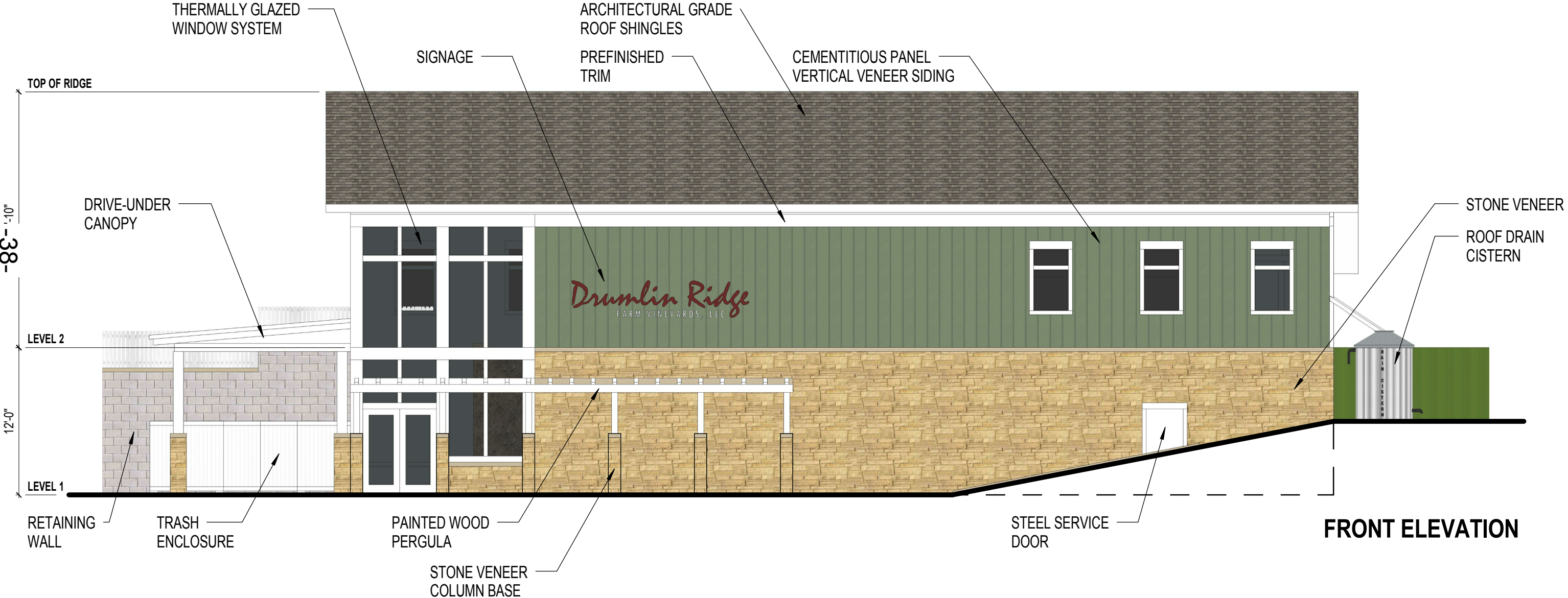


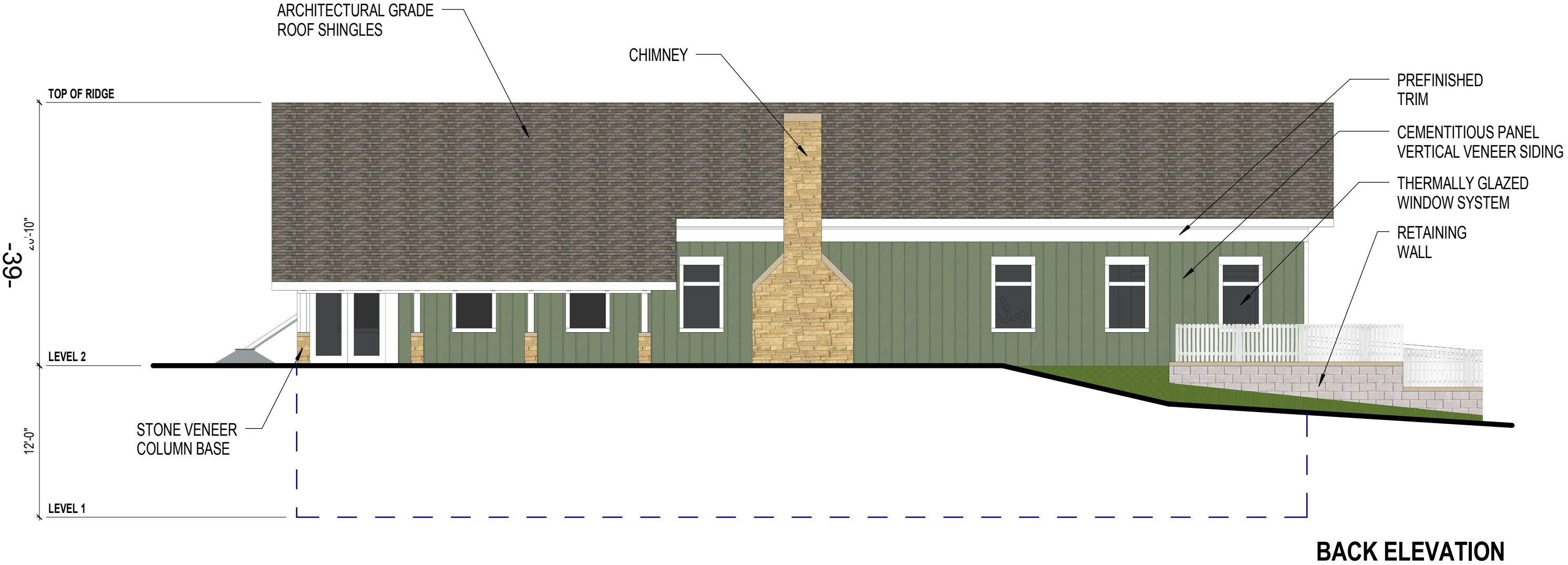


PLUNKETT RAYSICH  
ARCHITECTS, LLP

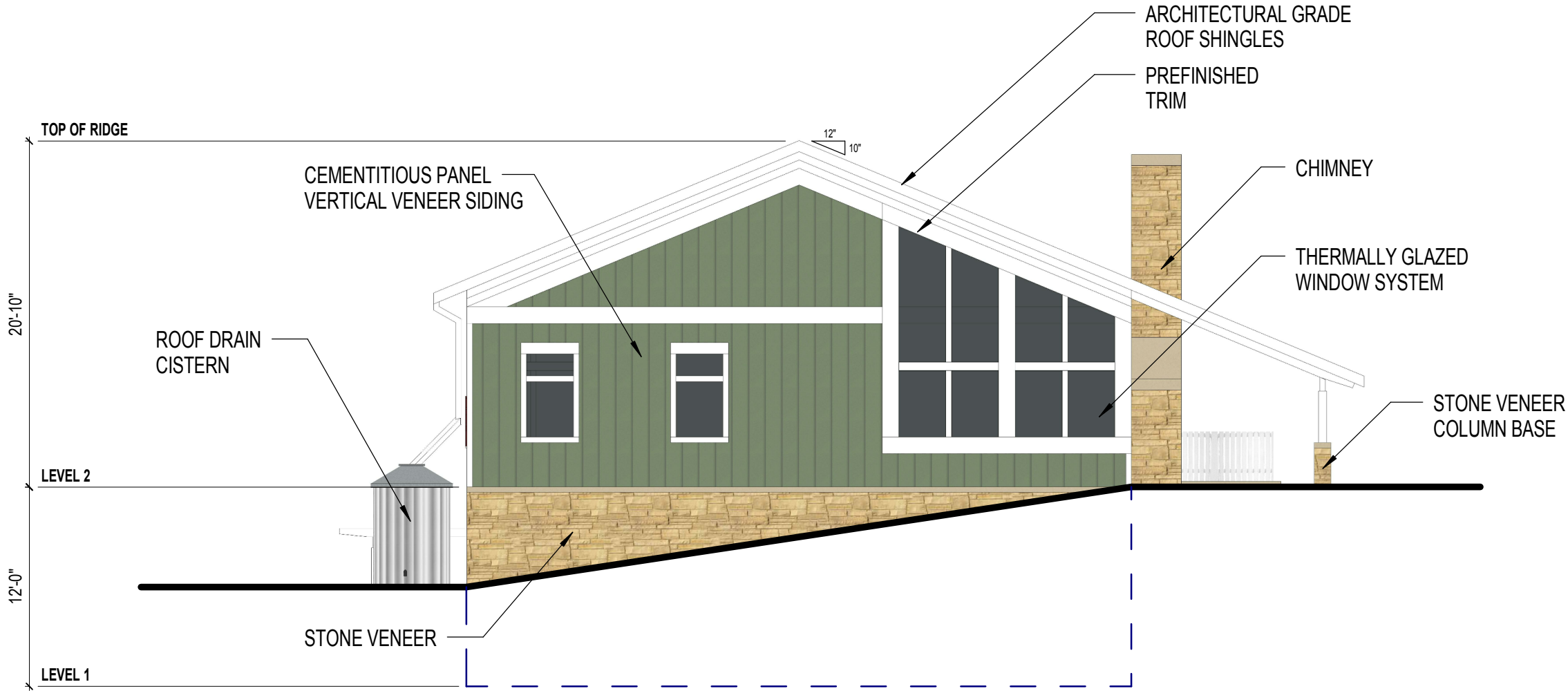
Drumlin Ridge Farm Vineyards, LLC  
Westport, VT

ITEM #2.



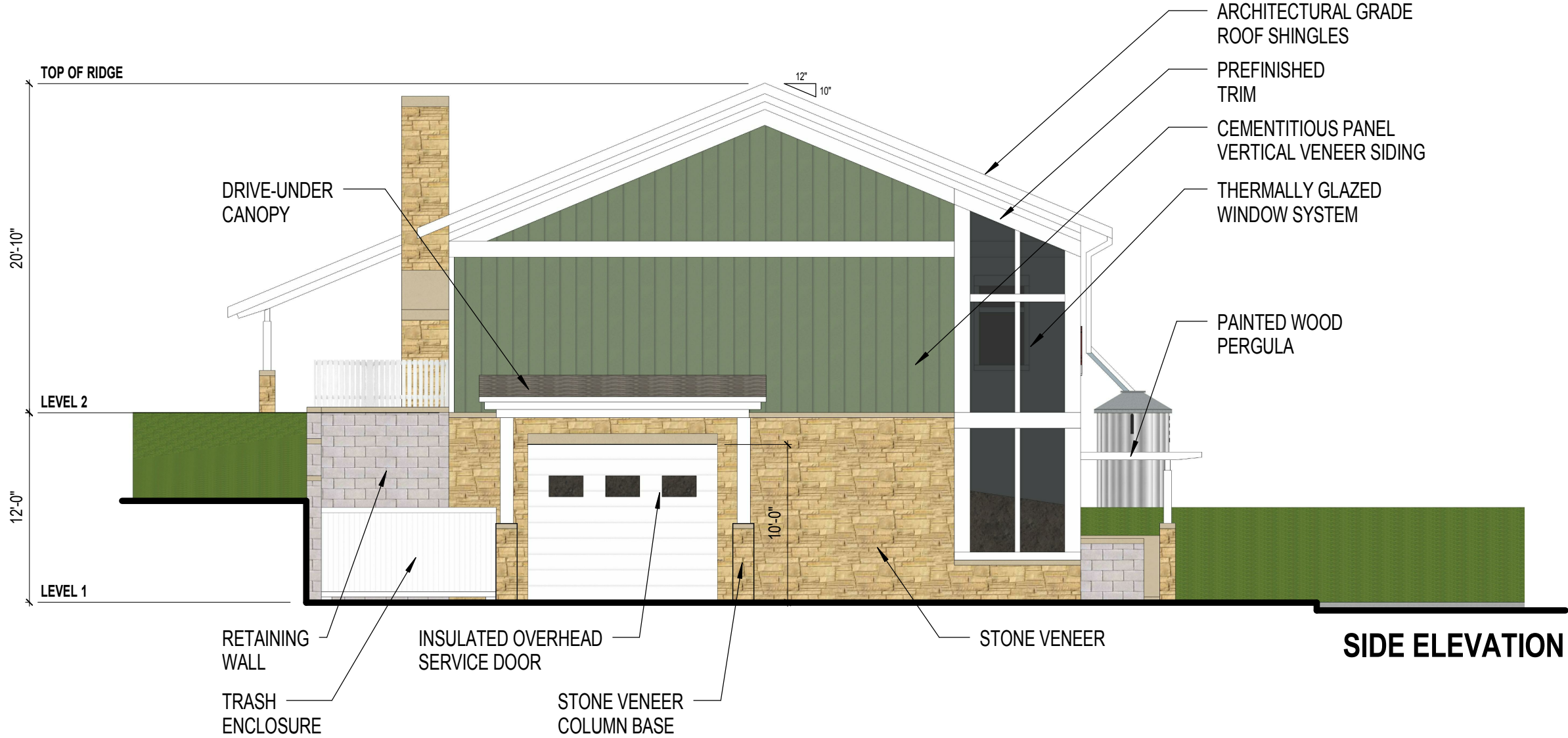


-40-



**SIDE ELEVATION**

-41-





View along River Road - Future vineyard area



View to northeast along property line



View from River Road at north property line



View to northwest and approximate entry point to site



View south and approximate winery location



View west and approximate winery location



North property line with existing pine tree screening

## ITEM #2.

### VILLAGE OF WAUNAKEE

ORDINANCE NO. 15-\_\_

AN ORDINANCE TO AMEND SECTION 106-209, WAUNAKEE VILLAGE CODE, TO  
ALLOW A "WINERY" AS A CONDITIONAL USE IN THE A-1  
AGRICULTURAL/HOLDING DISTRICT,  
VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN

WHEREAS, Section 106-209, A-1 Agricultural/Holding District, Waunakee Village Code, does not currently include a conditional use for a winery; and,

WHEREAS, a winery as a conditional use is reasonable in the A-1 District; and,

WHEREAS, the Waunakee/Westport Joint Planning Commission has reviewed this ordinance and, after public hearing, recommended that the Village Board adopt this ordinance; and,

WHEREAS, the Town of Westport Plan Commission and Town of Westport Board of Supervisors have also reviewed this ordinance, and recommended that the Village Board adopt this ordinance; and,

WHEREAS, the Village Board has determined, after reviewing the recommendation of the above bodies and after an additional public hearing, that it is in the public interest to adopt this ordinance amending a portion of the Village zoning code.

NOW THEREFORE, the Village Board of Trustees of the Village of Waunakee, Dane County, Wisconsin, does hereby ordain as follows:

**SECTION 106-209. Conditional Uses** Section 106-209(16), Village of Waunakee Code of Ordinances, is hereby created to provide as follows:

(16) Winery.

The above and foregoing ordinance was duly adopted at a regular meeting of the Village Board of Trustees of the Village of Waunakee on \_\_\_\_\_, 2015, by a vote of \_\_\_ ayes, \_\_\_ nays, and \_\_\_ not voting (absent).

APPROVED:

By: \_\_\_\_\_  
Chris Zellner, Village President

Attest: \_\_\_\_\_  
Julee Helt, Village Clerk

Approved: \_\_\_\_\_  
Published: \_\_\_\_\_

Proposed Winery Ordinance

- A. Purpose and Applicability. This Section provides regulations for the development and operation of wineries, where allowed. The intent is to promote the orderly development of wineries within the Town and ensure their compatibility with surrounding land uses in order to protect the public health, safety, natural, and visual resources.
- B. Requirements for Use as Winery.
  - 1. Permitted Use: For those areas where "Winery" is a permitted use, wineries in compliance with this ordinance require no approval for such use.
  - 2. Conditional Use Permit: For those areas where "Winery" is a conditional use, wineries must comply with this ordinance as well as any other conditions referenced in the Conditional Use Permit issued for such use.
- C. Development Standards. Wineries shall also comply with the following development standards, unless otherwise indicated.
  - 1. In general:
    - a. The purpose of these development standards is to ensure that the primary use of a Winery Premises is for the preparation of fruit as an agricultural commodity, provided, however, cultivation of fruit and marketing the resulting agricultural products are permitted as part of a Winery. Cultivation of grapes or other fruit alone does not constitute a Winery for purposes of applicability of this ordinance, nor does the sale of agricultural products, each being separately regulated by applicable law.
    - b. Nothing herein is intended to replace any other state or federal permit requirements or development standards which may also be applicable to a Winery.
  - 2. Setbacks. Structures and outdoor production or marketing areas associated with a Winery shall provide a minimum setback of 100 feet from adjacent lots which are not part of the Winery Premises.
  - 3. Winery Premises Structures.
    - a. Winery Premises Structures include:
      - (1) Anything constructed, erected, or placed with or without a foundation, the use of which requires location on the ground and is covered by a roof.
      - (2) The footprint area of uncovered storage tanks and wine caves.

## ITEM #2.

- (3) Structures not directly associated with the making of wine but used to support the Winery operation such as a wine lounge, hospitality room, food preparation area, conference room, special event venue, and offices.
  - b. Winery Premises Structures do not include residential structures including employee housing and structures that are solely accessory to vineyards and other agricultural activities not directly associated with the Winery, including, without limitation, outbuildings used for storage of equipment associated with vineyard maintenance.
4. Design standards. New Winery Premises Structures associated with the Winery including production facilities shall be subject to review and approval by the Town Plan Commission.
- a. Exterior. The design, scale, and character of the Winery Premises Structures shall be compatible with the intended use. Winery Premises Structures shall not use an exterior design style typically associated with large industrial facilities.
  - b. Screening. The visibility of Winery Premises Structures from residential streets shall be accentuated through the use of landscaping and other screening devices to help with the retention of the character of the area.
  - c. Height. The height of any Winery Premises Structure shall be limited to 35 feet. The height limit may be increased to 45 feet where a pitched roof of greater than four in 12 (rise to run) is proposed and at least 50 percent of the aggregate of all Winery Premises Structures located upon the Winery Premises is limited to a height of 35 feet or less.
  - d. Lighting. Exterior lighting fixtures shall be of a low intensity, low glare design and shall be shielded with full cutoff design and directed downward to ensure that neither the lamp nor the related reflector interior surface is visible from a location off of the Winery Premises in order to prevent spill over onto adjacent lots under separate ownership. Pole lighting fixtures shall be used only for Special Events. Exterior lighting shall not be installed or operated in a manner that would throw light, either reflected or directly, in an upward direction.
6. Parking.
- a. The number, size, location, and design of required parking spaces shall be adequate to accommodate the permitted occupancy of the Tasting Rooms.
  - b. The visibility of parking areas associated with the Winery Premises from residential streets shall be accentuated through the use of landscaping and other screening devices.
7. Waste disposal. Because waste disposal is dependent upon the business plan for an individual Winery, the following shall apply:

- a. Solid waste disposal. A solid waste management plan shall be submitted for review and approval by the Town Administrator.
  - b. Liquid waste disposal. A liquid waste (process wastewater from the Winery operation) management plan shall be submitted for review and approval by the Town Administrator.
8. Tasting Room(s).
- a. Tasting Room(s) shall be clearly incidental, accessory, and subordinate to the primary operation of the Winery as a production facility.
  - b. The primary focus of the Tasting Room shall be the marketing and sale of the wine produced on the Winery Premises.
  - c. More than one Tasting Room is allowed on the Winery Premises; however, the cumulative floor area of all tasting rooms shall not exceed the floor area approved by the Town.
  - d. Tasting Room hours of operation shall be limited between the hours of 10:00 a.m. and 6:00 p.m. Sunday - Thursday; 10:00 a.m. and 7:00 p.m. Friday and Saturday. The Town Administrator may approve alternate hours for Special Events.
  - e. Wine tasting, wine consumption and food consumption may occur outside of the Tasting Room subject to any other limits set forth in this ordinance or any Conditional Use Permit issues with respect to the Winery.
9. Retail Sales. Retail sales of winery-related promotional items shall be allowed as part of the Winery operation in compliance with the following:
- a. Retail products shall only be offered for sale within the Tasting Room.
  - b. Retail sale items may include:
    - (1) Wine and fruit products produced by the Winery operator or bottled or grown on the Winery Premises, including, wine produced off-site by fruit grown off-site if the production of such wine is under the supervision of the Winery operator.
    - (2) Souvenirs and clothing bearing the logo of the Winery as well as wine-related items and other products that reflect or enhance the character or theme of the Winery.
    - (3) Pre-packaged food.
10. Food Service and Food Preparation.
- a. All food service and food preparation facilities shall comply with all applicable Public Health Department requirements.
  - b. Food served at the Winery Premises may be prepared on-site or off-site.
  - c. Except for food served in association with Cooking Classes, Winemaker Meals and Special Events, food served at a Winery Premises shall:

## ITEM #2.

- (1) Be limited to small plates or appetizer-like portions, and
  - (2) Not include menu options or meal service such that the Winery Premises functions primarily as a restaurant, café, or coffee shop.
- d. Food preparation facilities shall only support the permitted type of food service and permitted Cooking Classes, Winemaker Meals and Special Events allowed on the Winery Premises.
11. Tours, Winemaker Meals, Cooking Classes and Special Events. Tours, Winemaker Meals, Cooking Classes and Special Events shall be allowed on the Winery Premises, in compliance with the following.
  - a. Tours, Winemaker Meals, Cooking Classes and Special Events shall not result in occupancy of the applicable Winery Premises Structures in excess of that which has been approved by the Town or the maximum number of Winery Visitors permitted at any one time upon the Winery Premises as a whole, as approved by the Town in connection with any issued occupancy certificate (for occupants within the Winery Premises Structures) or Conditional Use Permit for the Winery Premises as a whole, as applicable.
  - b. Tours, Winemaker Meals, Cooking Classes and Special Events shall be clearly secondary, subordinate and incidental to the primary agricultural uses of the Winery Premises.

### Definitions:

The following terms are defined:

1. Cooking Class. A Cooking Class shall mean a gathering occurring on the Winery Premises attended by Winery Visitors primarily for the tasting, education and marketing of winery related products. Cooking Classes may be demonstrational or instructional in nature.
2. Special Event. A Special Event is an event held at the Winery Premises no more often than six (6) times per year intended to showcase the Winery business, the culture of winemaking, the process of winemaking or the vineyard in general. A Special Event may include wine release events, holiday celebrations, seasonal agricultural activities, social gatherings or other similar events.
3. Tasting Room. Tasting Room shall mean a room or rooms used by a Winery Visitor primarily for the tasting of wine and the marketing of wine and fruit related or complimentary products.
4. Winery. Winery shall mean a bonded agricultural processing facility primarily used for the commercial processing of grapes or other fruit products to produce wine or similar spirits or the re-fermenting of still wine into sparkling wine. Processing consists of controlled fermentation combined with any of the following: crushing, blending, barrel aging, and bottling.
5. Winery Premises. Winery Premises shall mean a lot or group of contiguous lots that is permitted under applicable zoning or a Conditional Use Permit that allows for the

development and operation of a Winery. Lots shall be considered to be contiguous even if separated by roads, streets, utility easements, or railroad rights-of-way.

6. Winemaker Meals. Winemaker Meals are meals occurring no more often than six (6) times in any one calendar year on the Winery Premises attended by Winery Visitors primarily for the tasting, education and marketing of winery related products.
7. Winery Visitor. All persons visiting the Winery Premises such as members of the trade and/or public or private attendees at the Tasting Room(s), vineyard/winery tour, Cooking Class, Winemaker Meal, Special Event or other winery related activities. People visiting the Winery Premises for non-winery related activities and/or not visiting the Winery Structures or vineyard, are not considered a Winery Visitor. By way of example and not limitation, the following are not Winery Visitors: persons attending a wine industry-wide event held at an individual winery, employees, apprentices, contractors, service providers and other such invitees.

## ITEM #2.

4/18/15

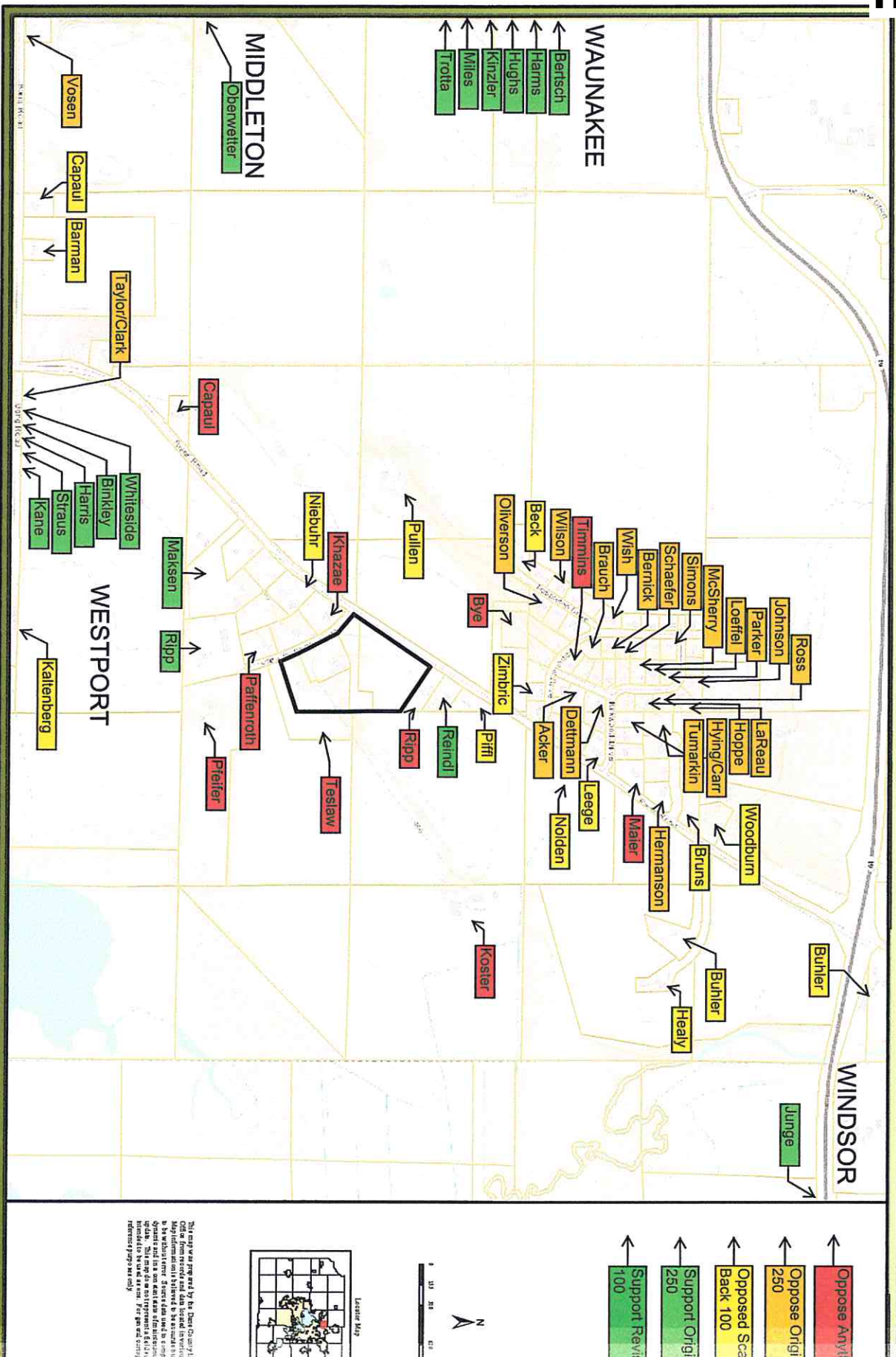
Attention Planning Committee and Tom Wilson:

We the neighbors of Dave and Brenda Korb, are NOT interested in having a winery with a tasting room next to us. They haven't heard back from many of us because we are all still trying to wrap our heads around this new proposal after what happened a couple years ago.

If they would like to plant grapes and produce the wine on their property, that would be something that we would be okay with. Even with a tasting facility that has a maximum capacity of 38, how are you going to guarantee that there will not be more people or additions to the building in the future? There are other wineries out there that have a tasting room at a different location and this is something that we would encourage the Korbs to look into further.

- |                                      |  |
|--------------------------------------|--|
| 1. <u>Bern Moser</u>                 | <u>6078 River Rd , Waunakee</u>            |
| 2. <u>Mary Ripp</u>                  | <u>6030 River Rd , Waunakee</u>            |
| 3. <u>Mark Ripp</u>                  | <u>6030 River Rd , Waunakee</u>            |
| 4. <u>Patricia Teslaw</u>            | <u>5966 Cherokee Valley Pass, Waunakee</u> |
| 5. <u>Richard Teslaw</u>             | <u>5966 Cherokee Valley Pass, Waunakee</u> |
| 6. <u>Marcus Teslaw</u>              | <u>5963 Cherokee Valley Pass, Waunakee</u> |
| 7. <u>Jerry Papp</u>                 | <u>5963 Cherokee Valley Pass, Waunakee</u> |
| 8. <u>Charlotte Papp</u>             | <u>5985 Cherokee Valley Pass, Waunakee</u> |
| 9. <u>Dee</u>                        | <u>5974 River Rd , Waunakee</u>            |
| 10. <u>Jan Niebuhr</u>               | <u>5974 River Rd , Waunakee</u>            |
| 11. <u>Joe &amp; Paul</u>            | <u>5949 River Rd , Waunakee</u>            |
| 12. <u>Chris Barmar</u>              | <u>5056 Bong Rd , Waunakee</u>             |
| 13. <u>Art Capaul</u>                | <u>5072 Bong Rd , Waunakee</u>             |
| 14. <u>Mr. &amp; Mrs. Arnold Bye</u> | <u>6053 River Rd , Waunakee</u>            |
| 15. <u>Kay Beck</u>                  | <u>6053 Templeton Dr , Waunakee</u>        |
| 16. <u>Doree Pfeiffer</u>            | <u>5958 Cherokee Valley Pass, Waunakee</u> |
| 17. <u>Martin D. Zimmere</u>         | <u>6079 Valley Brook Rd , Waunakee</u>     |
| 18. _____                            |  |

Submitted By: Patricia Teslaw 4/21/15



ITEM #2.

Pam Wilson  
Westport Board  
RE Korb Winery

We would hope that no change in zoning in our small neighborhood would be allowed.

The issues for us are, any retail venue would grow over time to include longer hours, large # of people i.e. - Weddings, Graduations, Family reunions. Catering of food - Beverages.

Issues with lights, traffic, noise, retention ponds.

Sincerely,  
Monica & Gerald  
Rafferty

5963 Cherokee Valley  
Pass

RECEIVED  
APR 15 2015

BY: .....

**Tracy Meinholz**

---

**From:** Tom Wilson <twilson@townofwestport.org>  
**Sent:** Wednesday, April 29, 2015 11:53 AM  
**To:** brok tds.net (brok@tds.net); wfwhite@michaelbest.com  
**Cc:** Kevin Even; Tracy Meinholz; Robert Anderson; Michelle; Tom Wilson  
**Subject:** FW: Letter on winery  
**Attachments:** doc02036420150429115627.pdf

Just passing on the attached I just received from Marty Timmins, and also this correcting email:

"Tom:

This is a correction to my letter of April 26, 2015 on this subject. This morning I had the opportunity to read the letter Mr. Korb sent to a neighbor and to review again the Waunakee Tribune article. Unfortunately, I misread the Tribune article as it did not indicate the winery could stay open as late as 10:00pm but rather said 7:00pm. Also, Mr. Korb's letter said it could possibly stay open as late as 7:00 pm.

I'm sorry for my error and apologize for any confusion it may have caused.

Sincerely,  
Marty Timmins"

Thanks.

Tom

Thomas G. Wilson  
Attorney/Administrator/Clerk-Treasurer  
Town of Westport (Dane County, WI)  
Population 3,962

5387 Mary Lake Road  
Waunakee, WI 53597  
[twilson@townofwestport.org](mailto:twilson@townofwestport.org)  
[www.townofwestport.org](http://www.townofwestport.org)  
<http://twitter.com/TownofWestport>  
<http://www.facebook.com/pages/Town-of-Westport-Dane-County-Wisconsin/115029421892435?v=wall>  
(608) 849-4372  
(608) 849-9657 FAX

The information contained in this transmission is intended only for the personal and confidential use of the recipient(s) designated above. This transmission may be an attorney-client communication and, as such, is a privileged and confidential communication. If any recipient of this transmission is not a designated recipient, or an agent responsible for delivering this transmission to a designated recipient, such recipient is hereby notified that this transmission has been received in error, and that any review, dissemination, distribution or copying of this transmission is strictly prohibited. If you have received this transmission and are not designated above as a recipient, please immediately call (608) 849-4372 and delete this transmission from your system.

All e-mail sent to the Town of Westport is subject to the Wisconsin open records law.

## ITEM #2.

IF THIS MESSAGE IS TO THE ENTIRE MEMBERSHIP OF A GOVERNMENTAL BODY, you are advised that this email should be treated as a one-way communication and that responses "to all" should be avoided because those responses could create a "walking quorum" of the body in violation of the open meetings law (Office of the Wisconsin Attorney General Letter of 3/19/2010).

-----Original Message-----

From: Robert Anderson

Sent: Wednesday, April 29, 2015 11:57 AM

To: Tom Wilson

Subject: scanned document

-----  
TASKalfa 3050ci

[00:c0:ee:88:00:d3]  
-----



### **NOTICE OF INTENT TO CIRCULATE DETACHMENT PETITION**

NOTICE IS HEREBY GIVEN, that following the publication of this notice, a petition will be circulated for the detachment of the property described in Exhibit A and shown on Exhibit B attached hereto from the Village of Waunakee, Dane County, Wisconsin, and for the annexation of the property to the Town of Westport, Dane County, Wisconsin.

This notice is given pursuant to section 66.0227 of the Wisconsin Statutes, and was caused to be published by Capaul Investments Limited Partnership, which is the owner of the property proposed to be detached and annexed, and whose billing address is 5704 State Highway 113, Waunakee, WI 53597.

Published: The Waunakee Tribune, , 2015.

# ITEM #3.

## PETITION FOR DETACHMENT


To: Village Clerk  
Village of Waunakee

The undersigned, being owner of real estate in the territory hereinafter described, and being the only owner of land in area within such territory, hereby petitions, pursuant to Wis. Stat. § 66.0227, the Village Board of the Village of Waunakee, Dane County, Wisconsin, to detach the territory from the Village of Waunakee, and petitions for the territory to become annexed to the Town of Westport, Dane County, Wisconsin.

Attached hereto and incorporated herein as Exhibit A is the legal description of the territory proposed to be detached from the Village of Waunakee and annexed to the Town of Westport. Attached hereto and incorporated herein as Exhibit B is a scale map reasonably showing the boundaries of the territory proposed to be detached and the relationship of the territory to the Village of Waunakee and the Town of Westport.

PROPERTY OWNER SIGNATURE:

CAPPAUL INVESTMENTS LIMITED PARTNERSHIP

Signed:  Date: 13 APR 15  
By: JOE CAPPAUL  
Title: OWNER  
Address: 5949 RIVER RD  
WAUNAKEE, WIS. 53597

Attachments: Exhibit A – Legal Description  
Exhibit B – Scale Map



# WILLIAMSON SURVEYING & ASSOCIATES, LLC

104A WEST MAIN STREET, WAUNAKEE, WI 53597

NOA T. PRIEVE and CHRIS W. ADAMS

PHONE: 1-608-255-5705 WEB: WILLIAMSONSURVEYING.COM

The NE  $\frac{1}{4}$  of the SE  $\frac{1}{4}$ , Section 15, T8N, R9E, Village of Waunakee, Dane County, Wisconsin.

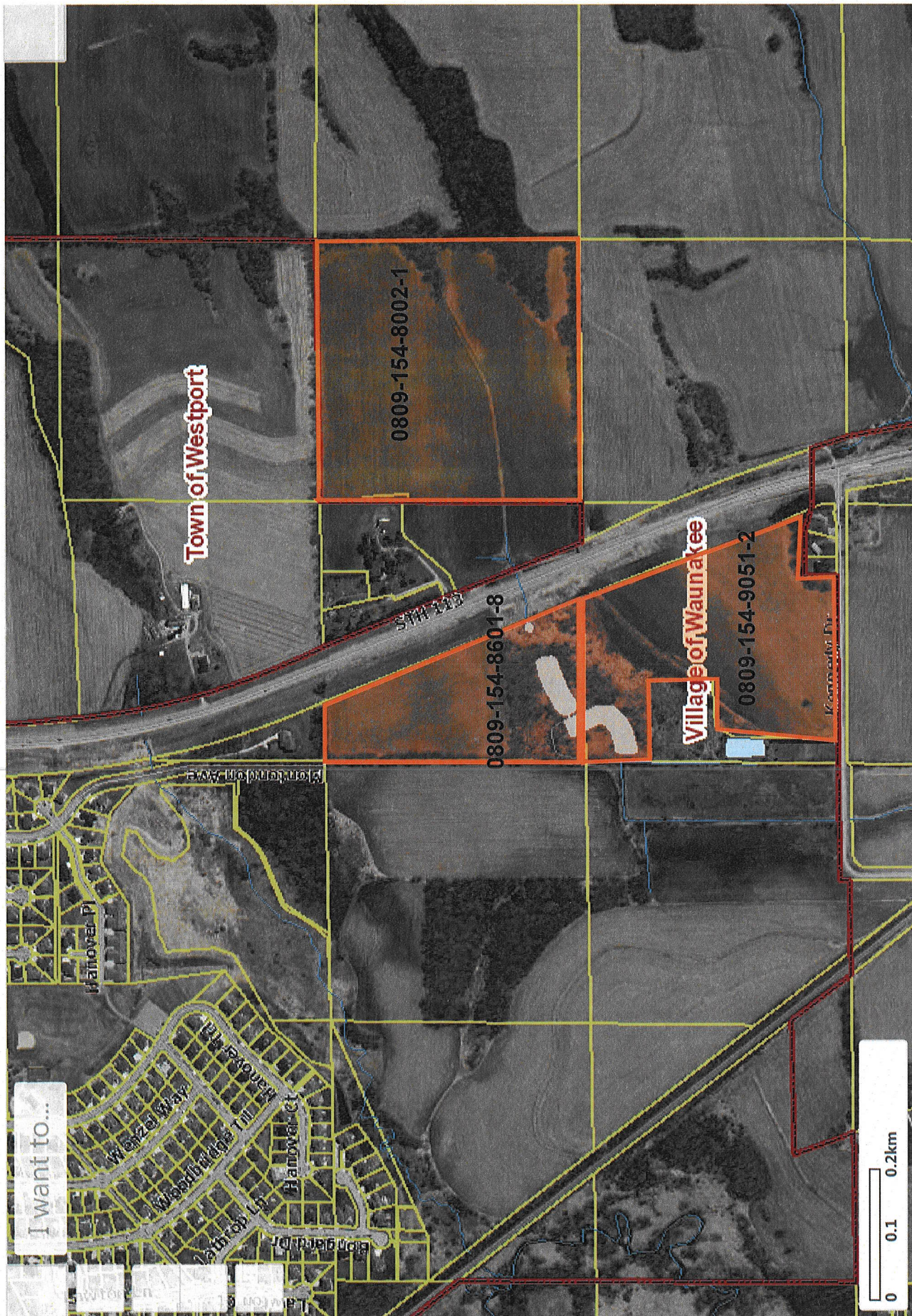
ALSO

Parcels of land located in the NW  $\frac{1}{4}$  of the SE  $\frac{1}{4}$  and the SW  $\frac{1}{4}$  of the SE  $\frac{1}{4}$ , Section 15, T8N, R9E, Village of Waunakee, Dane County, Wisconsin, more particularly described as follows:

Commencing at the South  $\frac{1}{4}$  corner of said Section 15; thence northerly along the west line of said SE  $\frac{1}{4}$ , 1010.00 feet to the northwest corner of C.S.M. No. 3379 and the point of beginning; thence continuing northerly along said west line, 1637 feet, more or less, to the northwest corner of said SE  $\frac{1}{4}$ ; thence easterly along the north line of said SE  $\frac{1}{4}$ , 306.50 feet to the westerly right of way line of S.T.H. 113; thence southeasterly along said westerly right of way line, 2673 feet, more or less, to the northerly line of a parcel described in Document Number 1320466 and the limits of the Village of Waunakee; thence northwesterly along said northerly line and said village limits, 121 feet more or less; thence westerly continuing along a northerly line of a parcel described in said Document Number 1320466 and the extension thereof and said village limits, 238.4 feet to the west line of a parcel described in Document Number 3173111; thence southerly along said west line and said village limits, 164.6 feet to the north right of way line of Kennedy Drive; thence westerly along said north line and said village limits, 833 feet, more or less, to the easterly line of said C.S.M. No. 3379; thence northerly along said easterly line, 537.43 feet; thence northerly continuing along the easterly side of said C.S.M., 106.19 feet; thence easterly continuing along said easterly side, 240.06 feet; thence northerly continuing along said easterly side, 332.78 feet to the north of said C.S.M.; thence westerly along said north line, 420.00 feet to the point of beginning. This description contains 43.3 acres, more or less.

April 28, 2015

Search...





# WILLIAMSON SURVEYING & ASSOCIATES, LLC

104A WEST MAIN STREET, WAUNAKEE, WI 53597

NOA T. PRIEVE and CHRIS W. ADAMS

PHONE: 1-608-255-5705 WEB: WILLIAMSONSURVEYING.COM

The NE  $\frac{1}{4}$  of the SE  $\frac{1}{4}$ , Section 15, T8N, R9E, Village of Waunakee, Dane County, Wisconsin.

ALSO

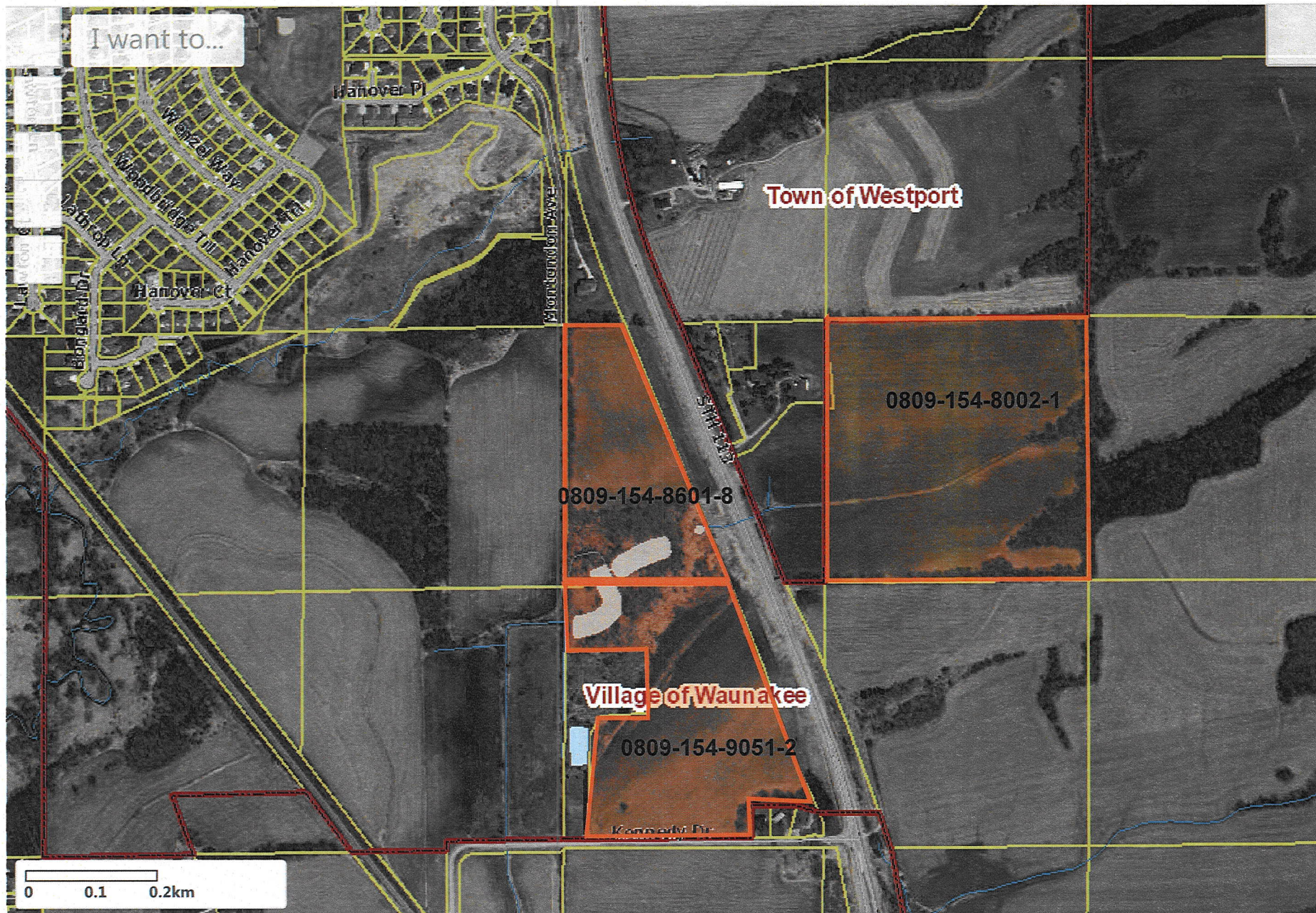
Parcels of land located in the NW  $\frac{1}{4}$  of the SE  $\frac{1}{4}$  and the SW  $\frac{1}{4}$  of the SE  $\frac{1}{4}$ , Section 15, T8N, R9E, Village of Waunakee, Dane County, Wisconsin, more particularly described as follows:

Commencing at the South  $\frac{1}{4}$  corner of said Section 15; thence northerly along the west line of said SE  $\frac{1}{4}$ , 1010.00 feet to the northwest corner of C.S.M. No. 3379 and the point of beginning; thence continuing northerly along said west line, 1637 feet, more or less, to the northwest corner of said SE  $\frac{1}{4}$ ; thence easterly along the north line of said SE  $\frac{1}{4}$ , 306.50 feet to the westerly right of way line of S.T.H. 113; thence southeasterly along said westerly right of way line, 2673 feet, more or less, to the northerly line of a parcel described in Document Number 1320466 and the limits of the Village of Waunakee; thence northwesterly along said northerly line and said village limits, 121 feet more or less; thence westerly continuing along a northerly line of a parcel described in said Document Number 1320466 and the extension thereof and said village limits, 238.4 feet to the west line of a parcel described in Document Number 3173111; thence southerly along said west line and said village limits, 164.6 feet to the north right of way line of Kennedy Drive; thence westerly along said north line and said village limits, 833 feet, more or less, to the easterly line of said C.S.M. No. 3379; thence northerly along said easterly line, 537.43 feet; thence northerly continuing along the easterly side of said C.S.M., 106.19 feet; thence easterly continuing along said easterly side, 240.06 feet; thence northerly continuing along said easterly side, 332.78 feet to the north of said C.S.M.; thence westerly along said north line, 420.00 feet to the point of beginning. This description contains 43.3 acres, more or less.

April 28, 2015

Search...

I want to...



**VILLAGE OF WAUNAKEE**

ORDINANCE NO. \_\_\_\_\_

*AN ORDINANCE PROVIDING FOR THE DETACHMENT OF A PORTION  
OF THE VILLAGE OF WAUNAKEE TO THE TOWN OF WESTPORT  
AND A REZONING OF THE DETACHED TERRITORY*

## RECITALS

- A. On \_\_\_\_\_, 2015, a Petition for Detachment (the “Petition”) was timely filed with the Village of Waunakee Village Clerk. Attached hereto and incorporated herein as Exhibit A is the legal description of the territory (the “Territory”) proposed to be detached from the Village of Waunakee (the “Village”) and annexed to the Town of Westport (the “Town”). Attached hereto and incorporated herein as Exhibit B is a scale map reasonably showing the boundaries of the Territory.
- B. A Notice of Intent to Circulate a Detachment Petition for the Territory was published as a class 1 notice under Chapter 985 of the Wisconsin Statutes on \_\_\_\_\_, 2015.
- C. The Petition has been signed by Capaul Investments Limited Partnership (the “Owner”), which is the sole owner of the Territory.
- D. The Territory proposed to be detached is contiguous to the Town and is located in the Waunakee-Westport Joint Planning Area (the “JPA”).
- E. The Owner has requested that the Territory be rezoned to A-1E Exclusive Agriculture. The Territory is currently zoned A-1 Agricultural/Holding.
- F. Pursuant to sections 61.35 and 62.23 of the Wisconsin Statutes, the Village Board of the Village of Waunakee has the authority to rezone land within its jurisdiction, including the JPA.
- G. On \_\_\_\_\_, 2015, the Waunakee-Westport Joint Planning Commission held a public meeting regarding the proposed detachment of the Territory from the Village and annexation of the Territory to the Town, and the proposed rezoning of the Territory. The Joint Planning Commission recommended that the Territory be detached from the Village and annexed to the Town, and also recommended that the Territory be rezoned A-1E Exclusive Agriculture.

### ITEM #3.

- H. On \_\_\_\_\_, 2015, the Village Board held a public hearing regarding the proposed rezoning of the Territory to A-1E Exclusive Agriculture at which citizens were provided an opportunity to comment on the proposed rezone. The public hearing was preceded by the publication of a class 2 notice under chapter 985 of the Wisconsin Statutes.
- I. The Village Board has determined that it is in the public interest to approve the Petition detaching the Territory from the Village and to rezone the Territory to A-1E Exclusive Agriculture, contingent upon the Town accepting the annexation of the Territory within 60 days of the adoption of this Ordinance. If the Town fails to accept the annexation of the Territory within 60 days of the adoption of this Ordinance, the Petition shall be deemed rejected, all actions and proceedings taken for detachment shall be void, and the rezoning of the Territory shall not occur.

*NOW, THEREFORE, the Village Board of the Village of Waunakee, Dane County, Wisconsin, do ordain as follows:*

1. Territory Detached. Pursuant to section 66.0227 of the Wisconsin Statutes and the Petition, the Territory is detached from the Village of Waunakee, contingent upon the Town of Westport accepting the annexation of the Territory within 60 days of the adoption of this Ordinance.
2. Territory Rezoning. The Territory is rezoned to A-1E Exclusive Agriculture, contingent upon the Town of Westport accepting the annexation of the Territory within 60 days of the adoption of this Ordinance.
3. Clerk Duties. Besides fulfilling the usual and normal duties upon adoption of an ordinance, the Village Clerk of the Village of Waunakee is hereby also directed to notify the Town Clerk of the Town of Westport of the adoption of this Ordinance. Failure to give the requisite notice shall not invalidate this Ordinance.

*The foregoing ordinance was duly adopted by the Village Board of the Village of Waunakee by a vote of three-fourths of all the members of the Village Board at a regular meeting held on the \_\_\_\_\_ day of \_\_\_\_\_, 2015.*

APPROVED:

\_\_\_\_\_  
Chris Zellner, Village President

ATTEST:

\_\_\_\_\_  
Julee Helt, Village Clerk

# ITEM #3.

## TOWN OF WESTPORT

ORDINANCE NO. \_\_\_\_\_

*AN ORDINANCE ACCEPTING THE TERMS OF THE VILLAGE OF WAUNAKEE  
PROVIDING FOR THE DETACHMENT OF TERRITORY IN  
THE VILLAGE OF WAUNAKEE TO THE TOWN WESTPORT*

### RECITALS

- A. On \_\_\_\_\_, 2015, the Village of Waunakee (the “Village”) adopted Ordinance No. \_\_\_\_ (the “Village Ordinance”). The Village Ordinance, along with Exhibits A and B to the ordinance, is attached hereto and incorporated herein as Exhibit 1 to this Ordinance.
- B. The Village Ordinance detached the land described in Exhibit A and shown on Exhibit B (the “Territory”) from the Village and proposed that the Territory be annexed to the Town of Westport (the “Town”).
- C. The Village Ordinance is contingent upon the Town accepting the annexation of the Territory within 60 days of the adoption of the Village Ordinance.
- D. The Town Board of the Town of Westport finds that the Territory is contiguous to the Town, is located in the Waunakee-Westport Joint Planning Area, and that:
- (1) The detachment will contribute to and facilitate the orderly growth and development of the Town and the Territory.
  - (2) The detachment will provide and facilitate overall planning in the Town and within the Territory in a manner conducive to the welfare of the Town.
  - (3) The population of the Territory is \_\_\_\_.
- E. On \_\_\_\_\_, 2015, the Waunakee-Westport Joint Planning Commission held a public meeting and recommended that the Territory be detached from the Village and annexed to the Town.

*NOW, THEREFORE, the Town Board of the Town of Westport, Dane County, Wisconsin, hereby ordains as follows:*

**SECTION 1. *Acceptance of Detachment Ordinance.*** In accordance with section 66.0227 of the Wisconsin Statutes, the terms of the Village Ordinance, adopted by the Village Board of the Village of Waunakee on \_\_\_\_\_, 2015, are accepted, and the territory described therein is hereby detached from the Village and attached to the Town.

**SECTION 2. *Notice of Acceptance.*** Besides fulfilling the usual and normal duties upon adoption of an ordinance, the Town Clerk is hereby also directed to notify the Village Clerk of the Village of Waunakee of the enactment of this Ordinance. Failure to give the requisite notice shall not invalidate this Ordinance.

**SECTION 3. *Other Clerk Duties.*** The Town Clerk is hereby directed, pursuant to the provisions of section 66.0217(9)(a) of the Wisconsin Statutes, to immediately file certain documents (a certified copy of this ordinance, a certificate describing the territory which was detached, and its associated population) with the following: the Wisconsin Secretary of State, each company that provides utility service in the area detached, the Register of Deeds, and the clerk of any affected school district.

**SECTION 4. *Effective Date.*** This Ordinance shall become effective upon passage and publication pursuant to law.

**SECTION 5. *Severability and Conflict.*** If any section or part of this Ordinance is adjudged unconstitutional or invalid by a court of competent jurisdiction, the remainder of this ordinance shall not be affected thereby.

### ITEM #3.

*The above and foregoing Ordinance was duly approved this \_\_\_\_ day of \_\_\_\_\_, 2015, at a regular meeting of the Town Board of Supervisors of the Town of Westport, Dane County, Wisconsin, by a vote of \_\_\_\_ ayes, \_\_\_\_ nays, and \_\_\_\_ not voting (absent).*

APPROVED

By: \_\_\_\_\_  
John A. Van Dinter, Chair

Attest: \_\_\_\_\_  
Thomas G. Wilson,  
Attorney/Administrator/Clerk-Treasurer

Approved: \_\_\_\_\_  
Published: \_\_\_\_\_

Attachments: Exhibit 1 – Village of Waunakee Ordinance No. \_\_\_\_.  
Exhibit A – Legal Description  
Exhibit B – Map