



**VILLAGE OF WAUNAKEE / TOWN OF WESTPORT
JOINT PLAN COMMISSION
Town of Westport Community Rm., 5387 Mary Lake Road
March 12, 2019 6:00 PM**

Agendas may change prior to the commencement of the meeting.
Please check the posting board at the Village Hall, 500 W. Main Street,
Waunakee, Wisconsin for the current agenda.

AGENDA

CALL TO ORDER

ROLL CALL: Ken Sipsma, Dean Grosskopf, Eileen Bruskewitz, Brad Zeman, Brian Malich, Tim Black, Chris Thomas (Alternate)

MINUTES

- 1 September 11, 2018**
- 2 December 11, 2018**

PUBLIC COMMENT ON ITEMS NOT ON THE AGENDA

OLD BUSINESS

- 1 Public Hearing and Discussion/Action on a Request by Drumlin Ridge Farm Vineyards LLC to Amend the Existing Conditional Use Permit for 6000 River Road**
- 2 Public Hearing and Discussion/Action on a Request by Wisconsin Scaryland to Extend the Original Conditional Use Permit for County Highway M for an Additional Two Years**
- 3 Westport Commercial Development Design Guidelines Discussion/Recommendation**

NEW BUSINESS

- 1 Public Hearing and Discussion/Action on Woodland Crest General Development Plan and Zoning Related to the Annexation Petition**



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- 2 **Discuss and Take Action on Annexation Petition, Preliminary Plat, and Final Plat for Woodland Crest**
 - 3 **Public Hearing and Discussion/Action on an Amendment to the Kilkenny Commons General Development Plan for Setbacks**
 - 4 **Discuss and Take Action on Specific Implementation Plan for The Laurel at Kilkenny Multi-Family Development**
 - 5 **Initial Consultation, Rezone to allow Duplex Condominium on Single Family Lot, Lot 15 Rankin Lane, Town of Westport**

ADJOURN

Any person who has a qualifying disability as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format should contact the municipal clerk at (608) 850-8500, 500 West Main Street, Waunakee, Wisconsin, at least twenty-four hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

VILLAGE OF WAUNAKEE BOARD AND PLAN COMMISSION MEETING TOWN OF WESTPORT BOARD AND PLAN COMMISSION MEETING

Notice is hereby given that the Village or Town Board or Village or Town Plan Commission may attend this meeting. No action will be taken by the Village or Town Board or Village or Town Plan Commission at this meeting.

Next scheduled meeting is 4/9/2019 6:00:00 PM.

**VILLAGE OF WAUNAKEE/TOWN OF WESTPORT
JOINT PLAN COMMISSION MEETING
500 West Main Street
September 11, 2018 6:00 PM**

Meeting Minutes

CALL TO ORDER

ROLL CALL: Ken Sipsma, Dean Grosskopf, Eileen Bruskewitz, Brad Zeman, Brian Malich, Tim Black

MINUTES

1 August 14, 2018

Motion by Dean Grosskopf to To Approve , seconded by Brian Malich. Motion carried unanimously:
Ayes: Eileen Bruskewitz, Dean Grosskopf, Ken Sipsma, Brian Malich, Chris Thomas
Not Present: Tim Black, Pat McGowan

Motion Pass. For: 5 - Eileen Bruskewitz, Dean Grosskopf, Ken Sipsma, Brian Malich, Chris Thomas, Against: 0, Absent: 2.

PUBLIC COMMENT

NEW BUSINESS

1 Initial Consultation, Mini Storage Units, Spahn, 5490 CTH Q, Town of Westport

Mike Spahn presented plan and responded to questions. Members were not favorable to a rezone, but directed applicant to work with staff on possible alternatives for this site. Consultation only. No formal action taken.

2 Initial Consultation, Dremsa, Proposed Additional Residence on Lot located at 5846 Endres Road, Town of Westport

Applicant was not present for the meeting. Mr. Wilson informed the Joint Plan Commission members that the Town Plan Commission had not shown support for the proposal the previous evening. No action required.

3 Public Hearing and Discussion Action on A request to Amend the GDP for Kilkenny Farms Commons to Consolidate 82 Multi-Family Units Previously Approved for Lots 263/264 to Lot 2 of CSM 14357

Motion by Dean Grosskopf to To Approve Recommend approval of the Kilkenny Farms Commons GDP Amendment, as recommended by the Village Plan Commission, to the Village Board., seconded by Brian Malich. Motion carried unanimously:

Ayes: Dean Grosskopf, Ken Sipsma, Brian Malich, Chris Thomas
Not Present: Eileen Bruskewitz, Tim Black, Pat McGowan

Motion Pass. For: 4 - Dean Grosskopf, Ken Sipsma, Brian Malich, Chris Thomas, Against: 0,
Absent: 3.

4 Woodland Drive/Peaceful Valley Parkway Public Informational Meeting Update

Staff gave an update on the upcoming meeting. No action necessary.

ADJOURN

Respectfully Submitted,

**VILLAGE OF WAUNAKEE/TOWN OF WESTPORT
JOINT PLAN COMMISSION MEETING
Town of Westport Community Room
5387 Mary Lake Road, Town of Westport
December 11, 2018 6:00 PM**

Meeting Minutes

CALL TO ORDER

The meeting was called to order at 6:01 p.m.

ROLL CALL:

Present: Ken Sipsma, Dean Grosskopf, Eileen Bruskewitz, Brad Zeman, Brian Malich, Chris Thomas

Absent: Tim Black

Also Present: Tom Wilson, Kevin Even, Bryan Kleinmaier, Ed Freer, Don Tierney, Jerry Tierney, Mike Lawton, Paul Kardatzke, Derrek Kinzel

MINUTES

1 September 11, 2018

Motion Bruskewitz, second Grosskopf, to defer the minutes to the next meeting to confirm that they are correct. Motion carried.

PUBLIC COMMENT: None

NEW BUSINESS

1 Discuss and Take Action on Certified Survey Map, Site Plan and Specific Implementation Plan for Boston Pizza, Kilkenny Farms Commons

Mr. Even presented the plans and gave an update on the Plan Commission from the previous evening. Motion Grosskopf, second Zeman, to approve the CSM as recommended by the Village Plan Commission. Motion carried. Motion Bruskewitz, second Zeman, to approve the site plan and SIP as recommended by the Village Plan Commission. Motion carried.

2 Initial Consultation, Kilkenny Farms West General Development Plan and Certified Survey Map

Don and Jerry Tierney presented a conceptual proposal for a grocery store and separate convenience store within the proposed CSM. No action necessary.

3 Discuss and Take Action on 4-Lot CSM, Kilarney Way, Kilkenny Farms

Motion Zeman, second Bruskewitz, to recommend approval of the CSM to the Village and Town Boards. Motion carried.

ADJOURN

Motion Grosskopf, second Malich, to adjourn the meeting at 6:38 p.m.

Respectfully Submitted:

Tracy Meinholz, Joint Plan Commission Secretary



WAUNAKEE/WESTPORT JOINT PLAN COMMISSION SUMMARY SHEET

MEETING DATE: 03/12/2019

ITEM: New Business No. 1

TITLE: Public Hearing and Discussion/Action on a Request by Drumlin Ridge Farm Vineyards LLC to Amend the Existing Conditional Use Permit for 6000 River Road

ISSUE SUMMARY: The original CUP was approved in 2015. They are now seeking expanded hours, larger group gatherings and other minor clarifications to the existing permit. This has been noticed as a public hearing and the neighbors have been notified of the meeting.

STAFF RECOMMENDATION: Staff recommends holding the public hearing to take comments from the public. Pending the outcome of the public hearing, but based on the written comments received staff recommends approval of the CUP amendment.

RECOMMENDED MOTION: None.

ATTACHMENT(S): Application for amendment and original CUP documents.



DRUMLIN RIDGE FARM VINEYARDS
6000 River Road

DISCLAIMER: The Village of Waunakee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 244'

VILLAGE OF WAUNAKEE
500 W. Main St
Waunakee, WI 53597
(608) 850-8500

Print Date: 2/5/2019

Drumlin Ridge Farm Vineyards LLC

6000 River Road
Waunakee, WI 53597
January 11, 2019

Village of Waunakee
Planning/Zoning Department
500 West Main Street
Waunakee, WI 53597

Town of Westport
5387 Mary Lake Road
Waunakee, WI 53597

Re: Application for Amendment of
Conditional Use Permit Restriction
Agreement recorded with the Dane
County Register of Deeds on September
14, 2015 as Document Number 5283715
(the "CUP")

Ladies and Gentlemen;

Drumlin Ridge Farm Vineyards LLC, owner of the real estate identified in the above-referenced CUP, hereby respectfully submits its Application for Amendment to the CUP. As you know, the Drumlin Ridge Winery has been operating at 6000 River Road for well over a year now and has enjoyed success from the beginning. Over the time we've been operating, we've learned a great deal about our business and our place in the community. As such, we have found that our customers, primarily members of the Waunakee – Westport municipalities, happily want to see more of us! And, fortunately for us, we want to see more of them. The enclosed Application for Amendment to CUP articulates certain changes to our CUP which will allow the flexibility to give our community just what they have consistently asked of us. We are confident that these requested changes comply with Wisconsin law and the Waunakee ordinance for conditional uses, but also further our goals of remaining a successful winery and agribusiness of the highest standards right here in the Town of Westport.

Of primary importance to our clientele, many of whom are our neighbors along River Road and the subdivisions thereon, we are requesting more flexibility in our hours of operation and occupancy limits to better serve our community. Our building was designed for occupancy in excess of the limit set forth in our original CUP. Of course, we are naturally limited by the restriction for parking on River Road. In addition, our occupancy is limited by the fire code for our building and the size of our parking area. The Town fire inspector has visited Drumlin Ridge Winery and concluded after measuring our space that we have capacity for 100 guests inside our building and within the enclosure on our patio, though we did not receive a written report to include with our current Application for Amendment to the CUP. We've enclosed a site plan of Drumlin Ridge Winery which demonstrates that our parking and overflow parking (overflow parking is not currently paved) exceeds the applicable ordinance relating to the legal occupancy of our structure. We are confident that we can accommodate the maximum number of guests our

building would allow without any burden on parking or the neighborhood surrounding Drumlin Ridge Winery. Further, we believe that more flexibility in our hours, changing our restriction to be consistent with applicable Wisconsin Statutory restriction for wineries, will allow better service for our clientele without any additional burden to our neighbors. Our history proves this. Our original restrictions were based upon speculation and were intended to assure our neighbors that Drumlin Ridge Winery could not operate as a bar. Drumlin Ridge Winery has proven that its mission is to provide our community with a working vineyard, winery and tasting room of the highest standards. Drumlin Ridge Winery is not a bar. Allowing flexibility in these ways allows Drumlin Ridge Winery to further advance our mission and to better serve our community.

Our enclosed proposed Application and Amendment to CUP also includes other requested changes to our CUP intended to clarify language relating to entertainment, marketing, outdoor lighting and construction compliance. We don't anticipate any of these changes to raise any concerns nor do they conflict in any material way with the original intent of the CUP. However, during our operations over the past year, we have found some of the original CUP language confusing to interpret; and these changes are being requested to clarify the language for purposes of both compliance by Drumlin Ridge Winery and enforcement by the Village and the Town.

Enclosed, please find the following documentation and information:

1. Our Conditional Use Permit Application.
2. A copy of our original CUP.
3. A copy of our proposed Amendment to CUP.
4. A copy of our site plan showing our parking layout and overflow parking location, prepared by Quam Engineering, LLC, 4604 Siggelkow Road, Suite A, McFarland, WI 53558.
5. The application fee of \$350.00.
6. The list of names and addresses of neighbors within 100 feet of the Drumlin Ridge Winery property are attached as Exhibit A. We invited all of the neighbors on the attached list, and several others to join us for a special neighborhood open house during which we discussed our requested changes. We feel that generally our neighbors are in support of our requests. Attached on Exhibit B includes a list of the questions or concerns raised at our open house by three or four of the neighboring couples and some ideas regarding how we can address.
7. This letter shall serve as our statement that we believe our proposed Amendment to CUP, if adopted as drafted, complies with Section 133-936 of the Village of Waunakee Ordinances and Wisconsin State law.
8. Drumlin Ridge Winery currently has 8 employees.
9. We are not currently requesting to make any changes to our building or parking, though we are would be agreeable to improving our overflow parking. To date, use of our overflow parking has been extremely limited, even during events where we accommodated parking for our maximum number of guests.

Thank you for considering our request. We look forward to answering your questions and addressing your concerns.

Sincerely,

A handwritten signature in blue ink, appearing to be 'DK' or similar, written over a horizontal line.

Dave and Brenda Korb,
Drumlin Ridge Farm Vineyards LLC
Drumlin Ridge Winery LLC

EXHIBIT A

Neighbors within 100 feet of Drumlin Ridge Winery Property

Mark and Mary Ripp
6030 River Road
Waunakee, WI 53597

Doug and Renee Riendl
6036 River Road
Waunakee, WI 53597

Joann Koster
6078 River Road
Waunakee, WI 53597

Herbert and Kay Beck (farmland only, no building)
6053 Templeton Drive (mailing address)
Waunakee, WI 53597

Helen and Mark Pullen
5995 River Road
Waunakee, WI 53597

Hamid and Charlene Khazae
5985 Cherokee Valley Pass
Waunakee, WI 53597

Richard and Patricia Teslaw
5966 Cherokee Valley Pass
Waunakee, WI 53597

David and Brenda Korb
5972 Cherokee Valley Pass
Waunakee, WI 53597

EXHIBIT B

Neighborhood Questions, Concerns and Commentary

Question/Concern Raised by Neighbors	Commentary
Concern that later hours will disrupt residential feel of neighborhood	<p>- Sound does not appear to be of issue; generally the neighbors had no complaints about noise. It was mentioned that music could be heard on occasion. DRW remains committed to complying with the applicable sound ordinance.</p> <p>- Lighting is of concern to the neighbors. DRW rarely uses outdoor lighting during summer hours, therefore we believe this must be an issue during late fall and winter months when the sun sets early. We expect that during those colder months, our neighbors likely spend less time outdoors anyway and are less likely to be bothered by lighting. Also, because business during winter months is slower, DRW anticipates the possibility for adjustments to its hours of business which may actually decrease the number of evenings when parking lot lights will be on or the number of hours during which they will be on. DRW will also look into ways it can reduce lighting in the parking lot, including the possibility of switching each light separately so only the minimum number of outdoor lights necessary would be on in the evenings. Finally, and most importantly, substantial vegetation exists and has been planted which should further mitigate this issue as the vegetation grows.</p> <p>- Concern about parking on River Road was mentioned as an issue. With the exception of one time when overflow parking was too wet to use, DRW guests have never parked on River Road. DRW has installed signage to advise our guests of that restriction and have located orange cones to draw attention to the signage. DRW is amenable to improving its overflow parking areas if necessary, and has used mulch to mitigate the mud in the overflow area making that parking available when necessary. To date, the overflow parking areas are rarely necessary, even during permitted special events when up to 75 guests are permitted.</p> <p>- Concern about traffic was mentioned as an issue. DRW does occasionally have a near full parking lot (which rarely includes parking in the overflow areas), however, the ebb and flow of traffic at DRW does not generate a substantial increase in traffic on River Road at any one particular time or at all. Traffic generated by DRW pales in comparison to traffic generated by Madison Country Day School during the school year, CaPaul's Christmas Tree Farm during November/December and Mills Fleet Farm all year now that that business has opened.</p>
Concern about use of neighbor's driveways to turnaround	<p>- DRW has a substantial and well-lit sign on River Road indicating the entrance to the property, so we were very surprised to hear that this was an issue. It has come to our attention that certain mapping apps use the Korb personal residence as the address for DRW possibly causing some confusion as to where the entrance is for DRW. As DRW has discovered these issues, it has advised the mapping app administrators of the error and the location for DRW has been corrected. DRW is amenable to adding signage to further indicate</p>

Question/Concern Raised by Neighbors	Commentary
	where the entrance to the property is located, however, we are concerned that additional signage could cause more confusion in that guests may turn at the wayfinding sign rather than the entrance sign.
Concern that advertising is intended to generate large events	- DRW does advertise and intends to continue to advertise because we want people to visit us and experience our vineyard and wines. However, virtually all of DRW small event business arises from small neighborhood or community based organizations in the Westport and Waunakee area wishing to use the facility for meetings. Some examples include: bank board meetings, a group of parents of pre-schoolers, small business associations, etc. DRW does not wish to and cannot, host large events due to the parking and occupancy restrictions that apply to the building, which restrictions cannot be modified as they are outside the CUP restrictions.
Questions were raised about the amount of wine produced	- DRW is an agribusiness and boutique winery that makes wine on the premises. All of our production for our locally grown grapes is on site. DRW only sells wine on site and does not distribute to local restaurants or retail outlets. As with all agriculture business, we are dependent upon weather which is beyond our control, DRW does produce and store wine in order to ensure that we will have wine during periods of time when our vineyard production is low.



Village of Waunakee
Planning/Zoning Department
500 W. Main Street
Waunakee, WI 53597
Phone (608) 850-8500
Fax (608) 849-5628

Conditional Use Permit Application

APPLICANT

Drumlin Ridge Farm Vineyards LLC

ADDRESS

6000 River Road

Waunakee WI 53597

CONTACT PHONE #

608 849 9463

EMAIL ADDRESS

info@DrumlinRidgeVineyards.com

PROJECT LOCATION

6000 River Road, Waunakee

ZONING CLASS

Aq1 holding

CONDITIONAL USE PERMIT REQUESTS SUBMITTED TO THE VILLAGE OF WAUNAKEE PLAN COMMISSION SHALL FOLLOW THE PROCEDURES LISTED BELOW.

1. Applicant meets with staff.
2. Applicant submits application **fee of \$ 350** and packet by 12:00 noon four (4) weeks prior to the Plan Commission meeting. Plan Commission meetings are regularly scheduled for the fourth Monday of the month.
3. Staff meets to review the request.
4. It is Village policy that all costs incurred by outside professional staff members will be charged to the applicant (see Village Ordinance 106-51 (c)).
5. Applicant attends Public Hearing at Plan Commission meeting and action is taken.:
 - a. Notice of Public Hearing shall be given by publication of a Class 2 Notice under WI statutes in the official Village newspaper.
 - b. Owners of properties within one hundred (100) feet of affected property shall be notified at least five (5) days prior to the date of Public Hearing.

THE UNDERSIGNED CERTIFIES THAT HE/SHE HAS FAMILIARIZED HIMSELF/HERSELF WITH THE STATE AND LOCAL CODES AND PROCEDURES PERTAINING TO THIS APPLICATION. THE UNDERSIGNED FURTHER HEREBY CERTIFIES THAT THE INFORMATION CONTAINED IN THIS APPLICATION IS TRUE AND CORRECT.

SIGNED: _____

(OWNER OR OWNER'S AUTHORIZED AGENT'S SIGNATURE)

FOR VILLAGE USE ONLY:

DATE RECEIVED: _____

FEE PAID: _____

RECEIPT NUMBER: _____

LICENSED TO PREFERRED TITLE LLC AND NOT FOR SUBLICENSE, RELICENSE OR ANY OTHER TRANSFER

CONDITIONAL USE PERMIT RESTRICTION AGREEMENT

(Korb Winery, Waunakee ETZ)

WHEREAS, David Korb and Brenda Korb (the "Owner"), are the record title Owner of the property described below and, located in the Town of Westport, Dane County, Wisconsin (hereinafter called the "Property"):

Sec 12, T 08 N, R 09 E, SE ¼ of NW ¼,
Lot 3, CSM 454, Town of Westport, Dane County,
Wisconsin.

WHEREAS, the Owner has petitioned the Town of Westport (the "Town") and the Village of Waunakee (the "Village") for a Rezoning to A1 and a Conditional Use Permit ("CUP") to Allow a Winery on the Property; and,

WHEREAS, the Town and Village have approved of this rezoning and CUP as meeting the standards of Section 106-847, Village Code, subject to the conditions and restrictions as listed below.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, this Agreement is entered into among the Owner and the Town, and these parties agree as follows:

The Town and Village approve the CUP as requested by the Owner for the allowance of a Winery by application submitted on or about March 29, 2015, subject to the following restrictions and conditions:

1. The Property is hereby restricted for no further land division.
2. The Property is hereby restricted to provide for the building locations and sizes generally as shown on the site plan attached hereto at Exhibit A, and no additional buildings shall be allowed without prior approval of the Town Board. All buildings located upon the Property and used in the Winery business shall be referred to herein as "Winery Premises Structures."
3. The design, scale, and character of the Winery Premises Structures shall be compatible with the intended use. Winery Premises Structures shall not use an exterior design style typically associated with large industrial facilities. Structures shall be consistent with the design review approved at Exhibit B.
4. The visibility of Winery Premises Structures from residential streets shall be accentuated through the use of landscaping and other screening devices to help with the retention of the character of the area in conformance with the landscape plan at Exhibit C.
5. The height of any Winery Premises Structure shall be limited to 35 feet. The height limit may be increased to 45 feet where a pitched roof of greater than four in 12 (rise to run) is proposed and at least 50 percent of the aggregate of all Winery Premises Structures located upon the Winery Premises is limited to a height of 35 feet or less.
6. Exterior lighting fixtures shall be of a low intensity and shall be fully shielded with full cut off



8 9 0 3 2 7 6
Tx:8695837

KRISTI CHLEBOWSKI
DANE COUNTY
REGISTER OF DEEDS

DOCUMENT #
5183715

09/14/2015 2:30 PM

Trans. Fee:

Exempt #:

Rec. Fee: 30.00

Pages: 38

Return to:
Thomas G. Wilson
Town Attorney/Administrator
5387 Mary Lake Road
Waunakee, WI 53597

Parcel Identification No's.
0809-123-8460-6

design and directed downward to ensure that neither the lamp nor the related reflector interior surface is visible from a location off of the Winery Premises in order to prevent spill over onto adjacent lots under separate ownership. Pole lighting fixtures shall be used only for Special Events. Exterior lighting shall not be installed or operated in a manner that would throw light, either reflected or directly, in an upward direction. Lighting shall conform to the lighting plan at Exhibit D.

7. The number, size, location, and design of required parking spaces shall be adequate to accommodate the permitted occupancy of the tasting rooms in conformance with Exhibit A.
8. The visibility of parking areas associated with the Winery Premises from residential streets shall be accentuated through the use of landscaping and other screening devices as shown at Exhibit C.
9. A solid waste management plan shall be submitted for review and approval by the Town Administrator.
10. A liquid waste (process wastewater from the Winery operation) management plan shall be submitted for review and approval by the Town Administrator.
11. Tasting room(s) shall be clearly incidental, accessory, and subordinate to the primary operation of the Winery as a production facility.
12. The primary focus of the Tasting Room shall be the marketing and sale of the wine produced on the Winery Premises.
13. More than one Tasting room is allowed on the Winery Premises; however, the cumulative floor area of all tasting rooms shall not exceed the floor area approved by the Town.
14. Tasting Room hours of operation shall be limited to between the hours of 10:00 a.m. and 6:00 p.m. Sunday-Thursday; 10:00 a.m. and 7:00 p.m. Friday and Saturday.
15. Wine tasting, wine consumption and food consumption may occur outside of the Tasting Room if allowed by terms of the alcohol license for the premises, but occupancy shall be limited as noted herein.
16. Retail products shall only be offered for sale within the Tasting Room.
17. Retail products may include:
 - a. Wine and fruit products produced by the Winery operator or bottled or grown on the Winery Premises, including, wine produced off-site by fruit grown off site if the production of such wine is under the supervision of the Winery operator.
 - b. Souvenirs and clothing bearing the logo of the Winery as well as wine-related items and other products that reflect or enhance the character of theme of the Winery.
 - c. Pre-packaged food.
18. All food service and food preparation facilities shall comply with all applicable Public Health Department requirements.
19. Food served at the Winery Premises may be prepared on-site or off-site.
20. Except for food served in association with Cooking Classes, Winemaker Meals and Special Events, food served at a Winery Premises shall:
 - a. Be limited to small plates or appetizer-like portions, and
 - b. Not include menu options or meal service such that the Winery Premises functions primarily as a restaurant, café, or coffee shop.
21. Food preparation facilities shall only support the permitted type of food service and permitted cooking classes, winemaker meals and special events allowed on the Property.
22. Tours, winemaker meals, cooking classes and special events shall not result in occupancy of the applicable Winery Premises Structures in excess of that which has been approved by the Town or the maximum number of Winery Visitors permitted at any one time upon the Property as a whole, as approved by the Town in connection with any issued occupancy certificate (for occupants within the Winery Premises Structures) or this Conditional Use

- Permit for the Winery Premises as a whole, as applicable.
23. Special events shall include special invited tours, winemaker meals, cooking classes and other special events, which shall be clearly secondary, subordinate and incidental to the primary agricultural uses of the Winery Premises. Only 12 Special Events shall be allowed within each calendar year, and only upon prior 2 weeks written notice to the Town Administrator which shall include a description of the Special Event. Special Events shall be limited to a total of 75 patrons, shall be ticketed events, and shall take place between the hours of 10:00 a.m. and 10:00 p.m., subject to state licensing requirements.
24. Occupancy for the entire premises shall not exceed 50 patrons at any one time during regular Tasting Room hours, except that 75 patrons for the entire premises shall be allowed for Special Events.
25. Any outdoor music must comply with Village noise levels, only occur during regular business hours or end before 8:00 p.m. for Special Events, and any music must not be audible consistent with those limits.
26. Tents for events shall not be allowed.
27. Parking shall not be allowed for use of the Property on Cherokee Valley Pass or River Road, and the Owner shall take necessary steps to prevent the same and direct users to designated parking areas.
28. The CUP shall be subject to review every 5 years from the date of this document by the Town Board or Waunakee/Westport Joint Planning Committee (the "JPC"), which shall have the authority to consider and require other conditions and restrictions should use of the Property so require additional measures for the protection of the area, in the discretion of the Town Board or JPC. This does not limit the ability of these bodies to undertake any other periodic review and further activity allowed by code or statute, or as may become necessary due to activity in violation of this agreement, the CUP, or other applicable laws.
29. Any buses, trucks, or similar larger vehicles parked for loading or unloading shall not be allowed to idle engines.

The Owner hereby agrees to pay all costs and fees incurred by the Town and Village for any and all reviews, approval requests and document preparation by the Town and Village Attorney or Engineer, or other consultants in relation to the Property.

The terms and provisions hereof shall be binding upon the undersigned, their heirs, successors, and assigns, and shall be recorded in the office of the Register of Deeds for Dane County, Wisconsin to be construed as a covenant running with the land.

This Agreement may be amended or terminated by the mutual agreement of the parties or their respective successors, assigns or heirs.

If this Agreement is terminated, then the Property shall be subject to the restrictions and requirements of the Zoning District by which the lands are designated at the time of termination and the additional restrictions and requirements provided by this Agreement shall be without any further effect.

The restrictions provided for herein shall be enforceable at law or equity against any party who has or acquires an interest in the land subject to the restriction by the following parties who are named as grantees, promisees and beneficiaries with enforcement rights:

- a. The Village Government of the Village of Waunakee, Dane County, Wisconsin, provided that

the lands are under the jurisdiction of a zoning ordinance of said Village at the time the enforcement action is commenced.

- b. The Town Government of the Town of Westport, Dane County, Wisconsin, whether or not the lands are within the governmental jurisdiction of said Town at the time of enforcement action is commenced.
- c. The County Government, Dane County, Wisconsin, provided that the lands are under the zoning jurisdiction of said County at the time the enforcement action is commenced.

13th IN WITNESS THEREOF, the parties below have hereunder set their hands and seals this day of August, 2015.

OWNER

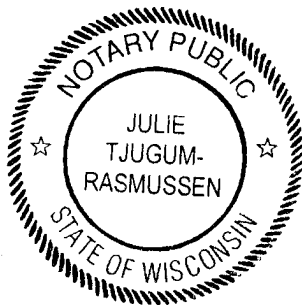
David J. Korb
David J. Korb

Brenda J. Korb
Brenda J. Korb

STATE OF WISCONSIN

COUNTY OF DANE

Personally came before me this 13th day of August, 2015, David J. Korb and Brenda J. Korb, to me known to be the persons who executed the foregoing instrument and acknowledged that they executed the same with property authority.



Julie Tjugum-Rasmussen
Notary Public, State of Wisconsin
My commission expires: 12-14-2018

TOWN OF WESTPORT

By: John A. Van Dinter
John A. Van Dinter
Town Chair

Attest: Thomas G. Wilson
Thomas G. Wilson
Attorney/Administrator/Clerk-Treasurer

STATE OF WISCONSIN

COUNTY OF DANE

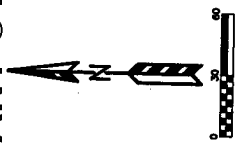
Personally came before me this 17 day of August, 2015, the above-named John A. Van Dinter, Town Chair, and Thomas G. Wilson, Town Attorney/Administrator/Clerk-Treasurer, of the Town of Westport, known to me to be the persons and officers who executed the foregoing instrument and acknowledged that they executed the same as such officers by the Town's authority.

Michelle M. Kumar
Notary Public, State of Wisconsin
My commission expires: 5/1/16

This instrument drafted by:
Thomas G. Wilson
Town Attorney/Administrator
Town of Westport
5387 Mary Lake Road, Waunakee, WI 53597

UNLAWFUL TO REPRODUCE OR TRANSMIT IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF QUAM ENGINEERING, LLC

TO OBTAIN LOCATION OF
PROJECT AND FOR
FURTHER INFORMATION
CALL 888-588-1501
TOLL FREE
QUAM ENGINEERING, LLC
4604 SIGGELKOW ROAD, SUITE A - MC FORTLAND, WISCONSIN 53558
PHONE (608) 838-7750 FAX (608) 838-7752



GENERAL NOTES

1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE EARTH SURFACE. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE REMOVED OR MODIFIED AS NECESSARY TO MAINTAIN THE STABILITY OF THE EARTH SURFACE. EROSION CONTROL MEASURES SHALL BE INSTALLED WITHIN THE SPECIFIED TIME FRAME. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE REMOVED OR MODIFIED AS NECESSARY TO MAINTAIN THE STABILITY OF THE EARTH SURFACE. EROSION CONTROL MEASURES SHALL BE INSTALLED WITHIN THE SPECIFIED TIME FRAME.

THE SCHEDULE

SEPTEMBER 1, 2015 - JULY 26, 2015
CONSTRUCTION AND EROSION CONTROL MEASURES
AND EROSION CONTROL MEASURES

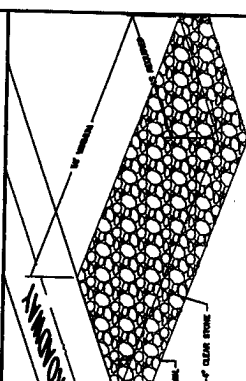
EROSION CONTROL MEASURES

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LEGEND

— = DRAINAGE ARROW

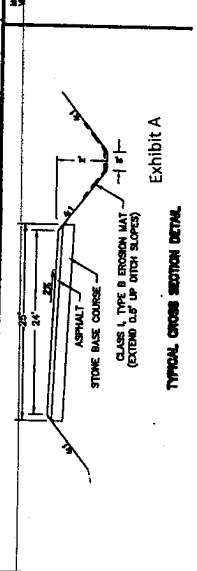
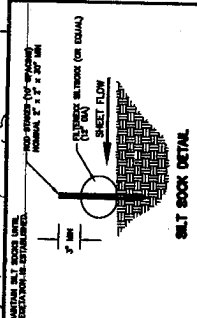
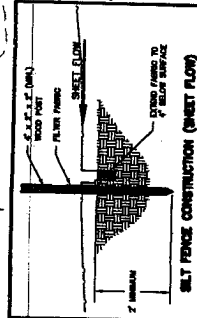
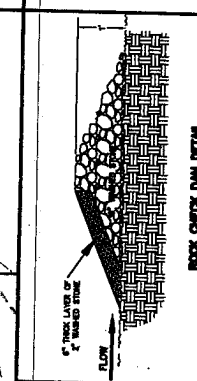
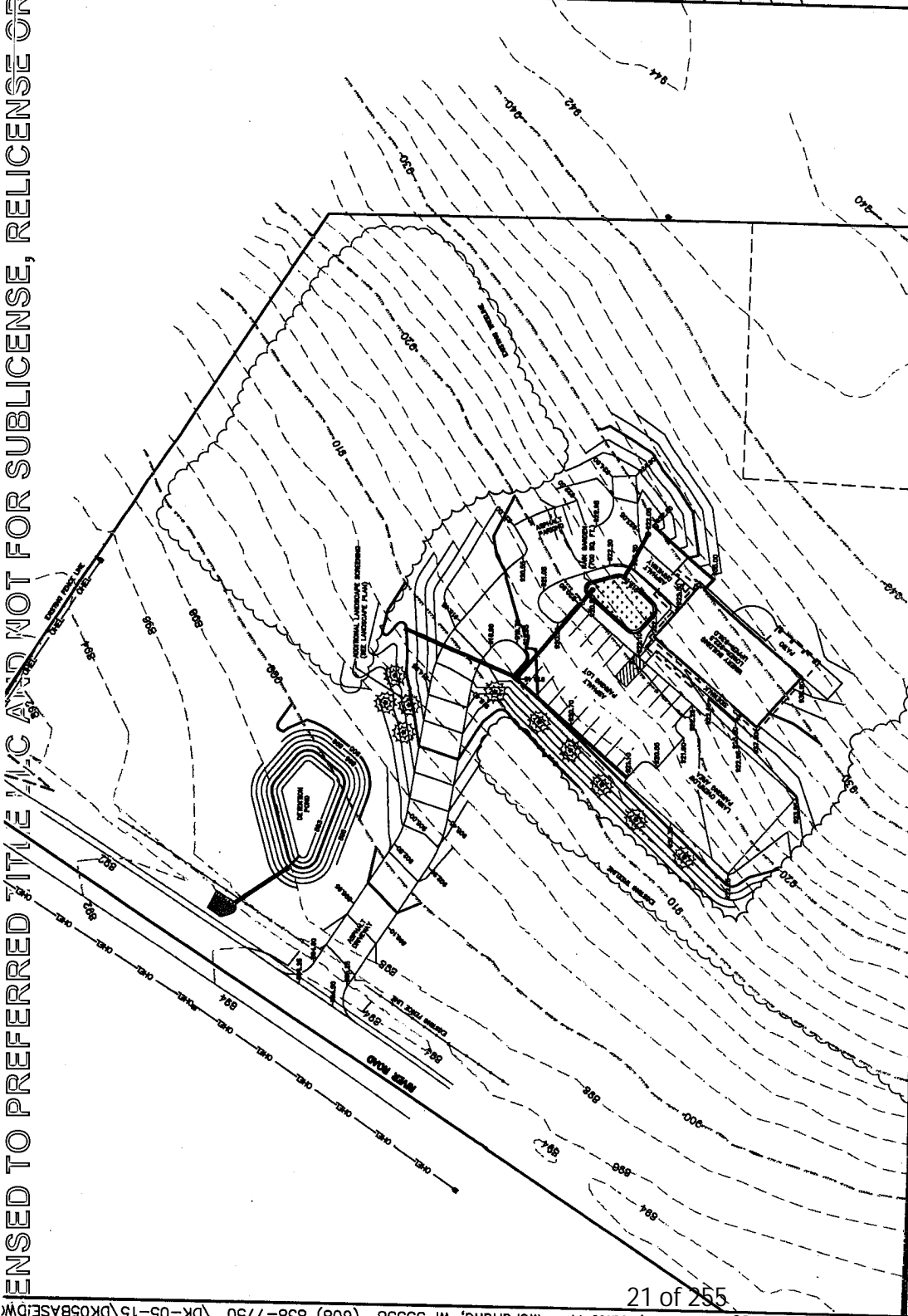
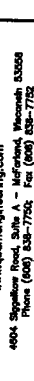
NOTES:
1) EXISTING SITE INFORMATION, AERIAL PHOTO, AND CONTOURS
OBTAINED FROM THE ACCESSORIAL RECORDS.



STONE CONSTRUCTION ENTRANCE

DRUMIN RIDGE FARM VINEYARDS - WINERY
BLOC - TOWN OF WESTPORT
PRELIMINARY GRADING & EROSION CONTROL PLAN
EXHIBIT #2
DATED: JULY 6, 2015

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750 Fax (608) 838-7752



**TOWN OF WESTPORT
DESIGN REVIEW APPLICATION
GENERAL INFORMATION**

Project: Winery

Name: Drumlin Ridge Farm Vineyards, LLC (Winery)

Address: per submitted plans north of Cherokee
Valley Pass on the east side of
River Road

Applicant:

Name: Brenda & David Korb

Address: 5972 Cherokee Valley Pass
Waunakee, WI 53597

Telephone Number: 608-251-6870

Representative:

Name: Kirk Keller

Address: 2310 Crossroads Dr.
Madison, WI

Telephone Number: 608-240-9900 x353

Date Submitted: May 15, 2015

Review Period Ends: June 30, 2015

Period Extended To:

Date of Plan Commission meetings: 6/8+9/15 (PC+JPC)

Time of meeting: 7+6 AM

7/13+14 per agreement w/owner at meetings

I agree that the following information is true to the best of my knowledge, and to abide by Town of Westport Design Review Ordinance Provisions.

By: 

Date: May 15, 2015

Exhibit B

TOWN OF WESTPORT
DESIGN REVIEW APPLICATION
APPROVAL/REJECTION FORM

Date of Approval: 7/13 + 14/15 (after partial approval
on 6/8 + 9/15)

Date of Rejection: _____

Reason for Rejection: _____

Approval Conditions: _____
Per minutes of Plan Commission and JPC attached, and plans
per CUP restriction agreement approved.
Revise lights on larger shed on Korb parcel to conform
to Town Code, similar to wine building

Signed:

TOWN OF WESTPORT
By: Shane M. Wilson 7/22/15
Town Administrator

TOWN OF WESTPORT

PLAN COMMISSION B June 8, 2015

The regular monthly meeting of the Plan Commission was called to order at 7:01 p.m. in the Community Meeting Room of the Bernard J. Kennedy Administration Building by Chair Van Dinter. Members present: Grosskopf, Manering, Ruskin, Trotter, and Van Dinter. Members absent: Bowen, Robinson. Also attending: Terry Enge, Bill von Rutenberg, Philip Croom, Manuel Mendoza, Todd Suchomel, Bob Somermeya, Bill Mazanet, Pat and Dick Teslaw, Brenda and David Korb, Rich Trotta, Bill White, Jo Ann Koster, Mary and Mark Ripp, James Hames, Hannah Korb, David Korb, Roger Endres, Keenan Korb, Dennis Petzke, Mary Binkley, Kirk Keller, Ruth Borg, Bill White, Gerald Marsden, Dennis Barman, and Tom Wilson.

There was no Public Comment on Matters not on the Agenda. The minutes of the April 13, 2015 regular meeting were approved as presented on a motion by Trotter, second Ruskin.

Enge reported on work of the Park Committee. Wilson reported on the work of the Historic Preservation Committee in Bowen=s absence.

After a brief presentation by Wilson and a review of revised plans in conformance with suggestions by the JPC, the sign Design Review, Waunakee Baptist Church Sign, 5757 Emerald Grove Lane, was approved as presented at the meeting (no clock) on a motion by Grosskopf, second Trotter.

After a brief presentation by Wilson and the owner, and after questions of the members were answered, the Design Review, Marine Warehouse Building, Mazanet Marina, North Blue Bill Park Drive (North of Summit Credit Union), was approved as presented at the meeting and consistent with suggestions by the JPC, with the addition of the pine or arbor vitae screening as presented, with no outside storage allowed once the building is utilized, and with staff to make sure no electricity to the building is appropriate through the building permit process, on a motion by Trotter, second Grosskopf.

After a brief presentation by Wilson and the owner=s representative, and after questions by the members, the Design Review, Office Addition, Skipper Bud=s, 5381 Westport Road, was approved as presented conditioned on Wilson and Bowen reviewing and approving landscaping and modifications to the front of the structure as discussed to break up the solid front, with staff and owner to address parking issues on the paved shoulder, and with any lighting added for the exit to comply with Town dark skies code, on a motion by Grosskopf, second Manering.

For the Rezone and CUP (County A-1Ex to A-1 and Winery), Korb/Drumlin Ridge Farm Vineyards LLC, 5972 Cherokee Valley Pass/River Road (Waunakee ETZ), matter (Including CUP in A-1 for A Winery@), after a brief presentation by Wilson, a presentation by the applicant and consultants, hearing comments from those in favor and opposed, and after a lengthy discussion on the items, the Plan Commission took the following actions on a motion by

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B3

Manering, second Trotter:

As to the zoning code revision to add A Winery as a CUP in the A-1 zone, recommended approval;

As to the Rezone and CUP, recommended approval in general as presented with conditions and restrictions as recommended by Wilson in his staff agenda memo, including 7 more feet of ROW dedicated along the property for River Road if necessary for a 40 foot 2 right of way, and subject to review and approval of the final CUP document by the Plan Commission; and,

As to the design review, approved the design review in concept generally with further and final approval to be given at a later Plan Commission meeting including the signs, lighting, and landscaping, conditioned on the approval of the rezone and CUP.

The applicant gave his approval for a 45 day extension on the design review action to accomplish these items.

For Waunakee/Westport Joint Planning Committee Report/Items for Action, after a brief presentation by Wilson and the Church representative, the Rezone and CSM (Church Use and Lot Line Adjustment), First Presbyterian Church, 5763 CTH Q (Waunakee JPA), was recommended for approval with the newly added Church property to be subject to the same restrictions as the current Church property, on a motion by Grosskopf, second Manering. Wilson reported on other items coming before the JPC.

Wilson and Van Dinter reported on items before the Middleton/Westport Joint Zoning Committee.

For Miscellaneous Matters or Forthcoming Events raised, Trotter presented a report on signage issues in the Town Center and the Chair said he would discuss the same with the Village President.

Motion to adjourn by Grosskopf. Second Ruskin. The meeting adjourned at 8:50 p.m.

Mary Manering, Secretary

TOWN OF WESTPORT

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B4



Village of Waunakee and Town of Westport
Joint Plan Commission

A regular meeting of the Waunakee/Westport Joint Plan Commission was held Tuesday, July 14, 2015, 6:00 p.m. at the Town of Westport Community Room, 5387 Mary Lake Road, Town of Westport.

CALL TO ORDER

Mr. McGowan called the meeting to order at 6:08 p.m.

Members Present: Ken Sipsma, Dean Grosskopf, John Van Dinter, Mark McGuire, Pat McGowan, Brad Zeman

Members Absent: None

Also Present: Tom Wilson, Kevin Even, Tracy Meinholz, Bryan Kleinmaier, Joe Capaul, Bill White, Jim Lundberg, Mark & Mary Ripp, Kay Beck, Jo Ann Koster, David Korb, Hannah Korb, Keenan Korb, Monica Paffenroth, Ed Niebuhr, Pat Teslaw, Tom Clark, Roger Endres Sr., Rich Trotta, Arnold & Jean Bye, Roberta Baumann, Brad Robinson, Kirk Keller.

APPROVAL OF MINUTES

Motion Zeman, second Grosskopf, to approve the minutes from the June 9, 2015 Joint Plan Commission meeting. Motion carried.

PUBLIC COMMENT

None

NEW BUSINESS

Discussion / Action on Conditional Use Permit and Design Review for Drumlin Ridge Farm Vineyards LLC, Town of Westport

Mr. Sipsma arrived at 6:27 p.m.

After an update from Wilson, a presentation by the owners' consultant, and discussion of approvals required, motion Sipsma, second Zeman to confirm approval of the "winery" CUP for the property by adopting the resolution drafted by the Village Attorney with added language that it be conditioned upon Village Board approval of rezone and the terms of the presented CUP agreement as revised subject to approval by the Town Board, approve the restriction agreement as presented by Wilson with additions as discussed and subject to revisions and approval by the Town Board, and approve the design review/site plan review as presented and consistent with the July 13 Town Plan Commission action (sign sizes to be confirmed appropriate by Even), with Wilson directed to review the line fence between the



Korb and Ripp parcels for compliance. Motion carried 5-1 with McGowan opposed.

Discussion / Action on Capaul Request for Detachment and Rezone of Approximately 43.3 acres from A-1 Agricultural/Holding to A1-E Exclusive Agricultural

After discussion, motion Sipsma, second McGuire to recommend approval of the detachment and rezone to the Village and Town Boards subject to the deed restriction document on future annexation as presented by the Village Attorney with alternate language providing for JPC review prior to annexation. Motion carried.

Discussion / Action on Amendment to Environmental Corridors, Waunakee School Site, Woodland Drive West of CTH Q, Town of Westport

Motion Sipsma, second Van Dinter, to approve the requested revision to the environmental corridors for the Waunakee school site on Woodland Drive. Motion carried.

ADJOURN

Motion McGuire, second Van Dinter, to adjourn the meeting at 7:16 p.m. Motion carried.

Submitted By: Tracy Meinholz, Recording Secretary

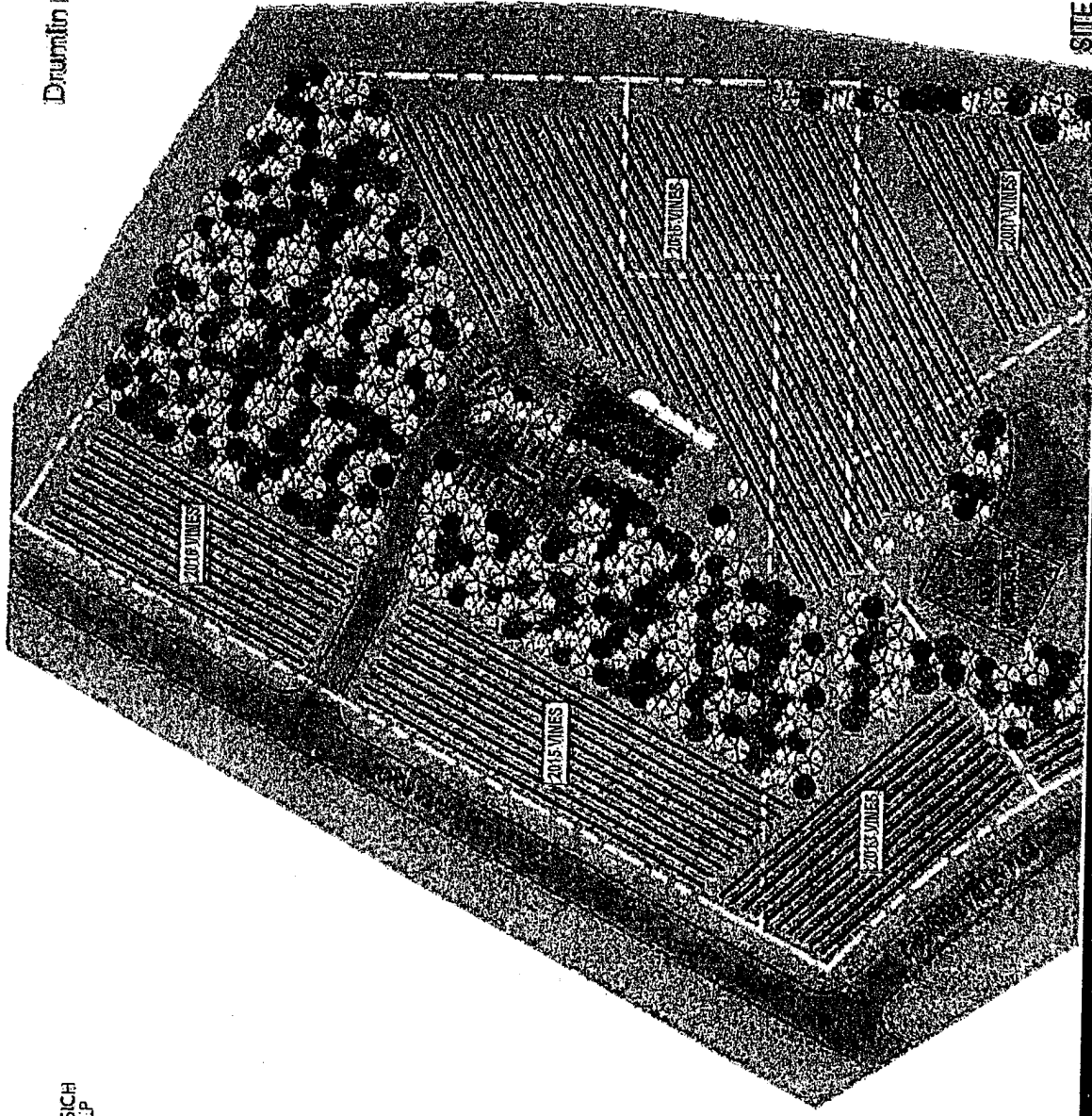
Approved: _____



pran

PLUNKETT/TRANSICH
ARCHITECTS, LLP

Drumlin Ridge Farm Vineyards, LLC
Westport, WI

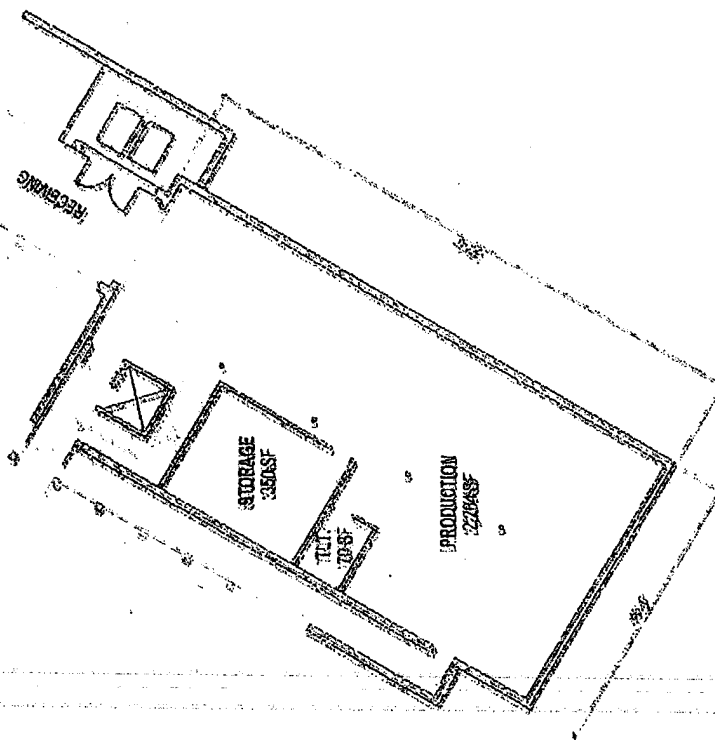


ITEM #1.
SITE PLAN
Scale: 1" = 80'

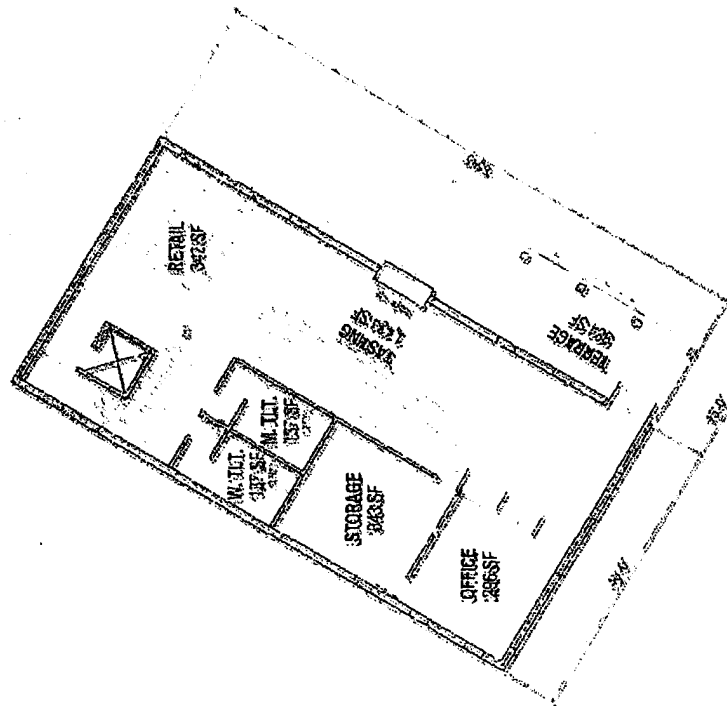
ITEM #1.

Drumlin Ridge Farm Vineyards, LLC
Westport, WI

pran
PRUNKENBRASCH
ARCHITECTS, LLP



GROUND LEVEL FLOOR PLAN
3,200 GSF



MAIN LEVEL FLOOR PLAN
3,200 GSF



1500065-01

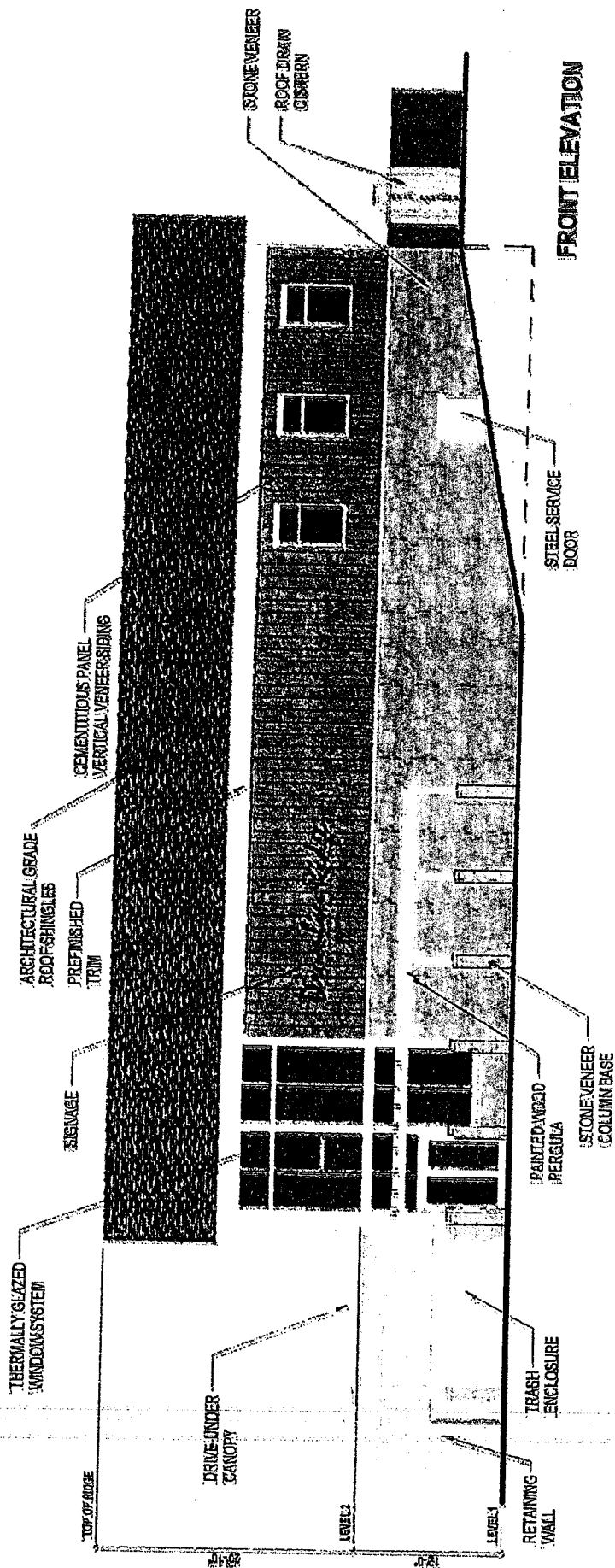
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Scale: 1/8" = 1'-0"

pra

PLUNKETT RAYSICH
ARCHITECTS, LLP

Drumlin Ridge Farm Vineyards, LLC
Westport, WI



Scale: 1/8" = 1'-0"

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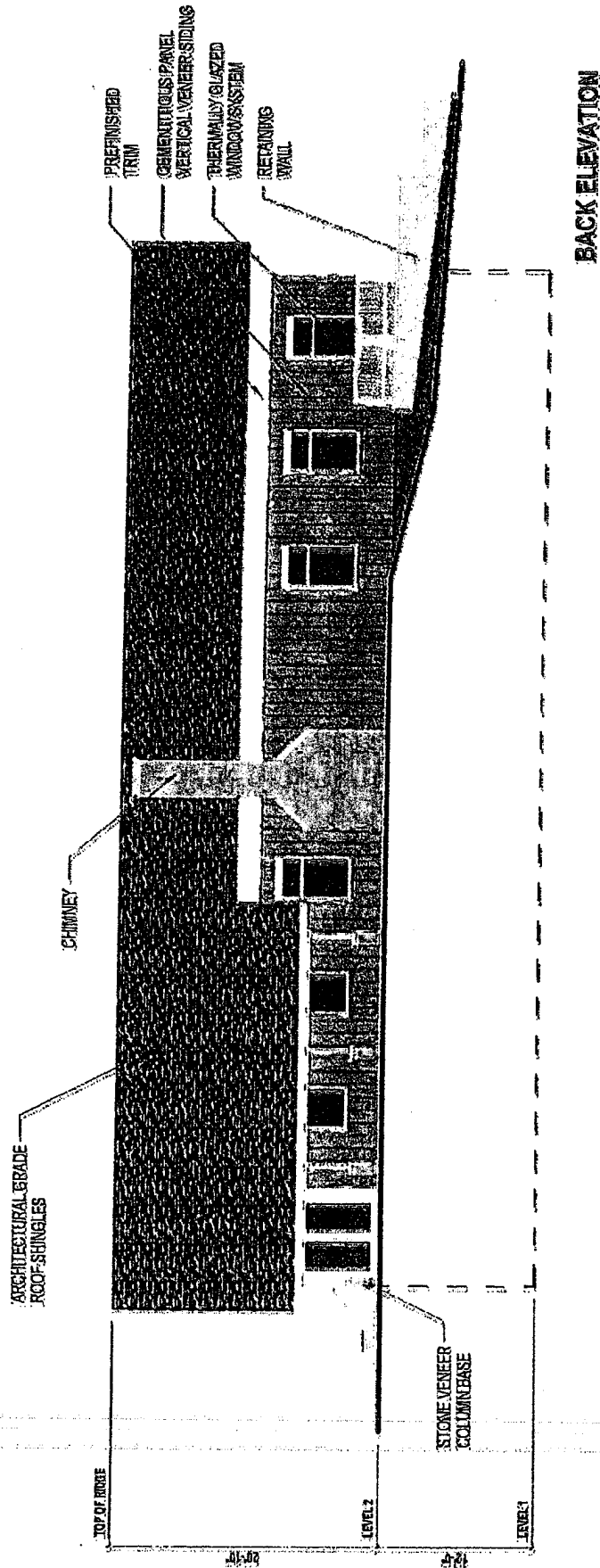
05-14-15

ITEM #1.

prad

PRUNKETT RANSICH
ARCHITECTS, LLP

Drumlin Ridge Farm Vineyards, LLC
Westport, WI



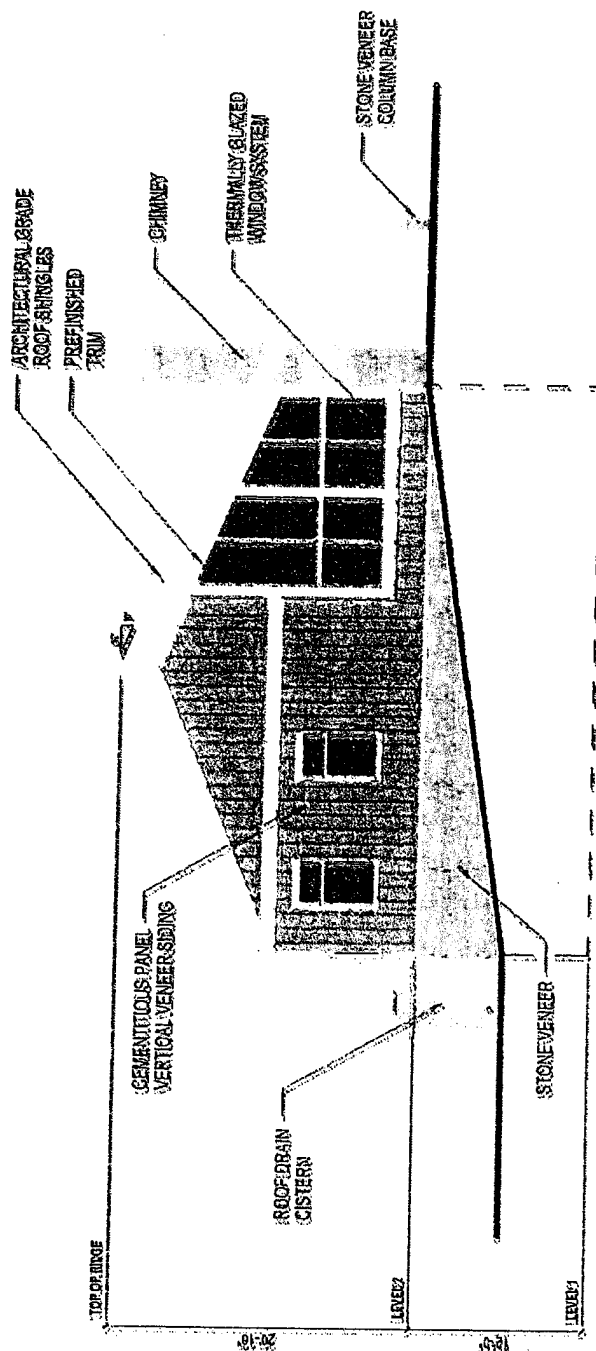
Scale: 1/8" = 1'-0"

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PHILIPKEIT RANSCH
ARCHITECTS, LLP

Drumlin Ridge Farm Vineyards, LLC
Westport, WI



SIDE ELEVATION

Scale: 1/8" = 1'-0"

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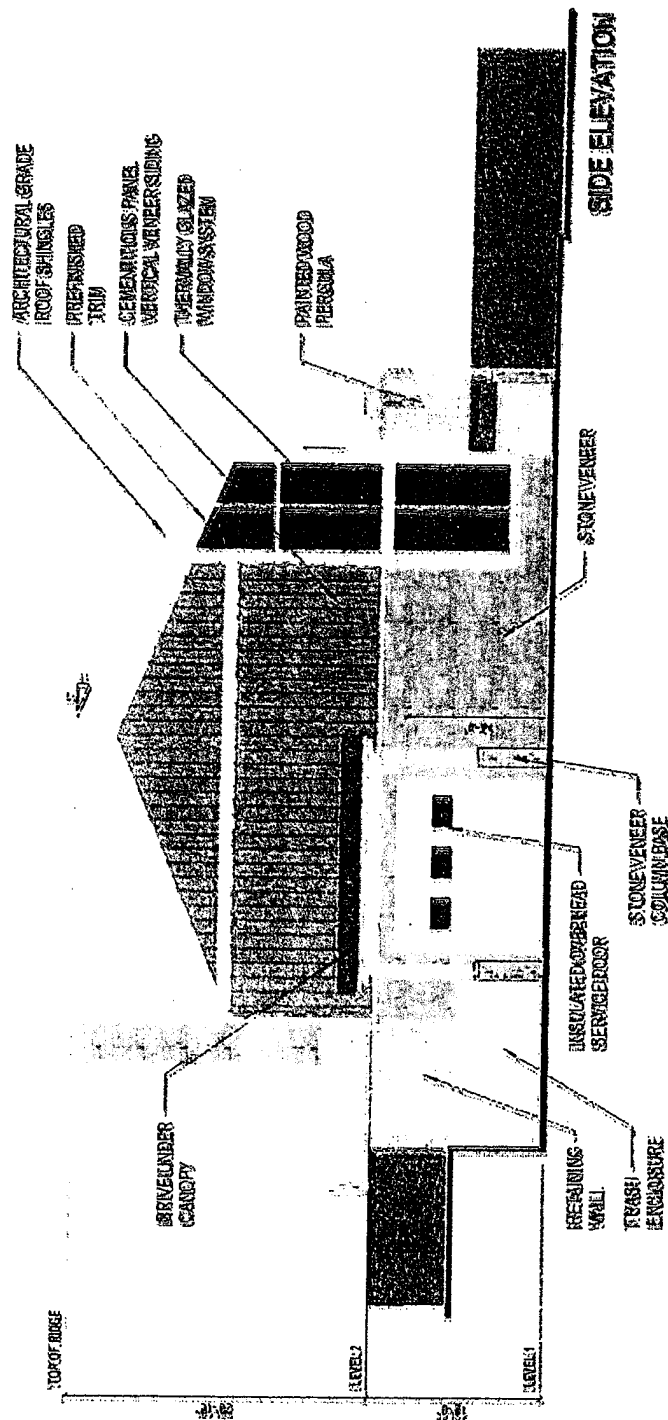
05-14-15

ITEM #1.

Drumlin Ridge Farm Vineyards, LLC
Westport, WI

prad

PLEIKETT BAEIGH
ARCHITECTS, LLP



Scale: 1/8" = 1'-0"

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05-14-15

prad

PLENICKET RAYSON
ARCHITECTS, LLP

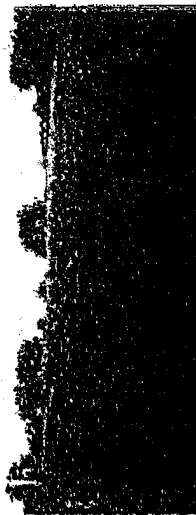
Drumlin Ridge Farm Vineyards, LLC
Westport, WI



View along River Road - Future vineyard area



View to northeast along property line



View from River Road at north property line



View to northwest and approximately point to site

ITEM #1.

pran

PUNKETTRAVSICH
ARCHITECTS, LLP

Drumlin Ridge Farm Vineyards, LLC
Westport, WI



View south and approximate vineyard location



View west and approximate vineyard location



North property line with existing pine tree screening

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HALO LED ICAT HOUSING for NEW CONSTRUCTION

The H750ICAT is a dedicated LED new construction housing to be used with designated HALO LED modules. The H750ICAT is designed for insulated ceilings and can be in direct contact with ceiling insulation*. This AIRTITE housing design prevents airflow between conditioned and unconditioned spaces and saves on both heating and air conditioning costs. The LED connector system provides high efficacy code compliance when used with designated HALO LED modules and trims.

HALO®

Catalog #		Type
Project		
Comments		Date
Prepared by		

DESIGN FEATURES

Housings

Aluminum construction for greater heat dissipation. H750 ICAT housing is gasketed to prevent airflow from heated or air conditioned spaces.

Plaster Frame

Galvanized steel frame. Housing adjusts in plaster frame to accommodate up to 1" ceiling thickness. Regressed locking screw for securing hanger bars. Cutouts included for easily crimping hanger bars in position.

Slide-N-Side™ Junction Box

- Positioned to accommodate straight conduit runs.
- Seven ½" trade size conduit knockouts with true pry-out slots.
- Slide-N-Side wire traps allow non metallic sheathed cable to be installed without tools and without removing knockouts.
- Allows wiring connections to be made outside the box.
- Simply insert the cable directly into the trap after connections are made.
- Accommodates the following standard non-metallic sheathed cable type:
- U.S. #14/2, #14/3, #12/2, #12/3
- Canada: #14/2, #14/3, #12/2

GOT NAIL! Pass -N-Thru™ Bar Hangers

Bar Hanger features include

- Pre-installed nail easily installs in regular lumber, engineered lumber and laminated beams.
- Safety and Guidance system prevents snagging, ensures smooth, straight nail penetration and allows bar hangers to be easily removed if necessary.
- Automatic levelling flange aligns the housing and allows holding the housing in place with one hand while driving nails.
- Housing can be positioned at any point within 24" joist spans.
- Score lines allow tool-free shortening for 12" joists and bar hangers do not need to be removed for shortening.
- Bar hangers may be repositioned 90° on plaster frame.
- Integral T-bar clip snaps onto T-bars – no additional clips are required.

LED Module Connection

Halo LED modules simply install with a plug-in 120V-277V rated line voltage wiring connector (UL and CSA Listed Luminaire Disconnect). This non-screw-base connection preserves the high efficacy rating and prevents use of low efficacy incandescent sources (see LED Module specifications).

Caution

Connection is rated for 120V and 277V input. Installer must verify LED module voltage is compatible with the applicable voltage input. If uncertain, consult a qualified electrician.

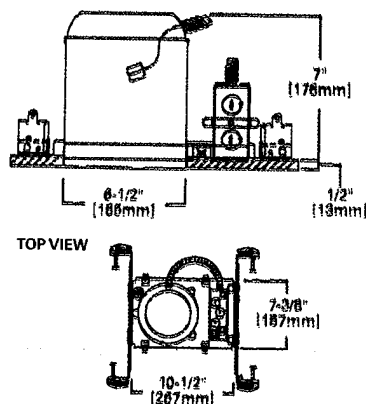
Labels

- UL/cUL Listed 1598 Luminaire
- CE Marking - "Conformité Européenne" conformity with the Council of European Communities Directives, meeting internationally recognized compliance when used with ML5606xx and ML5609xx LED modules
- UL/cUL Listed for Feed Through
- UL/cUL Listed for Damp Location
- UL/cUL Listed for Wet Location with select trims
- UL/cUL Listed for direct contact with insulation and combustible material*
- Rated for 20W maximum

Qualification

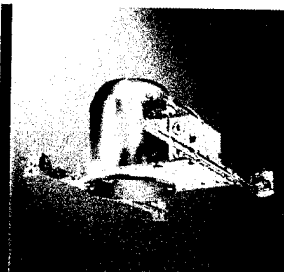
May be used with qualified Halo LED modules and designated trims for High Efficacy Luminaire Compliance:

- State of California Title 24
- International Energy Conservation Code (IECC)
- Washington State Energy Code
- New York State Energy Conservation Construction Code - AIR-TITE™ Compliant
- Certified under ASTM-E263 standard for air-tight construction



COOPER Lighting
www.cooperlighting.com

* Not to be used in direct contact with spray foam insulation.



H750ICAT

6" New Construction
IC AIR-TITE™ Housing
For
Halo LED Modules and
Trims

- ML56 Series
- RL56 Series
- ML7 Series

High Efficacy LED Housing

FOR USE IN
INSULATED CEILINGS

FOR DIRECT CONTACT
WITH INSULATION*

airtite™



Qualified and compliant with select trims. Refer to ENERGY STAR® Qualified Products List and CEC (T24) Appliance Database for listings.

ADV121880
April 8, 2013 9:43 AM

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Juno®

G3.1.1

4" MINIATURE UNIVERSAL TC NEW CONSTRUCTION HOUSING

INCANDESCENT LAMPS

TC1

Project: _____

Fixture Type: _____

Location: _____

Contact/Phone: _____

PRODUCT DESCRIPTION

TC New Construction Housing design for use in non-insulated areas • If installed where insulation is present, the insulation must be pulled back 3" from all sides of the TC housing.

PRODUCT SPECIFICATIONS

Lamp Lamp ratings based on trim selected – see reverse side.

Socket Detachable medium base porcelain with nickel-plated copper screw shell.

Trims Trim selection shown on reverse side.

Labels U.L. listed for through-branch wiring, damp locations and IP • Product thermally protected against improper use of lamps or insulation • Union made • UL Listed/CSA certified • Trim No. 11, 12, 4101, 4102 and 4181 are wet location approved for covered ceiling applications • Trims 14, 17 are wet location approved for covered ceiling applications, **when used with outdoor rated lamps.**

Testing All reports are based on published industry procedures; field performance may differ from laboratory performance.

Product specifications subject to change without notice.

INSTALLATION

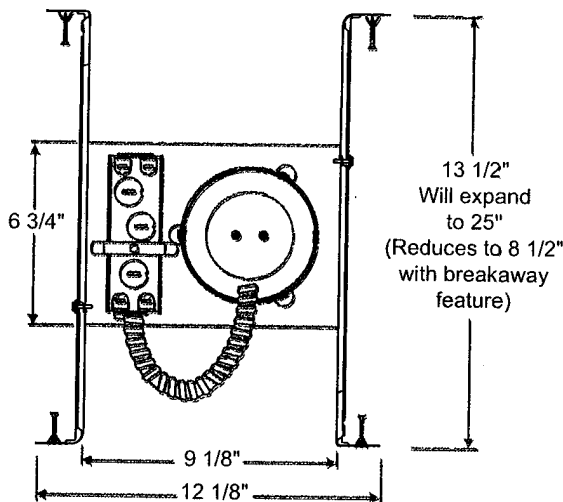
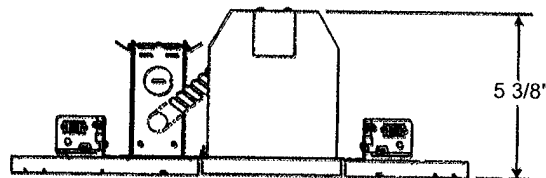
Real Nail 3 Bar Hangers Telescoping Real Nail® 3 system covered under Patent D552,969 permits quick placement of housing anywhere within 24" O.C. joists or suspended ceilings • Integral T-bar notch and clip secures housing in suspended ceiling grid – no accessory clips required • 24" expansion stop allows quick placement of fixture in standard grid spacing • Bars scored in two locations for fast, clean breaking, allowing housing installation in tight applications • Bars captive to mounting frame • Edge-mounted for extra strength • Captive bugle-headed ring shank nail for quick one-step installation and easy removal with claw hammer for fixture relocation • Quick-Loc slot (location identified on the mounting frame) and oversized locking set screw lock fixture in position • Bar hanger foot contoured to align to bottom of construction joist • Alternate mounting holes included.

Junction Box Pre-wired junction box provided with (5) 1/2" and (1) 3/4" knockouts, (4) Non-metallic sheathed cable connectors and ground wire, U.L. listed/CSA certified for through-branch wiring, maximum 8 No. 12 AWG 90° C branch circuit conductors (4 in, 4 out) • Junction box provided with removable access plates • Knockouts equipped with pryout slots.

Mounting Frame 22-gauge die-formed galvanized steel mounting frame • 9 1/8" L x 6 1/4" W, (excluding bar hangers) • Rough-in section (junction box, mounting frame, housing and bar hangers) fully assembled for ease of installation.

Housing TC housing, 22-gauge galvanized steel • Housing is vertically adjustable to accommodate up to a 1 1/4" ceiling thickness.

DIMENSIONS



4 1/2" CEILING CUTOUT

ACCESSORIES

Catalog No.	Description
4TSA	Torsion Spring Adapter (for original style housing)
GU10-WHIP	GU10 Socket Whip

To order, specify catalog number.

PRODUCT CODES

Catalog Number	Input Voltage	Lamp Rating (max.)
TC1	120V	R14/R16/R20/PAR16/PAR20 (See reverse for max. trim rating)

REV-7/14

B17

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DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaries provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for facade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

SPECIFICATION FEATURES

Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and large design. The small housing is available in 7W and 18W. The large housing is available in the 26W model. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three (3) half-inch, NPT threaded conduit entry points. The universal back box supports both the small and large forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. **External fin design extracts heat from the fixture surface.** One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Solid state LED Crosstour luminaries are thermally optimized with five (5) lumen packages in cool 5000K or neutral warm 3500K LED color temperature (CCT).

Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 7W models operate in -40°C to 40°C [-40°F to 104°F]. 18W and 26W models operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 90% of initial

light output after 72,000 hours of operation. Three (3) half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

Finish

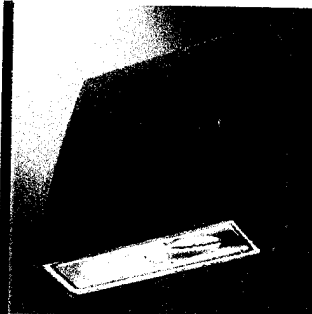
Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Warranty

Five-year warranty.

LUMARK®  energy solutions

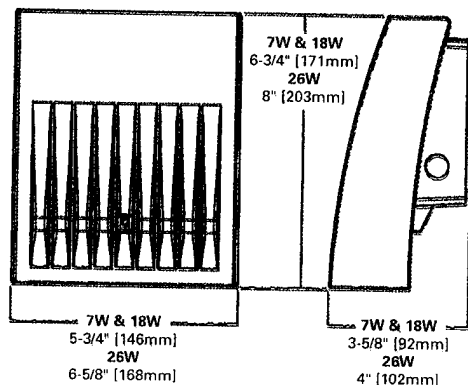
Catalog #		Type
Project		
Comments		Date
Prepared by		



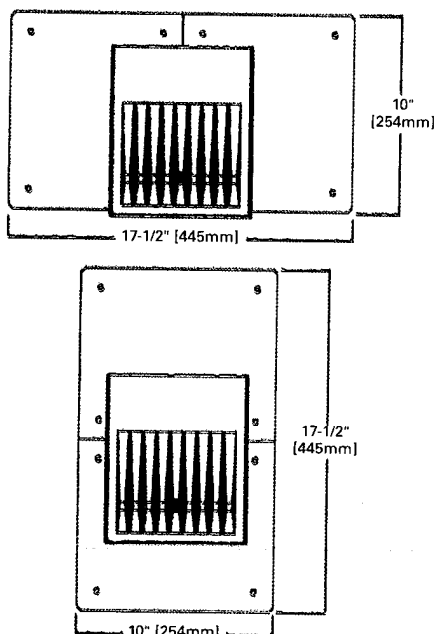
XTOR
CROSSTOUR LED

APPLICATIONS:
WALL / SURFACE
POST / BOLLARD
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING

DIMENSIONS



ESCUTCHEON PLATES



CERTIFICATION DATA

UL/cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
ADA Compliant
NOM Compliant Models
IP66 Ingress Protection Rated
Title 24 Compliant

TECHNICAL DATA

40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum

EPA

Effective Projected Area:
(Sq. Ft.)
XTOR1A/XTOR2A=0.34
XTOR3A = 0.45

SHIPPING DATA:

Approximate Net Weight:
3.7 – 5.25 lbs. [1.7 – 2.4 kgs.]

Cooper Lighting
by E.T.N

B18

LICENSED TO PREFERRED TITLE LLC AND NOT FOR SUBLICENCE, RELICENCE OR ANY OTHER TRANSFER

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated.

Catalog #		Type	
Project			
Comments		Date	
Prepared by			

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Choice of 16 patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 6000K CCT and 3000K CCT. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed. The

house side shield is designed to seamlessly integrate with the SL2, SL3, SL4 or AFL optics.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 530mA and 700mA drive currents.

Mounting

Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during

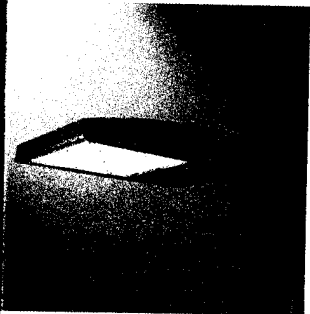
assembly. Designed for pole or wall mounting. When mounting two or more luminaires at 90° or 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table on page 3. Round pole top adapter included. For wall mounting, specify wall mount bracket option. 3G vibration rated.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty

Five-year warranty.



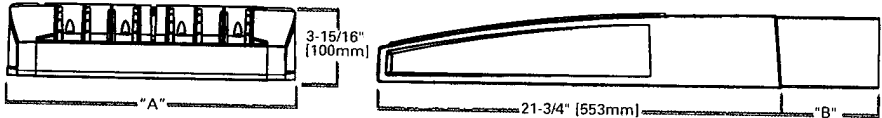
GLEON
GALLEON LED

1-10 Light Squares
Solid State LED

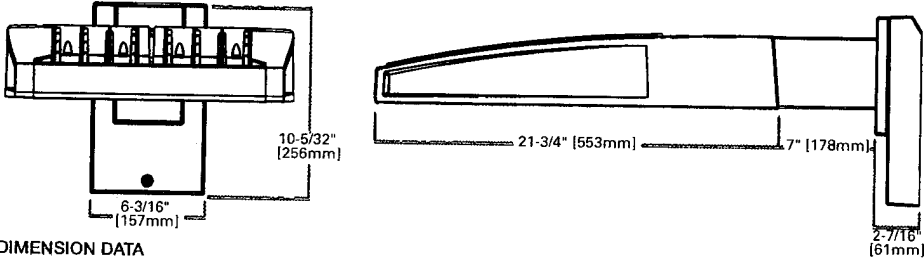
AREA/SITE LUMINAIRE

DIMENSIONS

POLE MOUNT



WALL MOUNT



DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length 1	Weight with Arm (lbs.)	EPA with Arm 2 (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1 Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table. 2 EPA calculated with optional arm length.



CERTIFICATION DATA

UL/cUL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium® Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V & 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)



B19

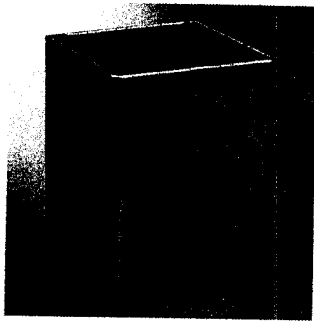
*www.designlights.org



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COOPER LIGHTING



SSS SQUARE STRAIGHT STEEL

Catalog #		Type
Project		
Comments		Date
Prepared by		

FEATURES

- ASTM Grade steel base plate with ASTM A366 base cover
- Hand hole assembly 3" x 5" on 5" and 6" pole; and 2" x 4" on 4" pole
- 10'-39' mounting heights
- Drilled or tenon (specify)

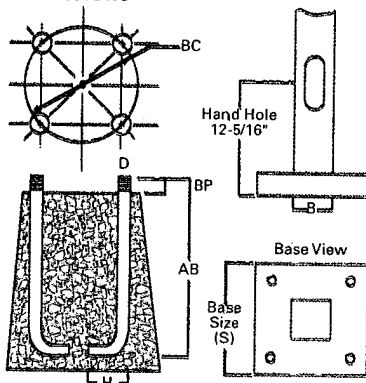
ORDERING INFORMATION

SAMPLE NUMBER: SSS5A20SFM1XG

SSS=Square Straight Steel	4=4" 5=5" 6=6"	A=0.120" M=0.188" X=0.250"	10=10' 15=15' 20=20' 25=25' 30=30' 35=35' 39=39'	S=Square Steel Base	F=Dark Bronze G=Galvanized Steel J=Summit White K=Carbon Bronze L=Dark Platinum P=Primer Powder Coat R=Hartford Green S=Silver T=Graphite Metallic V=Grey W=White X=Custom Color Y=Black	2=2-3/8" O.D. Tenon (4" Long) 3=3-1/2" O.D. Tenon (5" Long) 4=4" O.D. Tenon (6" Long) 5=3" O.D. Tenon (4" Long) 6=2-3/8" O.D. Tenon (6" Long) 7=4" O.D. Tenon (10" Long) A=Type A Drilling C=Type C Drilling E=Type E Drilling F=Type F Drilling G=Type G Drilling J=Type J Drilling K=Type K Drilling M=Type M Drilling R=Type R Drilling Z=Type Z Drilling	1=Single 2=2 at 180° 3=Triple² 4=4 at 90° 5=2 at 90° X=None	X=None	A=1/2" Tapped Hub (Specify location desired) B=3/4" Tapped Hub (Specify location desired) C=Convenience Outlet³ E=GFCI Convenience Outlet³ G=Ground Lug H=Additional Hand Hole⁴ L=Drilled for Bumper Glitter V=Vibration Dampener
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NOTES: 1. All shaft sizes nominal. 2. Square poles are 3 at 90°, round poles are 3 at 120°. 3. Outlet is located 4" above base and on same side of pole as hand hole, unless specified otherwise. Receptacle not included, provision only. 4. Additional hand hole is located 12" below pole top and 90° from standard hand hole location, unless otherwise specified.

DIMENSIONS



WARNING: The use of unauthorized accessories such as banners, signs, cameras or pennants for which the pole was not designed voids the pole warranty from Eaton's Cooper Lighting business and may result in pole failure causing serious injury or property damage. Upon request, Eaton's Cooper Lighting business will supply information regarding total loading capacity. The pole warranty from Eaton's Cooper Lighting business is void unless poles are used and installed as a complete pole/luminaire combination. This warranty specifically excludes failure as the result of a third party act or omission, misuse, unanticipated uses, fatigue failure or similar phenomena resulting from induced vibration, harmonic oscillation or resonance associated with movement of air currents around the product.

Specifications and dimensions subject to change without notice. Consult your Eaton's Cooper Lighting business representative or visit www.cooperlighting.com for available options, accessories and ordering information.

Cooper Lighting
by EATON

B20

**CONDITIONAL USE PERMIT RESTRICTION
AGREEMENT**

(Korb Winery, Waunakee ETZ)

WHEREAS, David Korb and Brenda Korb (the "Owner"), are the record title Owner of the property described below and, located in the Town of Westport, Dane County, Wisconsin (hereinafter called the "Property"):

Sec 12, T 08 N, R 09 E, SE ¼ of NW ¼,
Lot 3, CSM 454, Town of Westport, Dane County,
Wisconsin.

WHEREAS, the Owner has petitioned the Town of Westport (the "Town") and the Village of Waunakee (the "Village") for a Rezoning to A1 and a Conditional Use Permit ("CUP") to Allow a Winery on the Property; and,

WHEREAS, the Town and Village have approved of this rezoning and CUP as meeting the standards of Section 106-847, Village Code, subject to the conditions and restrictions as listed below.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, this Agreement is entered into among the Owner and the Town, and these parties agree as follows:

The Town and Village approve the CUP as requested by the Owner for the allowance of a Winery by application submitted on or about March 29, 2015, subject to the following restrictions and conditions:

1. The Property is hereby restricted for no further land division.
2. The Property is hereby restricted to provide for the building locations and sizes generally as shown on the site plan attached hereto at Exhibit A, and no additional buildings shall be allowed without prior approval of the Town Board. All buildings located upon the Property and used in the Winery business shall be referred to herein as "Winery Premises Structures."
3. The design, scale, and character of the Winery Premises Structures shall be compatible with the intended use. Winery Premises Structures shall not use an exterior design style typically associated with large industrial facilities. Structures shall be consistent with the design review approved at Exhibit B.
4. The visibility of Winery Premises Structures from residential streets shall be accentuated through the use of landscaping and other screening devices to help with the retention of the character of the area in conformance with the landscape plan at Exhibit C.
5. The height of any Winery Premises Structure shall be limited to 35 feet. The height limit may be increased to 45 feet where a pitched roof of greater than four in 12 (rise to run) is proposed and at least 50 percent of the aggregate of all Winery Premises Structures located upon the Winery Premises is limited to a height of 35 feet or less.
6. Exterior lighting fixtures shall be of a low intensity and shall be fully shielded with full cut off

Return to:
Thomas G. Wilson
Town Attorney/Administrator
5387 Mary Lake Road
Waunakee, WI 53597

Parcel Identification No's.
0809-123-8460-6

- design and directed downward to ensure that neither the lamp nor the related reflector interior surface is visible from a location off of the Winery Premises in order to prevent spill over onto adjacent lots under separate ownership. Pole lighting fixtures shall be used only for Special Events. Exterior lighting shall not be installed or operated in a manner that would throw light, either reflected or directly, in an upward direction. Lighting shall conform to the lighting plan at Exhibit D.
7. The number, size, location, and design of required parking spaces shall be adequate to accommodate the permitted occupancy of the tasting rooms in conformance with Exhibit A.
 8. The visibility of parking areas associated with the Winery Premises from residential streets shall be accentuated through the use of landscaping and other screening devices as shown at Exhibit C.
 9. A solid waste management plan shall be submitted for review and approval by the Town Administrator.
 10. A liquid waste (process wastewater from the Winery operation) management plan shall be submitted for review and approval by the Town Administrator.
 11. Tasting room(s) shall be clearly incidental, accessory, and subordinate to the primary operation of the Winery as a production facility.
 12. The primary focus of the Tasting Room shall be the marketing and sale of the wine produced on the Winery Premises.
 13. More than one Tasting room is allowed on the Winery Premises; however, the cumulative floor area of all tasting rooms shall not exceed the floor area approved by the Town.
 14. Tasting Room hours of operation shall be limited to between the hours of 10:00 a.m. and 6:00 p.m. Sunday-Thursday; 10:00 a.m. and 7:00 p.m. Friday and Saturday.
 15. Wine tasting, wine consumption and food consumption may occur outside of the Tasting Room if allowed by terms of the alcohol license for the premises, but occupancy shall be limited as noted herein.
 16. Retail products shall only be offered for sale within the Tasting Room.
 17. Retail products may include:
 - a. Wine and fruit products produced by the Winery operator or bottled or grown on the Winery Premises, including, wine produced off-site by fruit grown off site if the production of such wine is under the supervision of the Winery operator.
 - b. Souvenirs and clothing bearing the logo of the Winery as well as wine-related items and other products that reflect or enhance the character of theme of the Winery.
 - c. Pre-packaged food.
 18. All food service and food preparation facilities shall comply with all applicable Public Health Department requirements.
 19. Food served at the Winery Premises may be prepared on-site or off-site.
 20. Except for food served in association with Cooking Classes, Winemaker Meals and Special Events, food served at a Winery Premises shall:
 - a. Be limited to small plates or appetizer-like portions, and
 - b. Not include menu options or meal service such that the Winery Premises functions primarily as a restaurant, café, or coffee shop.
 21. Food preparation facilities shall only support the permitted type of food service and permitted cooking classes, winemaker meals and special events allowed on the Property.
 22. Tours, winemaker meals, cooking classes and special events shall not result in occupancy of the applicable Winery Premises Structures in excess of that which has been approved by the Town or the maximum number of Winery Visitors permitted at any one time upon the Property as a whole, as approved by the Town in connection with any issued occupancy certificate (for occupants within the Winery Premises Structures) or this Conditional Use

- Permit for the Winery Premises as a whole, as applicable.
23. Special events shall include special invited tours, winemaker meals, cooking classes and other special events, which shall be clearly secondary, subordinate and incidental to the primary agricultural uses of the Winery Premises. Only 12 Special Events shall be allowed within each calendar year, and only upon prior 2 weeks written notice to the Town Administrator which shall include a description of the Special Event. Special Events shall be limited to a total of 75 patrons, shall be ticketed events, and shall take place between the hours of 10:00 a.m. and 10:00 p.m., subject to state licensing requirements.
24. Occupancy for the entire premises shall not exceed 50 patrons at any one time during regular Tasting Room hours, except that 75 patrons for the entire premises shall be allowed for Special Events.
25. Any outdoor music must comply with Village noise levels, only occur during regular business hours or end before 8:00 p.m. for Special Events, and any music must not be audible consistent with those limits.
26. Tents for events shall not be allowed.
27. Parking shall not be allowed for use of the Property on Cherokee Valley Pass or River Road, and the Owner shall take necessary steps to prevent the same and direct users to designated parking areas.
28. The CUP shall be subject to review every 5 years from the date of this document by the Town Board or Waunakee/Westport Joint Planning Committee (the "JPC"), which shall have the authority to consider and require other conditions and restrictions should use of the Property so require additional measures for the protection of the area, in the discretion of the Town Board or JPC. This does not limit the ability of these bodies to undertake any other periodic review and further activity allowed by code or statute, or as may become necessary due to activity in violation of this agreement, the CUP, or other applicable laws.
29. Any buses, trucks, or similar larger vehicles parked for loading or unloading shall not be allowed to idle engines.

The Owner hereby agrees to pay all costs and fees incurred by the Town and Village for any and all reviews, approval requests and document preparation by the Town and Village Attorney or Engineer, or other consultants in relation to the Property.

The terms and provisions hereof shall be binding upon the undersigned, their heirs, successors, and assigns, and shall be recorded in the office of the Register of Deeds for Dane County, Wisconsin to be construed as a covenant running with the land.

This Agreement may be amended or terminated by the mutual agreement of the parties or their respective successors, assigns or heirs.

If this Agreement is terminated, then the Property shall be subject to the restrictions and requirements of the Zoning District by which the lands are designated at the time of termination and the additional restrictions and requirements provided by this Agreement shall be without any further effect.

The restrictions provided for herein shall be enforceable at law or equity against any party who has or acquires an interest in the land subject to the restriction by the following parties who are named as grantees, promisees and beneficiaries with enforcement rights:

- a. The Village Government of the Village of Waunakee, Dane County, Wisconsin, provided that

the lands are under the jurisdiction of a zoning ordinance of said Village at the time the enforcement action is commenced.

- b. The Town Government of the Town of Westport, Dane County, Wisconsin, whether or not the lands are within the governmental jurisdiction of said Town at the time of enforcement action is commenced.
- c. The County Government, Dane County, Wisconsin, provided that the lands are under the zoning jurisdiction of said County at the time the enforcement action is commenced.

IN WITNESS THEREOF, the parties below have hereunder set their hands and seals this ____ day of _____, 2015.

OWNER

David J. Korb

Brenda J. Korb

STATE OF WISCONSIN

COUNTY OF DANE

Personally came before me this ____ day of _____, 2015, David J. Korb and Brenda J. Korb, to me known to be the persons who executed the foregoing instrument and acknowledged that they executed the same with property authority.

Notary Public, State of Wisconsin

My commission expires: _____

LICENSED TO PREFERRED TITLE LLC AND NOT FOR SUBLICENSE, RELICENSE OR ANY OTHER TRANSFER

TOWN OF WESTPORT

By: _____
John A. Van Dinter
Town Chair

Attest: _____
Thomas G. Wilson
Attorney/Administrator/Clerk-Treasurer

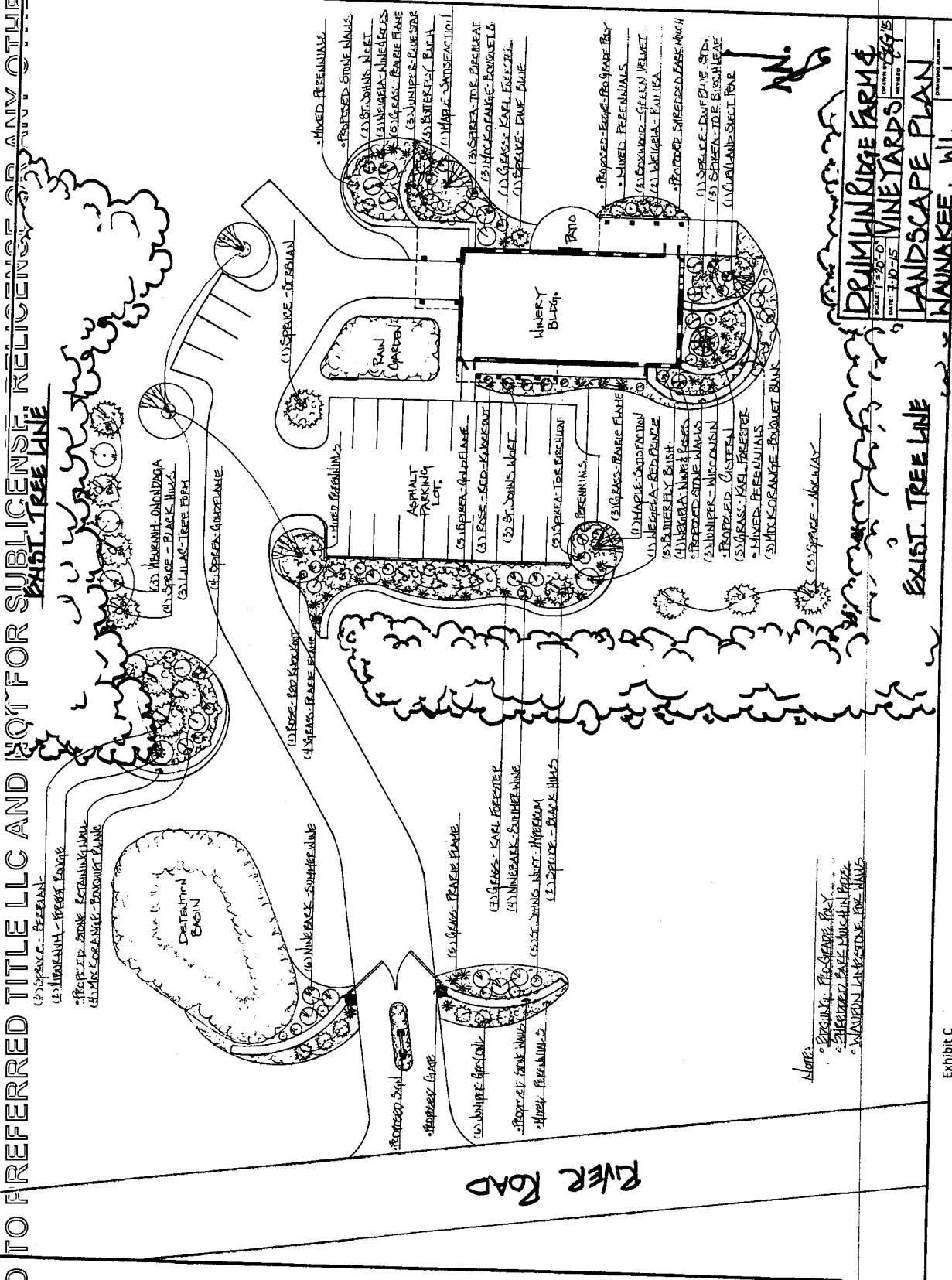
STATE OF WISCONSIN

COUNTY OF DANE

Personally came before me this ____ day of _____, 2015, the above-named John A. Van Dinter, Town Chair, and Thomas G. Wilson, Town Attorney/Administrator/Clerk-Treasurer, of the Town of Westport, known to me to be the persons and officers who executed the foregoing instrument and acknowledged that they executed the same as such officers by the Town's authority.

Notary Public, State of Wisconsin
My commission expires: _____

This instrument drafted by:
Thomas G. Wilson
Town Attorney/Administrator
Town of Westport
5387 Mary Lake Road, Waunakee, WI 53597



WERNER
ALUMINUM SUPPLY
1341 HOUTSMA DRIVE NW
WESTPORT, MI 49884
(231) 728-4500 (231) 728-4482 FAX
WWW.WERNERALUMSUPPLY.COM

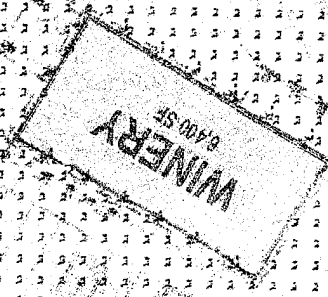
RIVER ROAD WINERY
SITE LIGHTING
WESTPORT, MI

DATE: 11/11/2015
TIME: 11:11 AM
JOB # 00015
PROJECT: RIVER ROAD WINERY
DRAWING: SITE LIGHTING

ES01



EMERGENCY
PARKING



2018 LINES

2015 VINES

RIVER ROAD

Exhibit D

HALO LED ICAT HOUSING for NEW CONSTRUCTION

The H750ICAT is a dedicated LED new construction housing to be used with designated HALO LED modules. The H750ICAT is designed for insulated ceilings and can be in direct contact with ceiling insulation*. This AIRTITE housing design prevents airflow between conditioned and unconditioned spaces and saves on both heating and air conditioning costs. The LED connector system provides high efficacy code compliance when used with designated HALO LED modules and trims.

HALO®

Catalog #		Type	
Project			
Comments		Date	
Prepared by			

DESIGN FEATURES

Housings

Aluminum construction for greater heat dissipation. H750 ICAT housing is gasketed to prevent airflow from heated or air conditioned spaces.

Plaster Frame

Galvanized steel frame. Housing adjusts in plaster frame to accommodate up to 1" ceiling thickness. Regressed locking screw for securing hanger bars. Cutouts included for easily crimping hanger bars in position

Slide-N-Side™ Junction Box

- Positioned to accommodate straight conduit runs.
- Seven ½" trade size conduit knockouts with true pry-out slots.
- Slide-N-Side wire traps allow non metallic sheathed cable to be installed without tools and without removing knockouts.
- Allows wiring connections to be made outside the box.
- Simply insert the cable directly into the trap after connections are made.
- Accommodates the following standard non-metallic sheathed cable type:
 - U.S. #14/2, #14/3, #12/2, #12/3
 - Canada: #14/2, #14/3, #12/2

GOT NAIL! Pass -N-Thru™ Bar Hangers

Bar Hanger features include

- Pre-installed nail easily installs in regular lumber, engineered lumber and laminated beams.
- Safety and Guidance system prevents snagging, ensures smooth, straight nail penetration and allows bar hangers to be easily removed if necessary
- Automatic leveling flange aligns the housing and allows holding the housing in place with one hand while driving nails.
- Housing can be positioned at any point within 24" joist spans
- Score lines allow tool-free shortening for 12" joists and bar hangers do not need to be removed for shortening.
- Bar hangers may be repositioned 90° on plaster frame
- Integral T-bar clip snaps onto T-bars – no additional clips are required.

LED Module Connection

Halo LED modules simply install with a plug-in 120V-277V rated line voltage wiring connector (UL and CSA Listed Luminaire Disconnect). This non-screw-base connection preserves the high efficacy rating and prevents use of low efficacy incandescent sources (see LED Module specifications).

Caution

Connection is rated for 120V and 277V input. Installer must verify LED module voltage is compatible with the applicable voltage input. If uncertain, consult a qualified electrician.

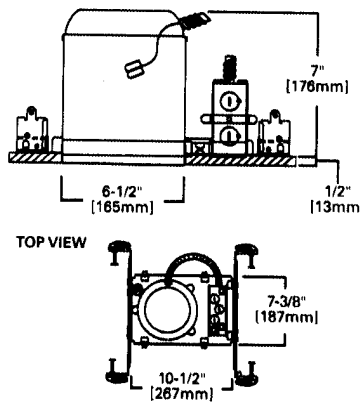
Labels

- UL/cUL Listed 1598 Luminaire
- CE Marking - "Conformité Européenne" conformity with the Council of European Communities Directives, meeting internationally recognized compliance when used with ML5606xx and ML5609xx LED modules
- UL/cUL Listed for Feed Through
- UL/cUL Listed for Damp Location
- UL/cUL Listed for Wet Location with select trims
- UL/cUL Listed for direct contact with insulation and combustible material*
- Rated for 20W maximum

Qualification

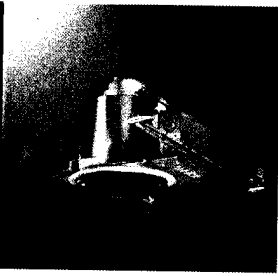
May be used with qualified Halo LED modules and designated trims for High Efficacy Luminaire Compliance:

- State of California Title 24
- International Energy Conservation Code (IECC)
- Washington State Energy Code
- New York State Energy Conservation Construction Code - AIR-TITE™ Compliant
- Certified under ASTM-E283 standard for air-tight construction



COOPER Lighting
www.cooperlighting.com

* Not to be used in direct contact with spray foam insulation.



H750ICAT

6" New Construction IC AIR-TITE™ Housing
For Halo LED Modules and Trims

- ML56 Series
- RL56 Series
- ML7 Series

High Efficacy LED Housing

FOR USE IN INSULATED CEILINGS

FOR DIRECT CONTACT WITH INSULATION*



Qualified and compliant with select trims. Refer to ENERGY STAR® Qualified Products List and CEC (T24) Appliance Database for listings.

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Juno

G3.1.1

4" MINIATURE UNIVERSAL TC NEW CONSTRUCTION HOUSING

INCANDESCENT LAMPS

TC1

Project: _____

Fixture Type: _____

Location: _____

Contact/Phone: _____

PRODUCT DESCRIPTION

TC New Construction Housing design for use in non-insulated areas • If installed where insulation is present, the insulation must be pulled back 3" from all sides of the TC housing.

PRODUCT SPECIFICATIONS

Lamp Lamp ratings based on trim selected – see reverse side.

Socket Detachable medium base porcelain with nickel-plated copper screw shell.

Trims Trim selection shown on reverse side.

Labels U.L. listed for through-branch wiring, damp locations and IP • Product thermally protected against improper use of lamps or insulation • Union made • UL Listed/CSA certified • Trim No. 11, 12, 4101, 4102 and 4181 are wet location approved for covered ceiling applications • Trims 14, 17 are wet location approved for covered ceiling applications, **when used with outdoor rated lamps.**

Testing All reports are based on published industry procedures; field performance may differ from laboratory performance.

Product specifications subject to change without notice.

INSTALLATION

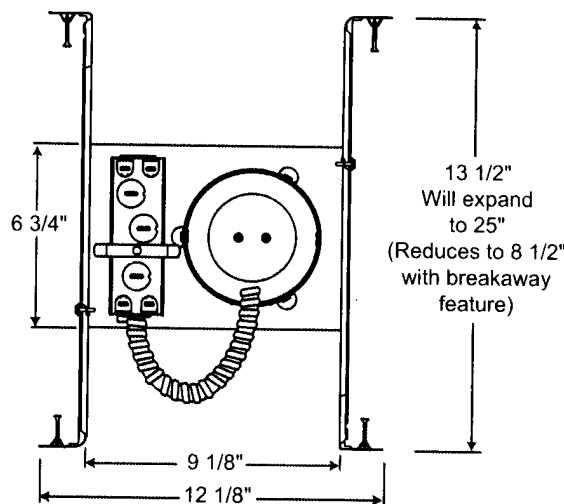
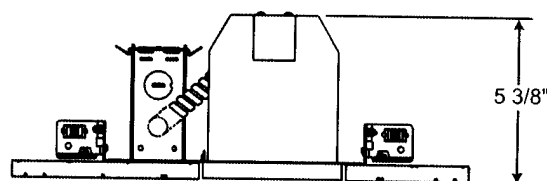
Real Nail 3 Bar Hangers Telescoping Real Nail® 3 system covered under Patent D552,969 permits quick placement of housing anywhere within 24" O.C. joists or suspended ceilings • Integral T-bar notch and clip secures housing in suspended ceiling grid – no accessory clips required • 24" expansion stop allows quick placement of fixture in standard grid spacing • Bars scored in two locations for fast, clean breaking, allowing housing installation in tight applications • Bars captive to mounting frame • Edge-mounted for extra strength • Captive bugle-headed ring shank nail for quick one-step installation and easy removal with claw hammer for fixture relocation • Quick-Loc slot (location identified on the mounting frame) and oversized locking set screw lock fixture in position • Bar hanger foot contoured to align to bottom of construction joist • Alternate mounting holes included.

Junction Box Pre-wired junction box provided with (5) 1/2" and (1) 3/4" knockouts, (4) Non-metallic sheathed cable connectors and ground wire, U.L. listed/CSA certified for through-branch wiring, maximum 8 No. 12 AWG 90° C branch circuit conductors (4 in, 4 out) • Junction box provided with removable access plates • Knockouts equipped with pryout slots.

Mounting Frame 22-gauge die-formed galvanized steel mounting frame • 9 1/4" L x 6 1/4" W, (excluding bar hangers) • Rough-in section (junction box, mounting frame, housing and bar hangers) fully assembled for ease of installation.

Housing TC housing, 22-gauge galvanized steel • Housing is vertically adjustable to accommodate up to a 1 1/4" ceiling thickness.

DIMENSIONS



4 1/2" CEILING CUTOUT

ACCESSORIES

Catalog No.	Description
4TSA	Torsion Spring Adapter (for original style housing)
GU10-WHIP	GU10 Socket Whip

To order, specify catalog number.

PRODUCT CODES

Catalog Number	Input Voltage	Lamp Rating (max.)
TC1	120V	R14/R16/R20/PAR16/PAR20 (See reverse for max. trim rating)

REV-7/14

LICENSED TO PREFERRED TITLE LLC AND NOT FOR SUBLICENSE, RELICENSE OR ANY OTHER TRANSFER

DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

SPECIFICATION FEATURES

Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and large design. The small housing is available in 7W and 18W. The large housing is available in the 26W model. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three (3) half-inch, NPT threaded conduit entry points. The universal back box supports both the small and large forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Solid state LED Crosstour luminaires are thermally optimized with five (5) lumen packages in cool 5000K or neutral warm 3500K LED color temperature (CCT).

Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 7W models operate in -40°C to 40°C [-40°F to 104°F]. 18W and 26W models operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 90% of initial

light output after 72,000 hours of operation. Three (3) half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

Finish

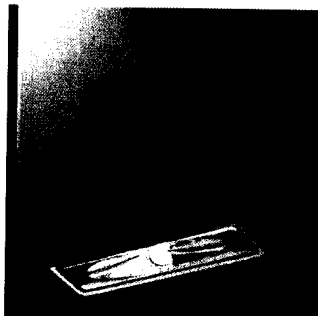
Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Warranty

Five-year warranty.

LUMARK® energy

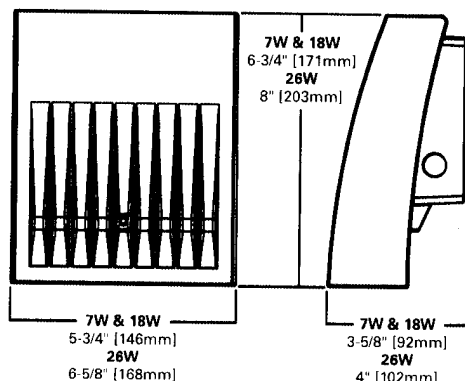
Catalog #		Type
Project		
Comments		Date
Prepared by		



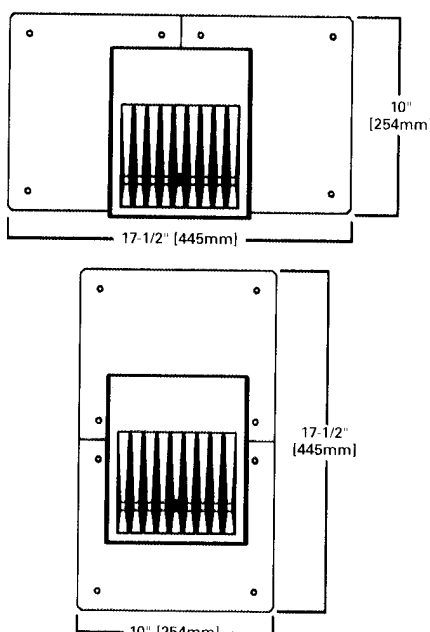
XTOR
CROSSTOUR LED

APPLICATIONS:
WALL / SURFACE
POST / BOLLARD
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING

DIMENSIONS



ESCUTCHEON PLATES



CERTIFICATION DATA

UL/cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
ADA Compliant
NOM Compliant Models
IP66 Ingressed Protection Rated
Title 24 Compliant

TECHNICAL DATA

40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum

EPA

Effective Projected Area:
(Sq. Ft.)
XTOR1A/XTOR2A=0.34
XTOR3A = 0.45

SHIPPING DATA:

Approximate Net Weight:
3.7 – 5.25 lbs. [1.7 – 2.4 kgs.]

Cooper Lighting
by E.T.N

DY

LICENSED TO PREFERRED TITLE LLC AND NOT FOR SUBLICENSE, RELICENSE OR ANY OTHER TRANSFER

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated.

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Choice of 16 patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 6000K CCT and 3000K CCT. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed. The

house side shield is designed to seamlessly integrate with the SL2, SL3, SL4 or AFL optics.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 530mA and 700mA drive currents.

Mounting

Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during

assembly. Designed for pole or wall mounting. When mounting two or more luminaires at 90° or 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table on page 3. Round pole top adapter included. For wall mounting, specify wall mount bracket option. 3G vibration rated.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty

Five-year warranty.

GLEON GALLEON LED

1-10 Light Squares
Solid State LED

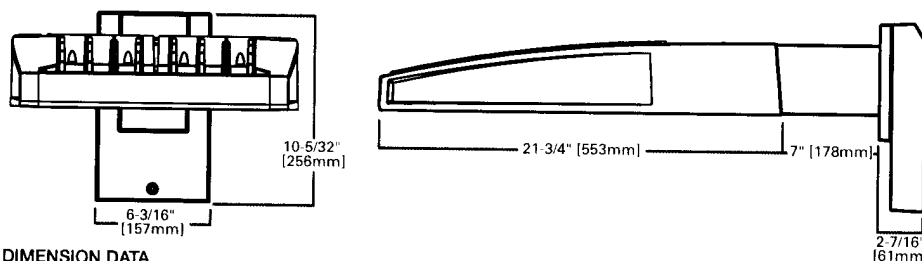
AREA/SITE LUMINAIRE

DIMENSIONS

POLE MOUNT



WALL MOUNT

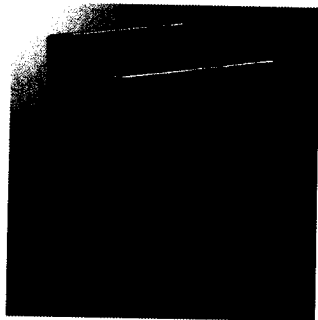


DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length ¹	Weight with Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1 Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table. 2 EPA calculated with optional arm length.

COOPER LIGHTING



SSS SQUARE
STRAIGHT STEEL

Catalog #		Type
Project		
Comments		Date
Prepared by		

- FEATURES
- ASTM Grade steel base plate with ASTM A366 base cover
 - Hand hole assembly 3" x 5" on 5" and 6" pole; and 2" x 4" on 4" pole
 - 10'-39' mounting heights
 - Drilled or tenon (specify)

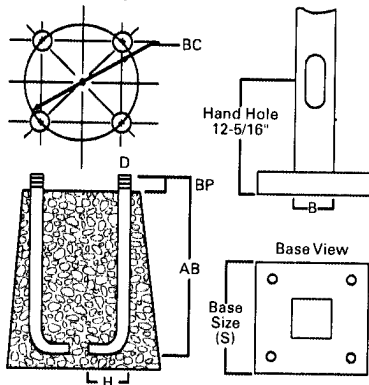
ORDERING INFORMATION

SAMPLE NUMBER: SSS5A20SFM1XG

Product Family	Shaft Size (Inches) ¹	Wall Thickness (Inches)	Mounting Height (Feet)	Base Type	Finish	Mounting Type	Number and Location of Arms	Arm Lengths (Feet)	Options (Add as Suffix)
SSS=Square Straight Steel	4=4" 5=5" 6=6"	A=0.120" M=0.188" X=0.250"	10=10' 15=15' 20=20' 25=25' 30=30' 35=35' 39=39'	S=Square Steel Base	F=Dark Bronze G=Galvanized Steel J=Summit White K=Carbon Bronze L=Dark Platinum P=Primer Powder Coat R=Hartford Green S=Silver T=Graphite Metallic V=Grey W=White X=Custom Color Y=Black	2=2-3/8" O.D. Tenon (4" Long) 3=3-1/2" O.D. Tenon (5" Long) 4=4" O.D. Tenon (6" Long) 5=3" O.D. Tenon (4" Long) 6=2-3/8" O.D. Tenon (6" Long) 7=4" O.D. Tenon (10" Long) A=Type A Drilling C=Type C Drilling E=Type E Drilling F=Type F Drilling G=Type G Drilling J=Type J Drilling K=Type K Drilling M=Type M Drilling R=Type R Drilling Z=Type Z Drilling	1=Single 2=2 at 180° 3=Triple ² 4=4 at 90° 5=2 at 90° X=None	X=None	A=1/2" Tapped Hub (Specify location desired) B=3/4" Tapped Hub (Specify location desired) C=Convenience Outlet ³ E=GFCI Convenience Outlet ³ G=Ground Lug H=Additional Hand Hole ⁴ L=Drilled for Bumper Glitter V=Vibration Dampener

NOTES: 1. All shaft sizes nominal. 2. Square poles are 3 at 90°, round poles are 3 at 120°. 3. Outlet is located 4' above base and on same side of pole as hand hole, unless specified otherwise. Receptacle not included, provision only. 4. Additional hand hole is located 12" below pole top and 90° from standard hand hole location, unless otherwise specified.

DIMENSIONS



WARNING: The use of unauthorized accessories such as banners, signs, cameras or pennants for which the pole was not designed voids the pole warranty from Eaton's Cooper Lighting business and may result in pole failure causing serious injury or property damage. Upon request, Eaton's Cooper Lighting business will supply information regarding total loading capacity. The pole warranty from Eaton's Cooper Lighting business is void unless poles are used and installed as a complete pole/luminaire combination. This warranty specifically excludes failure as the result of a third party act or omission, misuse, unanticipated uses, fatigue failure or similar phenomena resulting from induced vibration, harmonic oscillation or resonance associated with movement of air currents around the product.

Specifications and dimensions subject to change without notice. Consult your Eaton's Cooper Lighting business representative or visit www.cooperlighting.com for available options, accessories and ordering information.

AMENDMENT TO CONDITIONAL USE PERMIT RESTRICTION AGREEMENT	
	<p>Name & Return Address</p> <p>Town of Westport Thomas G. Wilson Town Attorney/Administrator 5387 Mary Lake Road Waunakee, WI 53597</p> <p>Parcel Nos. 0809-123-8460-6</p>

WHEREAS, that certain Conditional Use Permit Restriction Agreement was recorded on September 14, 2015 as Document Number 5183715 with the Dane County, Wisconsin Register of Deeds (the "CUP") providing for the terms and conditions by which a Winery may be operated upon the Premises legally described on Exhibit A attached hereto (the "Premises");

WHEREAS, the Town of Westport (the "Town") is satisfied that the Winery and related improvements petitioned for therein has been built in accordance with the approved plans and specifications therefore and has been operated in accordance with the terms and conditions of the CUP;

WHEREAS, the Town is satisfied that the Winery is otherwise in compliance with the CUP and finds the Winery to be a good steward and valuable addition to the economy of the Town;

WHEREAS, the owner of the Premises and the operator of the Winery hereby petitions the Town to allow for a change in the hours of operation of the Winery to comply with the State of Wisconsin's restrictions on hours of operation for wineries and certain other modifications to better serve its patrons;

NOW, THEREFORE, in consideration of the Recitals and for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, this Amendment to Conditional Use Permit Restriction Agreement (this "Amendment") is entered into among the Town, the owner of the Premises and the operator of the Winery for purposes of modifying certain terms of the CUP, as follows:

1. The Town has inspected the Winery and agrees that construction of the Winery is in compliance with the terms of this CUP and its building permit.
2. Item 6 of the CUP is hereby modified by deleting the restriction on pole lighting. The operator of the Winery shall not add any permanent lighting in excess of that approved by the Town pursuant to the lighting plan without the consent of the Town. No such lighting shall be in use from one hour after closing time until 5:00 am. ; provided however, the operator of the Winery is expressly permitted to add Any low voltage landscape lighting, string lighting (including commercial grade) or other ambiance type lighting shall be subject to administrative approval by the Town. ~~without the consent of the Town.~~
3. Item 14 of the CUP is hereby deleted in its entirety and modified to read as follows:

The Tasting Rooms may be operated at all times permitted for wineries by Wisconsin Statutes. This CUP does not restrict the Winery's hours of operation.
4. Item 23 of the CUP is hereby removed.
5. Item 24 of the CUP is hereby amended to cause occupancy of the building to be restricted to the number of occupants permitted under the applicable fire code and parking requirements. All other items in the CUP referencing a specific number of occupants are also modified to be consistent with the modification of Item 24.
6. Item 25 of the CUP is hereby amended to allow outdoor music until close of business at the Winery, subject to the Village noise level restrictions.
7. Item 26 of the CUP is hereby deleted in its entirety and modified to read as follows:

Tents for events shall not be allowed without administrative approval ~~the express consent~~ of the Town, and no tents shall be allowed in the front yard.
8. The CUP is hereby amended to add a new Item ~~30~~²⁹ which shall read as follows:
Normal and customary marketing activities shall be permitted at the Winery as is similar with other wineries such as yoga classes, painting or craft classes, entertainment and other such activities.

Except as modified by this Amendment, all other terms of the CUP remain in full force and effect.

[Execution Pages Follow]

IN WITNESS WHEREOF, the parties below have hereunder set their hands and seals this _____ day of _____, 2019⁸.

OWNER:

DRUMLIN RIDGE FARM VINEYARDS LLC

By: _____
David J. Korb, Member

By: _____
Brenda J. Korb, Member

STATE OF WISCONSIN

COUNTY OF DANE

Personally came before me this _____ day of _____, 2019⁸, David J. Korb and Brenda J. Korb, to me known to be the persons who executed the foregoing instrument as members of and on behalf of Drumlin Ridge Farm Vineyards LLC and acknowledged that they executed the same with proper authority.

NOTARY PUBLIC, STATE OF WISCONSIN

Print Name: _____
My Commission Expires: _____

OPERATOR:

DRUMLIN RIDGE WINERY LLC

By: _____
David J. Korb, Member

By: _____
Brenda J. Korb, Member

STATE OF WISCONSIN

COUNTY OF DANE

| Personally came before me this ____ day of _____, 20198, David J. Korb and Brenda J. Korb, to me known to be the persons who executed the foregoing instrument as members of and on behalf of Drumlin Ridge Winery LLC and acknowledged that they executed the same with proper authority.

NOTARY PUBLIC, STATE OF WISCONSIN

Print Name: _____
My Commission Expires: _____

TOWN OF WESTPORT:

By: _____
Dean A. Grosskopf, Town Chair

Attest: _____
Thomas G. Wilson
Attorney/Administrator/Clerk-Treasurer

STATE OF WISCONSIN

COUNTY OF DANE

| Personally came before me this ____ day of _____, 2019⁸, Dean A. Grosskopf, Town Chair and Thomas G. Wilson, Attorney/Administrator/Clerk-Treasurer, to me known to be the persons who executed the foregoing instrument on behalf of the Town of Westport and acknowledged that they executed the same with proper authority.

NOTARY PUBLIC, STATE OF WISCONSIN

Print Name: _____
My Commission Expires: _____

EXHIBIT A

Lot Three (3) of Certified Survey Map No. 454 recorded in the Dane County Register of Deeds office in Volume 2 of Certified Survey Maps, page 248, as Document No. 1279320, in the Town of Westport, Dane County, Wisconsin. Subject to River Road.

This instrument drafted by:
Melanie S. Lee
Reinhart Boerner Van Deuren s.c.
22 East Mifflin Street, Suite 600
Madison, WI 53703



TOTAL PARKING STALLS = 66

DRUMLIN RIDGE FARM VINEYARDS – WINERY BLDG – TOWN OF WESTPORT

PARKING LAYOUT PLAN

PAGE: 1 OF 1

DATED: DECEMBER 20, 2018



4604 Siggelkow Road, Suite A – McFarland, Wisconsin 53558
Phone (608) 838–7750; Fax (608) 838–7752

From: [Gorman, Jim](#)
To: [Tom Wilson](#); lgorman@tds.net
Cc: [Kevin Even](#); [Tracy Meinholz](#); [Jessica Frey](#)
Subject: RE: Drumlin Ridge meeting
Date: February 13, 2019 2:18:13 PM

Thanks Tom and team!

Fully support those changes!

In the winter it's been nice to go down and listen to music on Sunday afternoons. Closing at 6:00PM seems like a little early.

I think they've been a great neighbor and haven't seen any issues as I drive by or as I've encountered traffic leaving!

We fully support the changes.

Jim and Lynn Gorman
5833 River Road

From: Tom Wilson [mailto:twilson@townofwestport.org]
Sent: Wednesday, February 13, 2019 10:55 AM
To: Gorman, Jim
Cc: Kevin and Leslie Even - Waunakee (kevin@waunakee.com); Tracy Meinholz (tmeinholz@waunakee.com); Jessica Frey; Tom Wilson
Subject: RE: Drumlin Ridge meeting

[EXTERNAL EMAIL]

Thank you Jim. I will copy this to both Village and Town staff so your support email below can be part of the record in the review.

The next meeting of the Joint Plan Commission will be here at 6 pm on 3/12.

They are essentially just looking to change their current permit to allow them to stay open as allowed by State law for a licensed winery: 9:00 pm. They are also looking to have their allowed capacity increased from 75 to 100, which is what the Waunakee Fire Dept. would allow. Not looking to change the building or become a bar. That is all they are asking.

Tom

Thomas G. Wilson
Attorney/Administrator/Clerk-Treasurer
Town of Westport (Dane County, WI)

Population 4,018

5387 Mary Lake Road

Waunakee, WI 53597

twilson@townofwestport.org

www.townofwestport.org

<http://twitter.com/TownofWestport>

<http://www.facebook.com/pages/Town-of-Westport-Dane-County-Wisconsin/115029421892435?v=wall>

(608) 849-4372

(608) 849-9657 FAX



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From: Gorman, Jim [<mailto:Jim.Gorman@dell.com>]

Sent: Wednesday, February 13, 2019 9:24 AM

To: Tom Wilson

Subject: Drumlin Ridge meeting

Tom,

Do you have a feel for when the meeting will be re-scheduled? I'm assuming next month but don't want to miss it. My wife and I stop down to the winery every so often and I think they've done a wonderful job!

Not sure what they are looking to change but unless it's extreme, we'd probably support it! Add beer? Yes! Add hours? Yes. Add more food? Yes.

Noon to 2am full liquor license. . . . probably no!

Thanks!

Jim Gorman
5833 River Road

608-345-8324
Jim.gorman@dell.com

Tracy Meinholz

From: Tom Wilson <twilson@townofwestport.org>
Sent: February 27, 2019 9:08 AM
To: Wade Harris
Cc: Jessica Frey; Robert Anderson; Kevin Even; Tracy Meinholz
Subject: RE: Drumlin Ridge "neighbor"

Thanks Wade. I will pass this on to the Village staff so that your email can become part of the record on this item.

Tom

Thomas G. Wilson

Attorney/Administrator/Clerk-Treasurer
Town of Westport (Dane County, WI)
Population 4,018

5387 Mary Lake Road
Waunakee, WI 53597

twilson@townofwestport.org

www.townofwestport.org

<http://twitter.com/TownofWestport>

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From: Wade Harris [<mailto:wade@printauthority.net>]
Sent: Tuesday, February 26, 2019 12:15 PM
To: Tom Wilson
Subject: Drumlin Ridge "neighbor"

Dear Tom Wilson (and Town of Westport),

We live at 5163 River Road. I'm writing to express my support for extending the hours at Drumlin Ridge to 9pm. We have been occasional (to frequent) visitors to the winery year-round since they opened. Our hope is that the respectful nature of the clientele during our visits is consistent with their daily operations. And that they have proven themselves capable of respecting their place in the neighborhood.

I have unsuccessfully attempted to organize meetings at Drumlin Ridge with clients and friends on numerous occasions. The early closing times combined with the commute to get there is often an obstacle.

In closing, how about a stop light by our house so we can get out our driveway during Country Day School rush hours?



Best Regards,
Wade and Laura Harris

Network Print Authority, LLC
5163 River Road
Waunakee, WI 53597
608-772-4990
wade@printauthority.net
www.printauthority.net

Tracy Meinholz

From: Tom Wilson <twilson@townofwestport.org>
Sent: February 15, 2019 9:03 AM
To: Tracy Meinholz; Kevin Even
Cc: Robert Anderson; Jessica Frey
Subject: FW: Support of Drumlin Ridge Winery

FYI for the public hearing record.

-----Original Message-----

From: Flora Solverson [<mailto:florasolverson@gmail.com>]
Sent: Thursday, February 14, 2019 4:47 PM
To: Tom Wilson
Subject: Support of Drumlin Ridge Winery

Hi Tom,

Our family are residents of 4887 Kirkwood Drive in the town of Westport. We have lived here for 10 years. We have been so pleased to welcome a great business like Drumlin Ridge Winery into our neighborhood and wanted to write and voice our support.

Dave and his staff have been so welcoming and pleasant to interact with and we think the aesthetics of the winery along River Rd have greatly added to our community. Having been patrons at the winery since they opened, we can attest to the pleasant and relaxing atmosphere their business provides. If you've ever sat down and talked wine-making with Dave, it's fascinating and clearly a passion he takes pride in producing locally!

We drive past the winery many times a day to travel to Madison for work and/or to Waunakee for kids activities and have never once noted any issues along River Rd or our surrounding neighborhood. In fact, we've been proud to recommend the winery to friends who are looking for a nice place to convene with friends and enjoy beautiful atmosphere and a fabulous glass of wine!

As neighboring members in the Westport community, we would like to fully support any extended hours or capacity of business that Drumlin Ridge is interested in. Dave Korb is a man of our community and we believe he has every intention of maintaining a positive and inclusive atmosphere.

We hope those that will weigh in on these decisions will visit the winery and decide for themselves what a positive addition to the community it provides.

Sincerely,
Flora & Ryan Solverson
4887 Kirkwood Drive
Waunakee
608-445-6166

Sent from my iPhone

Tracy Meinholz

From: Tom Wilson <twilson@townofwestport.org>
Sent: February 18, 2019 9:19 AM
To: Roch Elliott
Cc: Kevin Even; Tracy Meinholz; Jessica Frey
Subject: RE: Drumlin Ridge Winery support comments

Thanks Roch. I will copy your email to the Commission staff so they can put a copy in the record for the hearing next month.

Tom

Thomas G. Wilson
Attorney/Administrator/Clerk-Treasurer
Town of Westport (Dane County, WI)
Population 4,018

5387 Mary Lake Road
Waunakee, WI 53597
twilson@townofwestport.org
www.townofwestport.org
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-----Original Message-----

From: Roch Elliott [<mailto:rochelliott@earthlink.net>]
Sent: Saturday, February 16, 2019 1:16 PM

To: Tom Wilson
Subject: Drumlin Ridge Winery

Hi Tom,

I am a Westport resident on Galway Dr.

I was disappointed that the hearing for Drumlin Ridge was postponed due to weather as I will not be able to attend on 3/12.

But I wanted to add my thoughts. I've been to probably 90% of the wineries in Wisconsin, 30 or so in North Carolina, several in Napa Valley, and even a few in Europe. I want to say Drumlin Ridge is among one of the best. I understand the concerns of the neighbors, but at the same time, we have a diamond in our back yard. Lets let it shine!

I fully support them adding additional hours and hosting larger events.

Thanks,
Roch Elliott
5542 Galway Dr.
608-213-4949

Tracy Meinholz

From: Tom Wilson <twilson@townofwestport.org>
Sent: February 27, 2019 9:06 AM
To: Nate Goodwin
Cc: Jessica Frey; Tracy Meinholz; Kevin Even
Subject: RE: Drumlin Ridge Winery

Thanks Nathan. I will pass on by a copy of this your email to be put in the record for this matter. Thanks.

Tom

Thomas G. Wilson

Attorney/Administrator/Clerk-Treasurer
Town of Westport (Dane County, WI)
Population 4,018

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From: Nate Goodwin [<mailto:Nate@unitedbrick.com>]
Sent: Tuesday, February 26, 2019 10:44 AM
To: Tom Wilson
Subject: Drumlin Ridge Winery

Hi Tom,

I am a neighbor of Drumline ridge Winery. I am in full support of the hours extending. Every time I have been there it has been quite and relaxing.

I have not noticed an increase in traffic due to the Winery, like I do from November until mid-December, from a place that is much further down the road.

Unfortunately it is hard for me to get to the meeting due to long work hours and having 2 small kids at home. So I hope this letter is enough to show my support for this small Winery to continue business and with longer hours a lot more to support them more than just the weekends

Thanks

Nathan Goodwin

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WAUNAKEE/WESTPORT JOINT PLAN COMMISSION SUMMARY SHEET

MEETING DATE: 03/12/2019

ITEM: NEW BUSINESS No. 2

TITLE: Public Hearing and Discussion/Action on a Request by Wisconsin Scaryland to Extend the Original Conditional Use Permit for County Highway M for an Additional Two Years

ISSUE SUMMARY: The CUP previously approved in 2014 and is about to expire. The applicant is requesting a two year extension. This item was noticed as a public hearing.

STAFF RECOMMENDATION: Staff recommends approval.

RECOMMENDED MOTION: Approve the CUP extension for Wisconsin Scaryland for an additional two years.

ATTACHMENT(S): WI Scaryland Letter requesting extension.



WISCONSIN SCARYLAND
5803 County Hwy K



DISCLAIMER: The Village of Waunakee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives. SCALE: 1" = 244'

VILLAGE OF WAUNAKEE
500 W. Main St
Waunakee, WI 53597
(608) 850-8500

Print Date: 2/5/2019

11/29/16

Dear Joint Planning Commission,

We would like to extend our use of 5305 Cty Hwy M in Westport for another two years per the verbiage in our agreement with you from three years ago.

We have successfully operated our Haunted House without any police calls, injuries or incidents. Zero. In three years, that is pretty amazing.

We attribute our success to our multi-faceted approach to safety and security. Our JBM patrol, parking enforcement, Security enforcement, security cameras, 2-way radio communications, professional training, and continued maintenance and upkeep of the buildings and grounds throughout the year.

When we were granted approval for the first 3 seasons, the Board and the Committee both felt that the limited 3-year approval was a good idea to see if our use of the property would pose a problem to the Town and residents, and that it was a "trial period" to see if our business was appropriate to the zoning and area.

We have continued to improve the property, clean up trash and debris, repair exterior issues, do snow removal, lawn care and tree trimming, and keep the corner from looking abandoned.

We have provided paid part-time employment to over 150 people, and paid full time employment to 4 people. We have supported Waunakee School clubs with fundraisers and the Fire Department with free tickets.

Additionally, the current owners of the property do not have any plans for redevelopment or sale within the next 3 years.

In December, we will begin working on next year's design, so we would like to get approval quickly to keep on schedule.

Thank you,

Guy Kitchell
Wisconsin Scaryland
guykitchell@gmail.com
608-287-6965



WAUNAKEE/WESTPORT JOINT PLAN COMMISSION SUMMARY SHEET

MEETING DATE: 03/12/2019

ITEM: New Business

TITLE: Westport Commercial Development Design Guidelines Discussion/Recommendation

ISSUE SUMMARY: The Town Design Guidelines Development Committee has viewed comments on the draft Guidelines document received as noted in their review plan, and incorporated comments as received and deemed necessary to make the document better. The Committee recommended approval at its last meeting, and is asking the Town Plan Commission to recommend approval to the Town Board. The JPC will should review the document and provide any comments they may have. Below is a link to the document.

https://waunakeepd-my.sharepoint.com/:b:/g/personal/tmeinholz_waunakee_com/EXHalQYCyqBMk2_rzgTJj64BK7WzuRPMT5zbKojzSmeRcQ?e=tKrAvF

STAFF RECOMMENDATION: Recommend to the Town Board for use subject to minor revisions as may be necessary to correct errors.

RECOMMENDED MOTION: Motion to recommend approval subject to minor revisions as may be necessary to correct errors.

ATTACHMENT(S): Final Draft Westport Design Guidelines.

TOWN OF WESTPORT

Commercial Property Design Guidelines



ACKNOWLEDGMENTS

TOWN BOARD

Dean Grosskopf, Chair
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Ken Sipsma
Mark Trotter
John Cuccia

DESIGN GUIDELINES DEVELOPMENT COMMITTEE

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CONTENTS

	7	Introduction and Overview
I.	11	Design Districts
II.	19	Site Planning
	20	General Site Planning Principals
	22	Circulation
	24	Parking Areas
	25	Pedestrian Spaces
	26	Public Sidewalks
	27	Internal Walkways
	28	Multiple Building Developments
	29	Outdoor Service & Storage
	30	Buffers and Screening
	31	Storm Management
	32	On Site Amenities
III.	34	Architecture
	35	General Architectural Principals
	36	Renovations and Additions
	37	Façade Design
	39	Building Materials
	40	Awnings and Canopies
	41	Roofs
	43	Street Corners
	44	Linear Commercial Buildings
	46	Service Stores and Convenience Stores
	47	Drive-Throughs
	48	Multi Story/"Big Box" Buildings (Anchor Stores)

CONTENTS

IV.	50	Landscape	
	51	General Landscape Principals	
	52	Tree Protection	
	53	Planting Strips	
	54	Parking Lot Landscaping	
	56	Tree Selection & Planting	
	57	Shrubs & Ornamental Planting	
	58	Landscape Maintenance	
V.	59	Lighting	
	60	General Lighting Protocols	
	62	Driveways, Parking Lots, Outdoor Sales & Service Areas	
	63	Pedestrian Spaces	
	64	Building Facades & Landscape Lighting	
	65	Service Station, Convenience Stores, Service Areas & Canopy Lighting	
VI.	66	Signage	
	67	General Principals	
	68	Freestanding Signage	
	69	Building-Mounted Signs	
	70	Multi-tenant Properties	
	72	Externally Lit Signs	
	73	Internally Lit Signs	
	74	Conclusion	

CONTENTS

Appendices	
Appendix A	Zoning and Planning Authorities
Appendix B	High-Tech Business Park District Architecture and Site Examples
Appendix C	Town Center District Architecture and Site Examples
Appendix D	Westport Commons District Architecture and Site Example
Map 1	Comprehensive Plan Map of Relevant Area
Map 2	Aerial View Map of Districts

Introduction & Overview

The Town of Westport's (the "Town") Design Guidelines (the "Guidelines") have been developed to guide the appearance, form, and function of new development and redevelopment in nonresidential zoning districts within the Town.

In utilizing these guidelines, the applicant, the staff, or any other users should consider the characteristics of the site and its immediate context, applicable plans for an area, the nature of the use, and the intent of the guidelines and performance standards as they apply to the specific design district.

In cases in which special conditions exist that are not specifically addressed by the Guidelines, the design district intent statement should serve as the basis for determining the appropriateness of the proposed design.

Why do Guidelines?

Established in 1849 the Town is bordered by Lake Mendota to its South, the Yahara River to the East, the Village of Waunakee to the North, and the City of Middleton to its West. Much of the South border of Westport is Lake Mendota. The Yahara River, Six Mile Creek and Dorn Creek flow through Westport before entering Lake Mendota. The Town is home to three marinas and several boat sales and repair operations. Several boat and small craft landings are found in Westport. Westport is part of the greater Madison area and only minutes from the Dane County Regional Airport and State Capitol (by car or boat).

Westport has a rich history as a pre-settlement home to many Native Americans and is well known as having one of the largest concentrations of effigy mound in the United States. One of the earliest settlement roads was a converted Native American trail known as Military Road. This road connected two early military forts (Crawford and Winnebago).

The fertile land was ideal for early settlers, so the community has deep roots in farming and agriculture. The Town was home to the first trading post in the area as well.

How are the Guidelines organized?

The Guidelines are presented in six chapters:

- I: Design Districts**
- II: Site Planning**
- III: Architecture**
- IV: Landscape**
- V: Lighting**
- VI: Signage**

Each chapter starts with a set of goals that envision what the Town hopes to accomplish by adhering to the Guidelines. Individual chapters are divided into sections that deal with specific issues. For each issue the Guidelines provide planning objectives and specific design guidelines.

Photographs are used throughout the Guidelines to illustrate what may be considered acceptable in the Town. The photographs are representative samples to make the Guidelines more reader-friendly. The Guidelines are not meant to stifle creativity; in all situations there may be many ways to achieve the Town's goals.

It is in the public interest of the Town to attempt to preserve as much of this early history as possible.

Now, the Town is a mix of rural and urban uses, but with significant local parks and trails, and other preservation areas. These areas are linked or planned for linkage, which will enhance connectivity for bikes and pedestrians. The Town contains significant lands protected by Dane County and the State of Wisconsin, including Governor Nelson State Park. The Town has worked diligently to conserve open and agricultural lands, including community separation space, and has been very successful in doing so.

The intent of the Town's design guidelines is to respect and maintain the Town's "rural character" utilizing history to plan for the future. Every hometown needs a special place to gather and socialize with friends and neighbors. Westport is surrounded by Waunakee, Middleton, DeForest and Madison, yet its residents wish to maintain their own separate sense of place. These guidelines aid in maintaining that feel and enhance the rural hometown special place that is Westport.

What are the objectives of the Guidelines?

The application of design standards and guidelines to non-residentially zoned properties will assist the Town staff and plan commissions to implement the Comprehensive Plan and specific plans for the Town's business and industrial areas defined herein as the following Districts: Westport Town Center, Westport Commons and the High-Tech Business Park, as well as other neighborhood business districts in a more effective and cohesive manner.

The main objectives of the Guidelines, which will be used in guiding changes and development, and in reviewing plans for development and improvements, are as follows:

1. Assist the planning and design of quality development projects to provide for increased opportunities and land use efficiency for redevelopment and new development, and promote design continuity and cohesiveness at the main portal corridors entering the Town

of Westport.

2. Avoid piecemeal and fragmented development that detracts from the establishment of a viable business environment and strong neighborhood appearance and character that reflect plans or studies for the subject area.
3. Encourage a viable and compatible mix of commercial, business, office, and residential uses in the Town.
4. Encourage the integration of mixed uses in designated areas through the development of consistent building forms placed parallel to the street, with minimum setbacks from the right-of-way, and an attractive and viable pedestrian-friendly environment to the greatest extent possible.
5. Encourage creative planning and design in the arrangement and siting of buildings, parking areas, circulation and access, shared parking facilities and ingress/egress arrangements, and limit multiple curb cuts.
6. Make the policy of efficient traffic flow compatible with the goal of promoting an attractive and viable, pedestrian-friendly environment through the establishment of a safe, convenient, and attractive pedestrian and bicycle network of paths and public places.
7. Protect property and private investment.
8. Promote public health, safety and welfare.

The Guidelines are not intended to inhibit or restrict innovative and creative design solutions. Rather, the intent is to achieve a cohesive vision for development that appropriately applies techniques compatible with lasting styles and ideals that define the Town's rural character, historic charm, community values, and future growth. The Guidelines provide this essential regulatory tool for planning and design of developmental proposals by encouraging a sustainable and prosperous economic environment. These Guidelines complement and support policies already in place within the Town. The Guidelines share similar goals and objectives with various regulatory and planning documents, but focus on the building and spaces between them to create unique, compatible, comfortable, and safe environments. The Guidelines also assist the Plan Commission with the

implementation and enforcement of its primary function and responsibility - to protect the public's health, safety and welfare. The core objective of the Town's Comprehensive Plan is to preserve the Town's rural character. The Comprehensive Plan shall be used in conjunction with the Guidelines and will help ensure that long range land use and economic development objectives are achieved.

Note that the Comprehensive Plan may be revised from time to time. If the Comprehensive Plan is amended, then this document should be read to be consistent with any such change. If that is not feasible, then the Comprehensive Plan is the higher authority and controls over this document.

With this in mind, the following objectives shall be a priority for all development:

- Ensure prosperous economic development within a vibrant, traditional, and rural Wisconsin setting;
- Design to the human scale;
- Create architectural styles that are compatible with each other and harmonious with the surrounding architecture, rural character of the Town, and adjacent neighborhood fabric;
- Create a unique sense of place that promotes pride and social interaction among residents and visitors; and
- Ensure that the community is open and accessible to all Town residents and promotes a healthy lifestyle.

Past approved designs may provide for some guidance, if somewhat recent and not based on past approvals. For instance, design concepts for Yahara Crossing, The Athens Grill, and related convenience store predated recent approvals and would not pass muster under this document or current standards. The same is true for several Skipper Bud's metal storage and marine structures. The Boat House, Kraemer Printing and the former Gary Stone's Paddle Board Place are in similar stead. The Summit Credit Union, Pine View Veterinary Clinic and Pet Retreat, and Inspire Day Care structures, as well as those approved in the JPA along Century Avenue for the Kilkenny Farms development, are more indicative of these Guidelines.

Are the Guidelines mandatory?

Throughout the document the word "should" is used to denote that these are recommended guidelines and not mandatory standards. The Guidelines in this manual are intended to accompany adopted Town plans and guide the Town staff and commissions during the review process of applications from business or property owners for improvements, and modifications to existing buildings and for parking and circulation improvements in the commercial districts. In many cases the Town plan commissions encourage compliance in order to facilitate the review of development projects.

Where do the Guidelines apply?

The provisions of the Guidelines apply to all nonresidential zoned areas in the Town. They apply to new construction as well as expansions or redevelopment of existing buildings and sites. They will apply to isolated commercial developments located outside of Design Districts referenced below, and the provisions below will be applied to those developments at the approving review body.

How will the Guidelines be used?

There are two main functions of the Guidelines. First, they will provide guidance to landowners and developers in the early stages of planning and design, to address this question: "What is the Town looking for?"

Secondly, they will be used as a benchmark by the staff, consultants, commissions, committees, boards, and peer reviewers to evaluate development proposals as part of the review processes to address the questions of "Does it meet the Town's criteria?" and "What will it look like and how will it function?"

Implementation of the Guidelines may rely on the services of architects, civil engineers, and landscape architects working as consultants or developers. The Guidelines will be administered by staff through the review process. The Guidelines will be applied to development that requires site plan approval from the Town plan commissions.

What Zoning Authorities are in play and how is that applied?

The Town has several authoritative documents dealing with design, and is the town included in three different zoning districts with differing code sections, but similar concepts. The High-Tech Business Park and Westport Commons Districts are all included in Waunakee's zoning jurisdiction where the Waunakee Zoning Code applies (as does the Waunakee Land Division Code as the law provides). The Westport Town Center District is partially within Waunakee's zoning jurisdiction (the area north and west of the Yahara River), but also a small area is under the Town Zoning Code (south and east of the Yahara River). The Waunakee Land Division Code applies as provided by law in this District. The Waunakee-Westport Joint Comprehensive Plan, including the adopted CORP, essentially is in place across the entire Town, having been approved for such use by Middleton, Waunakee, Westport and Dane County. The Town Land Division Code does apply in all Districts and all across the Town.

Attached at Appendix A is a bibliography of these zoning and planning ordinances, regulations, jurisdictional maps, and links.

Are there specific architectural themes to utilize?

Based on the Town's history, uses, current geography, and Comprehensive Plan, three types of themes will be considered for structures in the Town: Architectural theme, Prairie Architecture (Usonian or New Urbanism for example), or an Architectural/Farm related architectural theme. The areas along the Yahara River and Lake Mendota in the Town Center should follow the Nautical type theme. In the other Districts, developers should propose one or more of the themes and explain how they will best fit the area and neighboring uses. Example pictures that follow in the design specifics include renderings or photos of these types of architectural themes.

What will the ultimate outcome be for the Town?

The Guidelines are not designed to produce immediate results. Like the Comprehensive Plan and other Town plans, they provide a framework for the future. The process is intended to ensure that site plans are reviewed efficiently by plan commissions and staff resulting in high quality development that improves the Town's overall aesthetic cohesiveness and immediate environment of the subject site.

I. Design Districts

Introduction

Three separate “Design Districts” have been developed for non-residential commercial, business and industrial areas within the Town. Each of the Design Districts have their own particular design characteristics and architectural vocabulary as defined later in this document. All three of the Design Districts border gateway corridors to the Town in some fashion.

Districts Established

The more urbanized portion of the Town has been developed along a T-shaped corridor following the STH 113 and CTH M intersection westerly to CTH K. This area has been described in the Comprehensive Plan as the “Westport Town Center.” Map 1 attached shows the Town Center Commercial areas from the Comprehensive Plan. There are three distinct commercial areas each which has unique locational and geographical features lending toward necessary design and site plan distinctions. Those areas are shown at Map 2. Those will be identified as the High-Tech Business Park District, the Westport Town Center District, and the Westport Town Commons District.

High-Tech Business Park District

This District is essentially the Business Park area which will remain in the Town when developed located North of CTH M and West of STH 113 (Kennedy Drive to W. River Road). This area is a flat and open area, currently farmed, and mainly owned by one company looking for high energy consumers. Its location along STH 113 close to the North entrance of Madison, and a short distance from both the airport and the Interstate system, make it very attractive for technology based businesses and manufacturers. This District is a unique asset in the Town. A substantial portion of the District is currently a Certified Site through the Wisconsin Economic Development Corporation, and is one of only twenty sites in the State designated as a shovel-ready development intended to increase employment and tax base. The Comprehensive Plan promotes this District as industrial and commercial in nature. As such, this District is likely focused on a small number of larger users.

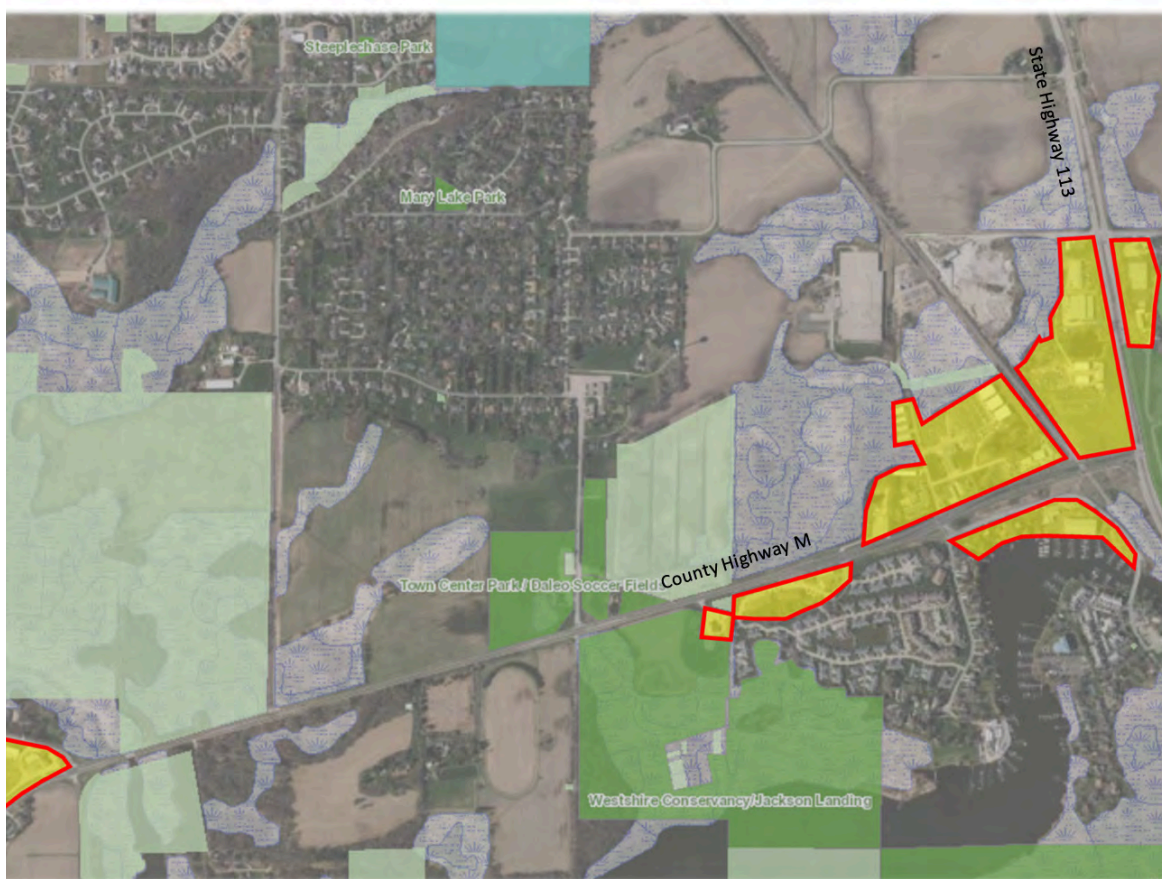
Additionally, acknowledging the unique nature for potentially larger manufacturing or industrial users and structures in this District, it is understood that some of the limits and design elements expressed in this document may need to be adjusted in the opinion of the Town Plan Commission and/or Town Board depending on these proposed uses and the number and size of structures included in this District. For instance, if only one or two users utilize the property in this District with larger structures anticipated, the Town Plan Commission and/or Town Board may adjust more of the recommendations included here as opposed to if there are several users and structures anticipated (allow more guideline flexibility for larger projects specifically in this District).



High-Tech Business Park Boundary Map

Westport Town Center District

This District is essentially the Business Park area which will remain in the Town when developed located North of CTH M and West of STH 113 (Kennedy Drive to W. River Road). This area is a flat and open area, currently farmed, and mainly owned by a utility holding company looking for high energy consumers. Its location along STH 113 close to the North entrance of Madison, and a short distance from both the airport and the Interstate system, make it very attractive for technology based businesses and manufacturers.



Westport Town Center District Boundary Map

Westport Commons District

Westport Commons District. This District is established covering the area along CTH M from Mary Lake Road to Woodland Drive, including the Town Center Park and facilities. This area is unique in its link to several Westport and Waunakee residential neighborhoods north of the area to the businesses and recreational opportunities in the Town Center District. It is sandwiched between Six Mile Creek and its protective parklands and trails, and the Town local government center and active park. Other than the Town government area, the area is owned by one party, and contains environmental corridors and unique connectivity options. This area is unique as it has significant potential for a special gathering place in the Town. Should this area be developed, it is the desire of the Town for this area to maintain a rural character. This area is part of an interconnected trail system and part of the regional biking and hiking trail system. This area contains significant wetlands which are connected with more wetlands located to the west and south. The northern portion of this area is bordered with single family homes, and to the east are the Town Center government structure and Daleo Soccer Fields. This area would be ideal for a mixed use gathering place with local shops, restaurants, civic uses, and entertainment, while combining the need for a gathering place, with sitting areas, small parks, trails for biking and walking, allowing nearby neighborhoods pedestrian access.



Westport Commons District Boundary Map

Note that the Town believes that the Westport Commons District will become the hub for the Town commercial areas and residential neighborhoods. It will be a new and major connection point for commerce, traffic, multi-model travel, and recreational activity on the north side of Lake Mendota. It is vital that the Town be patient and plan this area as a whole, integrating it to Lake Mendota, Six Mile Creek, the Yahara River, highways, parks, trails, government, recreational facilities and pedestrian/bicycle trails that all meet at that point. There is no room for error or mistake because to do so could last life times. The High-Tech Business Park similarly should be looked at as a whole and will transition from STH 113 to the Mary Lake neighborhood. Town Center District is similarly situated, but not a blank slate, so care must be taken to not continue older bad habits, and integrate new buildings and designs as they are proposed.

These three areas will have many design guidelines in common, but also will require unique policies based on the differing expectations of ultimate development. As noted previously, some isolated commercial developments outside of these Districts occur in the Town from time to time. The appropriate reviewing body will apply the provisions below which are deemed appropriate for the location and type of development in the discretion of the reviewing body. The following sections will further detail these common and unique guidelines.

General Design Standards from Current Town Regulations:

i. Common Guidelines. The following policies generally guide design and property development in all of the Districts.

A. Any new use should not threaten the natural environment in any way, including an increased risk of contamination to the air, soil, surface waters, or ground water; increased sound levels; or increased nighttime light levels.

B. Any new use should be compatible with existing adjacent uses, especially any residential uses. Buildings and sites should be designed to

prevent noise, odors exterior lighting, or traffic patterns that would be objectionable to existing adjacent uses.

C. Any use that generates excessive traffic, does not create good paying jobs for local residents, uses dangerous or potentially hazardous types of processes, requires large amounts of raw material, generates significant amounts of waste products, utilizes or requires hazardous materials, generates excessive noise, or has the potential to negatively impact the natural and agricultural resources of the Town should be prohibited.

D. Any lighting on commercial structures should be recessed and/or screened so that there is no spill-over onto adjoining properties. Lighting should be permitted only as allowed under the Town's Dark Skies Code.

E. Commercial developments should meet all signage and parking requirements of the applicable codes, unless granted a waiver or variance as afforded by those codes.

F. Any commercial use that would be incompatible with neighboring uses, especially rural residences and farming operations, should be prohibited. Incompatible uses may exhibit one or more of the following characteristics:

- Excessive noise, light, traffic, or odor.
- Dissimilar architecture, signage needs or other appearances.
- Requires excessive employees or generates significant customers from outside the Town of Westport or immediate area.
- Requires exceptional levels of public improvements or services.
- Lack of appropriate area for setbacks or screening between neighboring buildings, parcels and other land uses.

G. Multi-unit residential uses may be considered on a case-by-case basis, either as a stand alone use or mixed with a commercial use. The suitability of such use will be determined by site characteristics and the quality of the design. The applicant needs to demonstrate the safe provision of access, parking, and pedestrian routes and show how the residential use relates to other uses on that site or adjacent sites.

H. Multi-family housing, if allowed, should be well designed and arranged within the site integrated amongst surrounding lower-density housing units and sites, and provided with the proper level of utilities and community services.

I. Encourage commercial and residential uses with shared walls be constructed with adequate sound proofing and durable materials to reduce conflicts and operations and maintenance costs.

J. Development should connect to or establish a connected street, sidewalk, recreational path and trail network that promotes walking, biking, and transit in addition to motor vehicles, and that connects to regional trails, recreational paths and roadways in surrounding areas, creating a highly connected travel network for pedestrians, bikers, transit, vehicle, and other travelers.

K. Each District should contain public access to outdoor recreational activities.

L. Design street and trail networks to provide convenient walking and biking access for residents to civic, business, and recreational uses.

M. Leverage recent investments in trails and proposed park investments to build community image and enhance development potential and quality in the District.

N. Appealing opportunities should exist for youth to be productive and engaged community members.

O. When new proposals are considered, evaluate existing development to determine where connectivity can be improved.

P. Work with Dane County, State, and Federal governments to link recreational trails, and identify gaps in trails and bikeways.

Q. Accommodate transit (traditional and para-transit), ride-share, walking, biking, and other non-vehicular forms of travel to accommodate persons of different ages and abilities.

R. Establish interconnected transit, bike, and pedestrian networks between the FUDA North Mendota Communities and neighboring communities.

ii. Unique District Guidelines. The following policies generally guide design and property development in the Districts established here.

A. High-Tech Business Park District

This District is near the primary entrance corridors to the Town Center and should be attractive and inviting along STH 113.

1. Buildings and landscaping along the main corridors should be aesthetically pleasing.
2. Corridors should be improved by public improvements such as lighting, signs and landscaping in the public right-of-way.
3. Development along these primary entrance corridors requires special attention and design effort in the development process to ensure strong and attractive entrances. This should include the selection of high quality materials and design for buildings, exceptional landscaping and buffering techniques to obscure the view of features not intended for view from a highway, such as residential rear yards, garage doors and loading docks.
4. Implement streetscaping and community design/character guidelines. Attached at Appendix B are examples of general architecture and site appearances to be considered in this District.
5. Given that this District is targeted towards industrial and commercial development and has a focus on employment, the following may be allowed in this District:
 - Building features different from the Westport Town Center District and Westport Commons District;
 - Buildings that may be taller than in other districts and have an architectural style befitting an industrial/commercial

development which may differ from Prairie Architecture, Agricultural/Farm or related themes;

- Designs which accommodate truck and train access and movement;
- Businesses and buildings with noise levels different from the lower levels expected in the Westport Town Center District and Westport Commons District;
- Businesses and buildings that generate traffic and may use a variety of manufacturing processes which require or process raw material;
- Parking lot siting and design that differs in size and location from other Districts to accommodate semi-truck or rail spur access and loading;
- Utilities and mechanical equipment to be placed at grade as long as they are placed in safe manner, location and with reasonable screening;
- Sidewalks and pedestrian spaces tailored to the employees of the businesses in the District, and primarily used as internal sidewalks for safe passage to and from the parking lots;
- Storage, loading/unloading, loading docks, dumpsters, recycling, mechanical equipment, fuel areas, and service areas to be placed to cohesively fit into the site while providing for functionality of building design, orientation, and positioning;
- Site plans orientated in such a way to best suit development and business operations with screening as appropriate;
- Buildings located on the corner of two public streets not close to the corner as site plans may vary to best complement efficiency and productivity;
- Company corporate colors and design standards;
- Parking lot landscaping in line with landscaping typically found in industrial settings with planting strips and shrubs/ ornamental plantings as standard for the type of business; and,
- Some incompatibility with the three multi-family residential buildings in an A-1 zoned area north of the District property at the corner of STH 113 and Kennedy Drive.

B. Town Center District

1. This District contains the primary entrance corridors to the Town Center and should be attractive and inviting along STH 113 and CTH M.
2. Buildings and landscaping along the main corridors should be aesthetically pleasing.
3. Corridors should be improved by public improvements such as lighting, signs and landscaping in the public right-of-way.
4. Development along these primary entrance corridors requires special attention and design effort in the development process to ensure strong and attractive entrances. This should include the selection of high quality materials and design for buildings, exceptional landscaping and buffering techniques to obscure the view of features not intended for view from a highway, such as residential rear yards, garage doors and loading docks.
5. The Town should consider similar specific designs for development along the entrance corridor highways as in Waunakee entrances.
6. Prohibit commercial driveway access directly onto CTH M and STH 113, and where feasible, use shared driveways, frontage drives, and access from side streets.
7. Consider higher residential and commercial densities and mixed-use development along proposed transit corridors, and in redevelopment infill projects, such as along the Yahara River, including potentially as proposed in the Yahara River Redevelopment project (created as a capstone project by a UW landscape architecture student).
8. Consider higher density residential development in and around commercial centers to build community and strengthen the customer base for local businesses.

9. In general, allow for greater commercial and residential density and mixing these uses near existing and future destinations and transit corridors (such civic uses, entertainment venues, retail) to encourage walking, biking, and when feasible, transit.
 10. Permit senior residences (life-cycle housing), multi-family housing, and homes with a broad mix of sizes and price-points, including homes accessible to people with disabilities.
 11. Mix housing, civic, open/public spaces, retail and office uses, horizontally and vertically.
 12. Implement streetscaping and community design/character guidelines.
 13. Take advantage of significant potential for outdoor recreation in this District with the Yahara River, Six Mile Creek, Lake Mendota, and Daleo Soccer Fields/Westport Town Center Park and connect them to all businesses and residents in the District, limited by the fact though that natural resources are finite, and so sustainable use of resources is necessary to ensure current and future use.
 14. Attached at Appendix C are general examples of architecture and site appearances to be considered in this District.
- entertainment venues, retail) to encourage walking, biking, and when feasible, transit.
 4. Permit senior residences (life-cycle housing), single-family lots, multi-family housing, and homes with a broad mix of sizes and price-points, including homes accessible to people with disabilities.
 5. Mix housing, civic, open/public spaces, retail, and office uses, horizontally and vertically.
 6. Take advantage of significant potential for outdoor recreation in this District the Town Center area with proximity to the Yahara River, Six Mile Creek, Lake Mendota, and Daleo Soccer Fields/Westport Town Center Park, and connect them to all businesses and residents, limited by the fact that natural resources are finite and so sustainable use of resources is necessary to ensure current and future use.

Attached at Appendix D are general examples of architecture and site appearances to be considered in this District.

C. Westport Commons District

1. Consider higher residential and commercial densities and mixed-use development along proposed transit corridors.
2. Consider higher density residential development in and around commercial areas in this district to build community and strengthen the customer base for local businesses.
3. In general, allow for greater commercial and residential density and mixing these uses near existing and future destinations and transit corridors (such civic uses,

18 I. Design Districts

II. Site Planning

Introduction

Each property is unique. Plans for development and redevelopment should be based upon a careful understanding of the site and its surroundings in order to meet the requirements of the ultimate user, while meeting the Town's goals for functionality, safety, and visual character, and ensure consistency with adopted plans.

These guidelines are intended to supplement, illustrate, and amplify various applicable sections of the Town code and comprehensive plan as noted.



Site Planning Goals:

- Distinctive, attractive properties that welcome people to the Town.
- Developments should be integrated into the commercial areas and the immediate context through street connections, sidewalks, connecting outdoor spaces, land use transition and compatibility, and building scale and character, which respects the uniqueness of each property and reinforces the Town's sense of place and character. Seek a balance between serving both automobile and pedestrian movement.
- Public open space throughout the Town to enhance its appearance and support pedestrian use.
- An attractive, functional, and safe environment that is conducive to commerce and other permitted activities.
- Protection for abutting residential properties through sensitive site planning, buffering, and architectural design.
- Upgrading visual character and sense of human scale in spaces through particular attention to architecture, site planning, signage, landscaping, and lighting.
- Encourage increased walking and bicycling by providing safe, attractive, interconnected facilities.
- Universal accessibility that meets the Americans with Disabilities Act (ADA).

General Site Planning Principals

Objectives

Good site planning should result in an attractive, safe, and economically viable relationship between buildings, parking, signage, lighting, landscaping, and the surrounding environment. Site plans should minimize the visual effects of parking and utilities, feature high-quality landscaping, accommodate pedestrian and bicycle movement, and encourage connections to nearby properties.

Design Guidelines

- **Site Analysis.** The site plan should be based upon a careful analysis of existing site conditions that considers topography, wetlands, soil conditions, existing vegetation, drainage, abutting land uses, and other factors that will influence the placement of buildings, roads, and parking areas. The plan commissions and boards may require a graphic presentation to demonstrate how knowledge of site conditions has influenced the site plan.
- **Preservation of Existing Features.** Site development should minimize disruption to natural and cultural features (e.g., mature trees, wetlands, drainage ways, stone walls) in a manner that would change their existing character.
- **Open Space.** Open Space areas should be preserved and integrated throughout the development. Where possible, open space should be continuous and used to preserve significant natural and cultural features. Open space should be coordinated with abutting properties to create continuous open space networks for wildlife corridors, riparian buffers, visual screening, etc.
- **Use of Open Space.** Open space should not contain any type of commercial activity, overflow parking, paved surfaces, constructed stormwater management facilities, or active recreation. Uses may include open vegetated areas, picnic areas, planting beds, bioretention areas, naturalistic water features, and similar features.
- **Parking Lots.** Parking should be located primarily at the side or rear of the building, with minimal parking in front. Parking lots should be screened to minimize their appearance in all districts, and need to maintain all stormwater runoff. Porous surfaces could be considered.
- **Relationships to Surrounding Properties.** Developments should be linked with the adjacent properties in the district and surrounding areas in order to provide direct, safe, and convenient pedestrian, automobile, and bicycle access. Where applicable, the expansion of the pedestrian network should be achieved through the: extension of public and/or private streets whenever possible, extension of sidewalks and/or paths in and through the development (such as those identified in the Dane County Park and Open Space Plan and Regional Trails Map), and extension of green space in and through the development.
- **Ancillary Uses & Utilities.** Service areas, outdoor storage and sales areas, HVAC equipment, trash containers, and other similar features should not abut residential neighborhoods and should be screened from adjacent properties and streets.
- **Buildings in Existing Parking Lots.** The development of buildings on out-parcels or additions extending towards the street are strongly encouraged to break up the scale of large parking areas.
- **Coordinated Future Development.** Where site plans are presented for a portion of a property, the applicant should show how the plan has been designed to accommodate future buildings, access roads, sidewalks, drainage, utilities, signage, and preserved open space in a coordinated fashion.

- **Orientation of Development.** While the majority of the existing buildings are free-standing and are not situated at close proximity and parallel to the roadway, the redevelopment of these properties should consider the building placement as it relates to roadways and the adjacent properties.
- **Entryways.** The design and character of the entryway to the development establishes its identity and its theme and sets forth its image and quality. Entryways should be designed in a manner unique to the character and theme of the development and should also be compatible with the existing general character of the adjoining areas in the district.

- **Corner Sites.** Site entryways, primary circulation patterns, and connections to adjacent uses should act as complete streets and serve pedestrians, bicycles, automobiles, and other modes of transportation without the necessity to use arterial roadways where possible. Street extensions, roadways, and vehicular drive connections to adjacent developments should include facilities to accommodate pedestrians and should incorporate streetscapes or landscaping. New access points and roadways used for site entry should align across primary roadways to the greatest extent possible forming controlled intersections.



Redevelopment of this site establishes several more pronounced entryways to the building and draw a stronger connection towards the adjacent roadway

- **Above Ground Utilities.** Utilities traditionally place above ground (electric, telephone, cable, etc.) should be examined for potential to: be placed underground, placed behind buildings with rear connections or consolidated on as few utility poles as possible. Substations, transformers and fuel tanks should be placed in screen enclosures away from primary pedestrian paths and vehicle entry areas.

Circulation

Objectives

Development activities should be characterized by safe, user-friendly, and efficient traffic flow. Access management principles should be followed to reduce the number of curb cuts, provide a safe vehicular and pedestrian environment, encourage intra-parcel travel, and minimize the number of trips on roadways

Design Guidelines

- **Curb Cuts.** Site plans involving curb cuts should comply with Town or other applicable requirements and plans should demonstrate an adherence to sound access management principles to promote efficient traffic flow and maintain a high level of safety for pedestrians, bicyclists and motorists. The number of curb cuts should be minimized to increase vehicular and pedestrian safety and the location and design of driveway entrances to the property should minimize conflict with off-site traffic, and provide for safe transition into the parking lot. Entrance drives should be located so that they reduce potential traffic problems, afford maximum sight distance, provide adequate queuing, and acceleration and deceleration lanes if necessary.
- **Shared Access.** Entrances to abutting commercial properties should be combined wherever feasible to minimize curb cuts and provide for more efficient traffic flow across developments.
- **Internal Traffic Flow.** To ensure the safety of motorists and pedestrians, the development plan should clearly delineate internal traffic patterns for both vehicles and pedestrians. Parking spaces, directional arrows, crosswalks, raised curb landscaped islands, and other markings on the ground should be delineated with pavement paint/material signage.
- **Connections with Adjacent Properties.** Pedestrian and vehicular connections between parking lots and driveways on adjacent parcels should be provided wherever feasible to minimize turning movements onto major roadways. Internal connections should provide safe, direct access while discouraging vehicular shortcuts. Cross easements should be provided as required to facilitate circulation and anticipate future connections.
- **Traffic Calming.** New developments or modifications to existing buildings should ensure their integration with the existing and future traffic patterns and traffic volume through the use of appropriate traffic management techniques. Traffic calming measures should be included where appropriate to discourage speeding within the site and between abutting properties. Measures may include speed tables, on-street parking, raised crosswalks, vertical curbing, curvilinear road alignment, roadside plantings, neck-downs, curbed islands, and signage.
- **Drive-Throughs.** Where such uses are allowable, access routes leading to or from takeout windows or other drive-throughs should minimize conflicts with pedestrian circulation routes. Motorists should be made aware of pedestrians through signage, lighting, raised crosswalks, changes in paving, or other devices.
- **Pedestrian and Bicycle Movement.** The development plan should provide for safe pedestrian and bicycle movement within the site and between abutting properties. Walkways should be designed to create a safe, efficient, and uninterrupted pedestrian way, and walkways should avoid frequent crossings by driveways or streets. They should be separated from streets and parking lots by curbs or other means to create physical separation. Specifically, onsite pedestrian connections should be provided to and between the following points:
 - The primary entrance or entrances to each building.

- Existing or planned transit stops, stations, and park-n-ride locations.
- Existing or future trail systems or amenities, where determined appropriate by the Planning Commissions, Town Board or Joint Planning Commission.
- **Maintenance.** All crosswalks and parking area lines should be repainted periodically to ensure their effectiveness.
- **Transit Connections.** Redevelopment and/or site improvements should plan for access and connectivity to existing and future transit facilities, including, but not limited to, park-and-ride locations, pullouts, stops, and shelters. Transit stops should be incorporated into the layout of the site, and should be protected from automobiles, where feasible, to become safe pedestrian spaces.



Elements such as stripping or pavement patterns can be used for aesthetics as well as traffic calming

Parking Area

Objective

Parking lots should be designed to complement adjacent buildings, the site, and the design district without becoming a dominant visual element. Every effort should be made to reduce the scale of parking lots by minimizing the total amount of paved surface visible from the road.

Providing more parking than the code requires adds substantial costs to development and redevelopment, and in some cases the added costs will prevent development altogether.

Parking lots should be designed as inviting, pedestrian-friendly places by careful attention to landscaping, lighting, and walkways. Parking areas should also comply with applicable code requirements, comply with the Town's stormwater standard, and consider using porous surfaces.

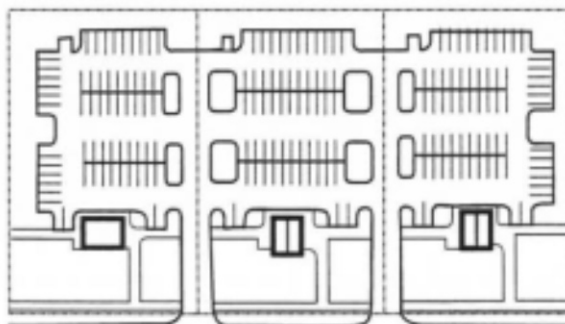
Design Guidelines

- **Orientation.** Parking lots should be designed as part of the overall plan for the site, and coordinated with the circulation plan, building entrances, lighting, landscaping, snow storage, and service areas. Parking lots should be located and designed so they do not detract from the character and scale of the surrounding area and the streetscape, and where feasible, the majority of the parking area should be located to the rear and sides of the building so that they can be screened by buildings.
- **Scale.** Parking areas should be broken up with trees, landscaped islands, grade changes, low walls, or other appropriate features. Large expanses of uninterrupted pavement should be avoided and new parking areas should incorporate green infrastructure facilities to accommodate runoff.
- **Shared Parking.** Shared parking use among different sites, where the peak parking demands occur at different times, is encouraged as allowed by code.

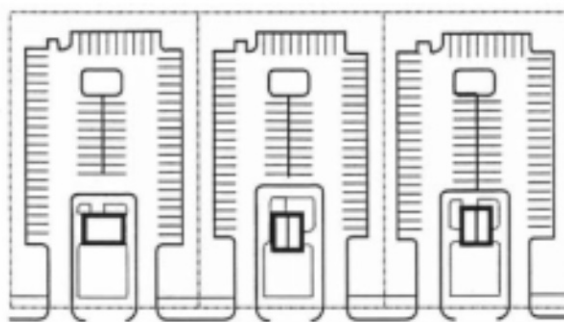
- **Parking Aisles.** Parking lots should be oriented to minimize the number of parking lanes crossed by pedestrians.
- **Sustainable Parking.** Parking areas constructed with sustainable materials in accordance with LEED or similar design specifications can be used for infrequent parking or overflow parking.
- **Parking Obstruction.** Pedestrian walkways through parking areas should allow for at least a four foot (4') wide clear zone from vehicles obstructing the walkway.

Shared Driveways

Do this



Not this



Pedestrian Spaces

Objectives

Commercial buildings should provide outdoor spaces for a variety of uses – seating/resting, dining, displays, and aesthetic enhancement – to create a pedestrian-friendly environment. Decisions with respect to the pedestrian movement system should be considered concurrently with the site planning process, and should not be added as an afterthought in the form of pavement strips, left over space, or orientation signs.

Design Guidelines

- **Outdoor Spaces.** Development plans should include outdoor use areas such as greens, plazas, and courtyards appropriate to the use of the property. Buildings should be oriented toward open spaces rather than roadways, and should have a major access on the space. Outdoor spaces should be coordinated with the pedestrian circulation plan to encourage pedestrian use, with provisions for seating and outdoor activities as appropriate. Outdoor spaces should be designed to separate pedestrian and vehicular traffic with landscaping, grade changes, and other site features.
- **Planning.** Where outdoor use areas are provided, they should be located in sunny, highly visible locations and sized to fit the anticipated uses.
- **Materials.** Outdoor use areas should be constructed of high quality, easily maintained materials. All elements within the space should be coordinated with the architecture and site elements to achieve a unified look. The use of decorative paving is encouraged for sitting areas, pedestrian plazas, building entrances, or other designed open spaces.



Public Sidewalks

Objectives

Public sidewalks and planted esplanades can be a highly desirable part of the streetscape, adding scale in a commercial landscape and creating a safe place for pedestrian movement.

There are many areas in and around the Town which are currently not pedestrian or bicycle friendly. The long-term objective is to provide an interconnected network of bike paths and sidewalks, consistent with applicable plans, that provide an alternative to the automobile and encourage exercise for the general population.

Design Guidelines

- **Coordination with Other Sites.** Facilities should be coordinated with abutting land uses to create interconnections throughout the commercial area and linkages to surrounding residential neighborhoods. Lighting and other amenities abutting walkways should be at human scale and provide line of sight to other pedestrians, motor vehicles, etc.
- **Coordination with Site Plan.** All new sidewalks should be coordinated with the Site Plan to avoid conflicts with landscaping, utilities, grading, drainage structures, signs, and other elements.
- **Material Selection.** Materials selected for curbing and sidewalks should be durable and long-lasting, and consistent with the character of the design district.
- **Crosswalks.** Where sidewalks intersect with commercial drives or roads, crosswalks should be installed to alert the motorist and improve visibility. Crosswalks should offer a noticeable change in texture and color. Raised crosswalks should be considered at key locations as a traffic calming device to make crosswalks more visible. Signs may be warranted in certain situations as determined by the appropriate codes.



Internal Walkways

Objectives

Site development should consider the needs of the pedestrian for safe, functional, attractive walkways throughout the property.

Design Guidelines

- **Location.** Internal walkways should be located where motorists can anticipate pedestrians and react accordingly. Walkways should be designed to give the pedestrian a full view of oncoming vehicles, with minimal interference from trees, shrubs, signs, light fixtures and parked cars. Walkways should avoid drive-through lanes, access and service drives, and other high-traffic routes.
- **Orientation.** Walkways in parking lots should be aligned with the main entry or a focal point on the building to assist in wayfinding.
- **Width.** Internal walkways should be a minimum of four feet wide. Additional width may be necessary in certain conditions, e.g., where shopping carts may be used, where heavy pedestrian traffic is anticipated, or where cars overhang the walkway.
- **Coordination with Landscaping.** Areas adjacent to walkways should be landscaped with trees, shrubs, flower beds, ground covers, or other such materials for year-round interest. Shrubs should be used with care to avoid blind spots. Special features, such as benches, flower beds, planters, and artwork can be used to enhance the walkway. Trees along all walkways should be trimmed to provide adequate sight distance and to remove potential obstacles.



A dedicated walkway that provides a safe, well-marked pathway to a main entrance while minimizing conflicts with vehicles

Multiple Building Developments

Objectives

Developments consisting of more than one structure should exhibit a high degree of coordination in site planning, architectural design, site design, and site detailing. All physical components should be designed to complement an overall plan.

Design Guidelines

- **Master Plan.** Where multiple buildings are proposed, a master plan should be prepared to show the general location of future buildings, parking lots, roads and driveways, lighting, signage, landscaping, walkways, utilities, service areas, stormwater management, and other components of site development. The master plan should also show how traffic, stormwater, and utilities will be coordinated with adjacent properties. The plan should consider significant natural or cultural features and integrate open space.
- **Phasing Plan.** As part of development plan applications, the applicant should provide a phasing plan that illustrates the sequence of development and what steps will be taken to ensure compatibility between current and future activities.
- **Building Orientation.** Multiple building developments should be designed to create usable, safe and attractive pedestrian spaces, at a “human scaled”, and preserve significant site features, and minimize the appearance of parking areas.
- **Focal Points.** A limited number of buildings or other elements should be designed as focal points. These structures should be visually more prominent, enhanced by height, massing, distinctive architectural treatment, lighting, landscaping, or other distinguishing features.
- **Circulation.** A unified site plan will be required that will identify ingress/egress, internal circulation, and shared driveways that should be installed, to the extent possible, with the first phase of development.



Outdoor Service & Storage Areas

Objectives

Outdoor service and storage areas should be integrated into the overall site plan. They should be designed to meet the functional needs of the facility while minimizing any traffic or visual conflicts, audible noise, or smells.

Design Guidelines

- **Locations.** All facilities for service, including waste collection and storage facilities/areas, off-street loading and unloading areas, loading docks, utility areas, mechanical equipment, dumpsters, fueling areas, and vehicle service and maintenance areas should be located at the side or rear of the principal building. Locations that face public roadways or abutting residential properties should be avoided.
- **Design.** Outdoor service and storage areas should be sized to fit the specific needs of the building and its intended operations.
- **Screening Design.** Service areas should be screened with architectural elements such as walls or fences. Screening may be further enhanced with evergreen trees, shrubs, and earth berms. Structural screens and fencing should complement the design of the main structure by repetition of materials, detailing, scale, and color. Where chain link fencing is required for safety, it should be landscaped and painted black or a similar dark color, or coated with dark vinyl. All screening shall be properly maintained.
- **Recycling Facilities.** The installation and use of recycling bins is encouraged. All recycling facilities should be screened in a manner similar to other service areas. Dumpsters and recycling areas should be consolidated where possible.



This service area is screened by a solid wall that repeats the design elements used elsewhere on the site



Trash enclosures should be sized to accommodate the dumpster for the facility

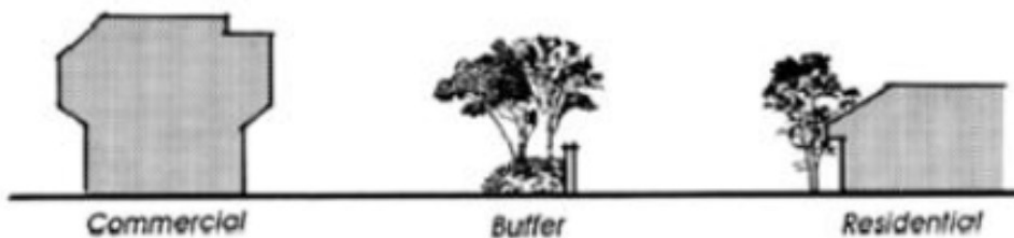
Buffers & Screening

Objectives

Buffering or screening will be required in certain areas to ensure compatibility between incompatible land uses, particularly between commercial, industrial and residential properties. Plantings, earth berms, stone walls, grade changes, fences, distance, and other means can be used effectively to create the necessary visual and psychological separation.

Design Guidelines

- **Appropriateness.** The selection of the proper type of buffer should result from a thorough understanding of existing site conditions, distances to property lines, the intensity of the proposed land use, and the degree of concern expressed by the commissions and boards as well as abutting landowners.
- **Design.** Buffers and screens should be considered an integral part of the site plan. Stone walls, plantings, fencing, landforms, etc., used for buffers should be similar in form, texture, scale, and appearance to other landscape elements.
- **Maintenance.** Buffers should be maintained throughout the life of the project in a condition that assures continual year-round effectiveness. Where plantings do not survive, or grow to a point where they no longer serve as effective buffers, they should be replaced to meet the intent of the approved plan. Walls, fencing, or earth berms used to screen parking lots and add visual interest to a planter strip should be designed as an integral part of the grading plan.
- **Fencing.** Where fencing or other architectural elements (e.g., screening walls) are installed in a highly visible location, they should be treated as an integrated architectural element, complementing the form, style, color, or detailing of the adjacent building.
- **Walls.** Where freestanding walls are installed they should be constructed using durable materials. Walls at the street view should relate to the form, texture, and style of the walls approved by the Town.
- **Combinations.** Combining plantings, berms, fencing, and walls will often result in an economical, attractive way to meet the buffer requirements and create a distinctive landscape.



Variable height fence and vegetation provide good visual separation between commercial and residential neighborhood. The buffer is attractive on both sides sized to accommodate the dumpster for the facility

Stormwater Management

Objectives

To comply with applicable stormwater management requirements, treatment basins, infiltration basins, rain ponds, or other measures will likely be required to maintain the quantity and quality of stormwater runoff. All stormwater management areas should be treated as integral and attractive parts of the landscape.

Design Guidelines

- **Location.** Where stormwater treatment basins or other related facilities are required, they should be graded to conform to natural contours and planted to integrate them into the natural landscape.
- **Design.** Stormwater treatment basins should generally be patterned after naturalistic landforms, avoiding hard geometric shapes, but may be included in open space calculations. Side slopes should be landscaped with appropriate plantings to reduce erosion and screen the basin.
- **Grading.** Abrupt changes in grades and steep side slopes (steeper than 3:1) should be avoided. Transitional grading should be used to blend all earthworks into the natural contours of the land where possible.
- **Structures.** Man-made drainage structures (e.g., culverts, manholes, and outfalls) that are visible from roadways or residential neighborhoods should be screened with vegetation.
- **Shared Basins.** Wherever appropriate, storm water basins (both detention and retention) should be designed to be shared by abutting properties to minimize the amount of land area devoted to stormwater management.



Stormwater management facilities can be designed to create attractive focal points in landscape.

On Site Amenities

Objectives

An attractive public realm is a fundamental ingredient in the success of a commercial development with a high degree of visitors, especially in mixed use development situations. Open air and semi-enclosed spaces that allow people to congregate and interact away from the flow of traffic are important elements of good urban design and should be encouraged in new developments, or in developments with new building(s) or additions.

The different types of open air and semi-enclosed spaces can be categorized as follows:

- **Public Spaces:** Public spaces are areas where the property is owned by a public agency and the public is allowed to enter and congregate.
- **Semi-Public Spaces:** Semi-public spaces consist of areas where the public is allowed to enter and congregate but, unlike public spaces, are owned by a private interest.
- **Private Spaces:** Private spaces are owned by a private interest for the use of adjacent building employees, tenants, or customers. The typology of such spaces may be categorized as follows:
 - **Patio or Plaza Area.** Patio or plaza areas shall be comprised of seating areas provided such patio or plaza has a minimum depth and width of ten (10) feet, and a minimum total area of three hundred (300) square feet.
 - Asphalt is prohibited as a paver; use of decorative pavers or textured, colored concrete is required, and porous materials are favored.

- Patios and plazas should include pedestrian amenities intended to support these places as gathering areas.

- **Landscaped Mini-Parks, Squares, or Greens.** Such park or green areas shall have a minimum depth and width of ten (10) feet and a minimum total area of six hundred fifty (650) square feet, and should include pedestrian amenities intended to support these places as gathering areas.
- **Water Feature.** Water features (e.g. fountain), provided the feature is easily accessed by pedestrians and includes or integrates seating areas for pedestrians.



Example of a shared public space integrated into site planning

- **Outdoor Public Art.** Outdoor public art, provided the feature is visible to pedestrians or motorists.
- **Other.** Other well-designed areas and/or focal feature may be considered, which the plan commissions and boards find consistent with the intent of these guidelines, substantially enhances the development, and serves as a gathering place for residents, visitors, customers, and employees.

Design Guidelines

- **Size.** Patios, plazas, mini-parks, squares and greens should be proportionate in size to the development.
- **Visibility.** In order to serve as a focal point, a feature should be visible and easily recognizable as an area that encourages outdoor assembly.
- **Pedestrians.** Pedestrian amenities for patios and plazas, and for landscaped mini-parks, squares or greens may include seating, lighting, special paving, planting, food and flower vendors, and artwork.
- **Nearby Areas.** The presence or absence of complementary pedestrian spaces in adjacent and surrounding parcels, as well as nearby residential areas, should be considered when determining the appropriate location of an outdoor space and/or feature. Open spaces should be designed and sited to minimize any potential negative impact on adjoining properties, and used in a way that does not create disturbances.
- **Visibility.** Providing good public visibility of on-site outdoor amenities should serve to enhance the security of pedestrians. Accordingly, when a building will be adjacent to a pedestrian plaza, patio, mini-park, square or green, the building wall facing such outdoor amenity should contain at least one of the following elements:
 - A building entry
 - Windows facing onto the outdoor amenity
 - Arcades along the edges of the outdoor amenity
 - Outdoor seating areas
- **Lighting.** For safety, nighttime use, to highlight selected elements and comfort, in compliance with the Town Dark Skies Code.



III. Architecture

Introduction

These Guidelines establish standards for new or renovated commercial buildings that will embrace future design. The Guidelines are not intended to dictate building styles; rather they provide a guide that illustrates the Town's heritage and vision for its future.

These guidelines are intended to supplement, illustrate, and amplify various sections of the existing codes and plans which may set forth a unique identity or style of development for the subject areas.

Architectural Goals:

- Well-designed buildings that reinforce the Town's sense of place, and/or that of the surrounding area.
- Building designs that thoughtfully consider scale, form, orientation, height, setback, massing, materials, color, and architectural features.
- Buildings that present a 'front door' to the street and make a positive contribution to the streetscape.
- Buildings that are designed to address human scale, comfort, enjoyment, and safety of the users.
- Buildings that are designed as permanent, positive additions to the community, constructed of high quality, long lasting materials.
- Street corners that are treated as special places.
- Architecture that recognizes diversity of zoning districts and geographic areas.
- Sustainable design should be a key consideration in building design.

General Architectural Principles

Objectives

The purpose of these Guidelines is to encourage design that provides lasting value and cohesive architectural vocabulary characteristic of the designated District in which redevelopment and future development resides. Building design should be developed to a human scale through careful consideration of architectural forms, massing, detailing, number and use of materials, and color.

Design Guidelines

- **Design.** New buildings should be designed to fit the specific characteristics of their particular site and surrounding area. The architecture will be influenced by use of lasting materials, the specific needs of the intended users, the nature of the intended use, and other site-specific factors.
- **Human Scale.** Buildings and site elements should be designed and detailed to human scale. Many architectural elements can add scale to a building – recessed openings, divided pane windows, building mounted light fixtures, projecting rooflines, covered walkways, and similar features – provided they are designed as integral parts of the overall structure.
- **Freestanding Accessory Structures.** Where freestanding non-habitable structures are allowed (e.g., ATMs, storage units, recycling sheds, trash enclosures, utility buildings), they should meet the same design standards as the principal building(s) on the site. The design of freestanding structures should be coordinated with the principal building through repetition of architectural forms, materials, colors, and detailing.



Renovations & Additions

Objectives

Renovations or additions offer an opportunity to add visual interest to existing buildings, update aesthetics to current guidelines and to strengthen their relationship with the site and nearby structures. The Town expects high quality architectural and site design for all renovations and additions.

Design Guidelines

- **Materials.** Where the existing building currently meets the design guidelines, proposed renovations should be designed to respect the proportions and details of the original building. Where the existing building does not meet the design guidelines, the owner is strongly encouraged to upgrade the most visible portions of the entire structure.
- **Design.** Applications to the Town that involve renovations and additions to existing structures should show all improvements and how they incorporate the appropriate portions of these Guidelines.
- **Architectural Features.** Renovations should retain any distinctive architectural features, which should be incorporated into the addition where possible.
- **Addition Locations.** Efforts should be taken to provide building additions that provide a greater connection towards public roadways and help improve the pedestrian orientation of development.



Façade Design

Objectives

All buildings should present an inviting, human scale facade to the street, internal drives, parking areas, and surrounding neighborhoods. Entrances should be clearly visible from the street where appropriate and reinforced through site and architectural features.

Design Guidelines

- **Front Elevation.** The front facade (the facade facing streets) should be designed as the front of the building. The front elevation should contain a front door, and/or windows, and should incorporate human-scale detailing through the use of cornices, or other projections and details, structural or architectural bays, recessed windows or doors, material or material module changes, or color and/or texture differences so as to be easily recognized as the main access point. On corner lots, the main entrance should face the major street, or be located on the corner of the building. Building entrances should be visible from the street and provide unobstructed areas for pedestrians.
- **Side & Rear Elevations.** Similar materials and detailing, to a lesser extent, should be used on all facades to ensure continuity and design completeness and to give the building scale and visual interest.
- **Entrances.** Each building should have a clearly defined, highly visible customer entrance, which is visually obvious and should be emphasized through the use of such architectural treatments. Building entrances shall be located where a sidewalk exists to a roadway, and in the case of multi-tenant buildings, each separate space should have its own public entrance. The use of the following architectural elements is recommended to add scale to the building, provided that they are integral to the design:
 - Canopies and covered walkways or arcades
 - Arches
 - Differing colors
 - Overhanging rooflines to provide shelter for pedestrians
 - Recesses or projections in keeping with the scale of the building
 - Raised corniced parapets over entrances
 - Gables and dormers
 - Outdoor sitting or dining area
 - Display windows that are visible from the sidewalk
 - Architectural details such as moldings which are integrated into the building design
 - Other features which are designed to add scale and visual interest to the façade
- **Integration into the Design.** Architectural details should be an integral part of the design of the structure, and not merely appendages.
- **Blank Walls.** Facades should not extend for more than 40 horizontal feet in length without incorporating architectural features such as windows, cornices, porches, corners, projections, changes in color or graphical patterns, variety in texture or building materials or offsets. Projections used to break up the mass of the building should extend to the ground. Blank walls should not face roadways, residential areas, or other public viewpoints.
- **Site Design.** Signage, lighting, landscaping and other exterior elements should be designed to complement the facade, avoid visual or functional conflicts, maintain visibility, and create visual interest in ways that are compatible with the architectural character of the surrounding area.

- **Ground Floors.** The horizontal length of the façade of the ground floor of buildings facing public streets should include awnings, transparent display windows, entry awnings, or other similar pedestrian-friendly features, and weather protection elements should be complementary to the building's design. As an alternative, other architectural elements may be used to provide scale and visual interest to the front façade.
- **Shutters.** Where shutters are used, they should be sized to fit the openings and provided for all windows on a given wall.
- **Functional Elements.** All vents, downspouts, electrical conduits, service meters, HVAC equipment, service areas, loading docks, service connections, and other functional elements of the building should be treated as integral parts of the design. Meters, utility banks, HVAC equipment, and other exterior service elements should be contained in service closets, screened with walls or fences, or located out of view from the public. Building elevations should show the location and treatment of all functional elements. The designer is encouraged to locate as many of these functional elements as possible to the side or rear of the building.

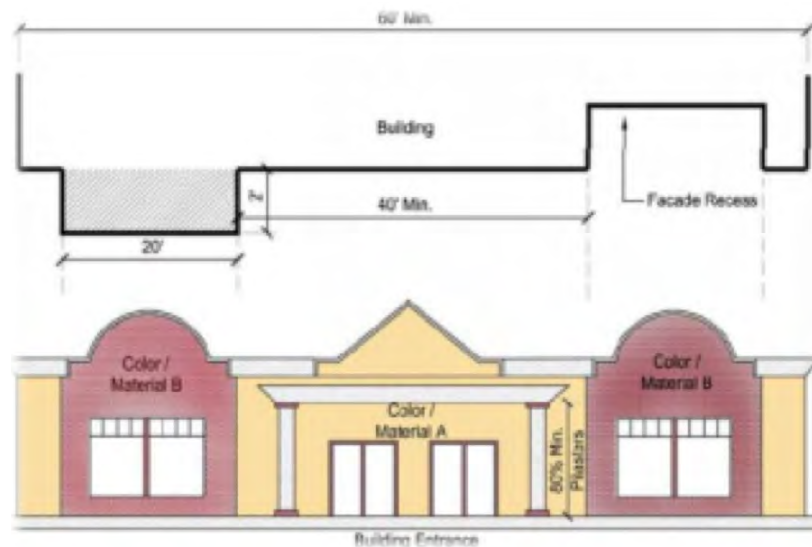


Illustration of how the façade offset may be applied

Building Materials

Objectives

Building materials and design details reflect a building's style and character.

Design Guidelines

- **Materials.** Buildings should be constructed of high-quality materials and the use of variety of materials is encouraged. Acceptable primary materials include brick, clapboards and shingles (wood, fiberglass, metal), and stone or simulated stone. Contemporary secondary or supporting materials with the same visual characteristics as traditional materials (e.g., cement plank clapboards) are acceptable if properly detailed with surface textures and trim at openings, corners, and changes in material and in context with the primary materials. Painted medium density overlay (MDO) plywood is acceptable when used as a secondary material in combination with traditional materials to give it scale. Long-term maintenance needs should be a consideration in the selection of all building materials.
- **Materials Discouraged.** Highly reflective or processed materials (e.g., sheet metal or plastic panels, brushed aluminum, bronzed glass), stucco or synthetic stucco, concrete block, T-111, untreated plywood, particle board, tilt-up concrete panels in general but these may be allowed in the High-Tech Business Park, are all discouraged as the primary facade material.
- **Colors.** Facade colors should be low reflectance. The use of high intensity, high reflectance, chrome, metallic, or fluorescent colors, or black is discouraged as the primary color.
- **Trim.** Where trim is used, it should be painted or stained to complement the building's primary color.

- **Detailing.** Arbitrary changes in materials or embellishments that are not in keeping with the rest of the building are discouraged.
- **EIFS (Exterior Insulation and Finish System).** EIFS is an exterior wall covering that insulates and provides weather protection in a selection of shapes, colors, and textures that can replicate almost any architectural style or finish material, or stand by itself as an architectural finish. In some instances, and with proper maintenance, EIFS may be an acceptable secondary material in building design.



Recommended color palette

Awnings & Canopies

Objectives

When properly installed and maintained, awnings and canopies can enhance the appearance and function of a building by providing shade, shelter, shadow patterns, and visual interest. Where awnings are used, they should complement the design, materials, and color of the building.

Design Guidelines

- **Location.** Where awnings are used, both fixed or retractable, they should be an integral element of the architecture. Awnings should be located directly over windows or doors to provide protection from the elements, and maintained in working condition.
- **Materials.** Awnings and canopies should not be made of highly reflective materials. Their colors should complement the facade of the building.
- **Design Elements.** Graphics used on awnings for identification or advertising are discouraged. If used they should be designed as an integral part of the signage for the property, and be coordinated with other sign elements in terms of typeface, color, and spacing.



Awning act to bring down the scale of the facade

Roofs

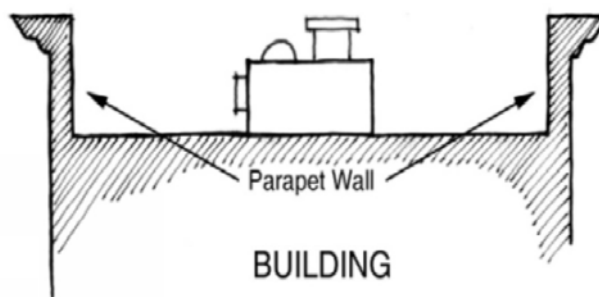
Objectives

Rooflines can add visual interest to the streetscape and establish a sense of continuity between adjacent buildings. When used properly, rooflines can reduce the mass of large structures, emphasize entrances, and provide shade and shelter for the pedestrian.

Design Guidelines

- **Preferred Materials.** Composite asphalt shingles and standing-seam non-glare metal are preferred for visible roofing. High gloss roofing materials are prohibited.
- **Roof Colors.** Roofing materials should complement the color and texture of the building's facade. Roof colors should be muted earth tones or a color that is darker than the facade. Stripes and patterns on the roof are strongly discouraged.
- **Roof Pitch.** Prominent roofs should have a minimum pitch of 4/12 (ratio of rise to run), unless demonstrated to the Town's satisfaction that this is not practicable from an engineering or technical standpoint.
- **Rooflines.** Where appropriate, eaves and roof overhangs should be incorporated into the design of the roof to provide a distinct shadow line.
- **Flat Roofs.** Flat roofs, though discouraged, are permitted except that where any non-architectural roofing materials (e.g. tar and paper) are utilized, such roofing shall be concealed with parapet walls that have 3-dimensional cornice treatments or similar screening methods. All roof-based equipment shall be located on the rear of elevations so as to have minimal visual impact from a public street or surrounding residential uses.

- **Roof-Mounted Equipment.** Mechanical, HVAC, and other equipment mounted on rooftops should be screened from public view or grouped in a location where visibility is limited. Screening for roof-mounted equipment should be designed as an integral part of the architecture to complement the building's mass and appearance.
- **Projections.** The use of cupolas, dormers, chimneys, and other roof projections is encouraged, provided they are designed as integral parts of the structure and do not appear to be floating or pasted on.



Roof mounted mechanical equipment can be effectively screened by roof structure (left). The image at the right illustrates what is hidden beyond a roofline.



Street Corners

Objectives

Buildings located on corners are particularly important because they help define the character of two streets. These high-visibility locations should be emphasized by quality architecture and site development.

Design Guidelines

- **Siting on Corner Lots.** A building on the corner of two public streets should be located as close to the intersection as allowed by the applicable codes. Minimal parking, vehicular travelways, or service areas should be located between the building and property lines along both streets.
- **Corner Buildings.** Buildings on corners should be articulated to add mass and visual prominence to the street corner.
- **Entrance.** The main entrance to the building may be located on the major street or on the corner and designed to be visible from both streets. The architectural treatment of the corner should emphasize its prominent position. This can be accomplished by greater massing, unique detailing, lighting, etc.
- **Focal Points.** Corner locations offer opportunities to create dynamic focal points in the streetscape. These can take the form of distinctive architectural elements, signs, sculpture, lighting, or landscaping. Where they are used, focal points should be visually related to the building as a whole, providing an accent without overwhelming it.



Linear Commercial Buildings

Objectives

Linear commercial buildings (e.g., strip shopping centers, multi-tenant offices, and commercial buildings) should be designed with facade and roofline elements that reduce their scale and add architectural interest.

Design Guidelines

- **Design.** Buildings with multiple storefronts (e.g., strip shopping centers, one story office buildings) should be visually unified through the use of complementary architectural forms, similar materials and colors, consistent details, and coordinated signage. Variations in the front setbacks, especially those projecting towards the street, are strongly encouraged to add visual interest, and create spaces for common entries.
- **Scale.** Linear structures should include architectural elements designed to provide shelter, encourage pedestrian movement, and visually unite the building. These can include covered walkways, open colonnades, and similar features.
- **Entrances.** Pedestrian entrances to each building should be clearly delineated to convey a sense of individuality. This can be accomplished by architectural detailing, roofline breaks, landscaping, lighting, or a combination of these elements. Where covered walkways are used, they should extend the full length of the facade.
- **Roof Lines.** Variations in rooflines, detailing, and building heights should be included to break up the scale of connected linear buildings.
- **Focal Points.** Linear commercial buildings should include a focal point – such as raised entrance way, clock tower, or other architectural elements – to add visual interest, help reduce the scale of the building, and highlight the entrance.
- **Pedestrian Access.** Where a multi-tenant building greater than two hundred (200) feet wide separates two public areas, pedestrian access should be provided through the building(s). The pedestrian pass-through must stay open, regardless of whether businesses are open or closed.





Service Stations & Convenience Stores

Objectives

Service stations and convenience stores that sell gasoline should be designed with facade and roofline elements that reduce their scale and add architectural interest consistent with the design vocabulary of adjacent buildings within the design district.

Design Guidelines

- **Orientation.** Service stations and convenience stores should be sited to face the street.
- **Canopies.** Where canopies are used over gasoline pumps, they should be integrated into the design of the building. Canopies should complement the main structure through consistency in roof pitch, architectural detailing, materials, and color. Pitched roofs with fascia trim are preferred for canopies. Bands of bold color on the canopy and backlighting inside the canopy are discouraged. Consideration to sharing road frontage with the principal structure should be given, depending on location, as has been done in Waunakee along Century Avenue between Woodland Drive and Water Wheel Drive.
- **Pedestrian Circulation.** Connections to the public sidewalk should be included in the site plan to encourage pedestrian use. Access routes leading to or from service stations and convenience stores should minimize conflicts with pedestrian circulation.



Drive-Throughs

Objectives

Drive-throughs (for restaurants, pharmacies, banks, and similar uses) should be subordinate to the design of the main building. Drive-throughs require careful consideration of architectural design and circulation planning to integrate them into the streetscape.

Design Guidelines

- **Drive-Throughs.** Where drive-throughs are allowed, they should be incorporated into the design of the building through their scale, color, detailing, massing, and other architectural treatments. Drive-through operations and other automobile-oriented facilities should be designed with facade and roofline elements through roof pitch, architectural detailing, materials, and color, which reduce their scale and add architectural interest. Bands of bold color on the canopy and backlighting inside the canopy are discouraged.
- **Location.** Drive-throughs should be located at the side or rear of the building and avoid facing public or private roadways. Where drive-throughs are located at the rear, consideration should be given to making the site as visible as possible to ensure the safety of the patrons.



Drive-throughs designed as an integral part of the building. Repeats rooflines, forms and materials used in the main building



Multi Story / “Big Box” Buildings (Significant Enterprises Or Anchor Store)

Objectives

Large scale multi story or “big box” buildings that are typically built of masonry or concrete block materials should include architectural variations and details that provide variety in materials, forms and colors.

Architectural design should add to community character, while providing flexibility to avoid rigid uniformity of design. All elements including the scale and mass of buildings, materials, colors, roof styles, door and window openings, and details should promote a cohesive design aesthetic. Building masses should respond to a human scale with materials and details that provide visual interest at the street and sidewalk level. Buildings should be reduced in apparent mass or articulated to avoid large monolithic shapes.

All buildings need to comply with size regulations and applicable codes. Such structures are generally discouraged due to scale in these Districts, however if designed properly and to an acceptable scale, these may be considered.

Design Guidelines

- **Materials.** Buildings should be constructed of high quality materials that relate to the color, form, and texture of the proposed structure as well as nearby structures.
- **Building Mass, Forms, and Pedestrian Scale.** Variations in facade elements should reduce perceived mass and scale. Variations in color, materials, and/or texture, and a facade composition that uses rhythms and patterns of windows, columns, and other architectural features are encouraged. Buildings should have features and patterns that provide visual interest at the scale of the pedestrian, which reduces apparent mass and that relate to local architectural character.



- **Design Elements.** Moldings and trim should be incorporated into the façade. Building entrances shall contrast with the surrounding wall planes by changing materials and color from the primary façade. Any wall along a street or other area with public should incorporate significant architectural treatments and features to diminish the building mass.
- **Roof Lines and Roof Elements.** Roofs should contribute to the unified appearance of each development and should be considered as seen from ground level, other adjacent buildings and public roadways. Roof lines include the main building as well as entrances, arcades, and porches. Avoid roof/parapet lines running in continuous planes absent variations in height, vertical planes (jogs), or materials. All mechanical, and electronic equipment attached to or mounted on the building roof should be set back from the edge of roof and screened from public view. Screening material should be compatible with materials and colors.



IV. Landscape

Introduction

Landscaping should be an integral part of all site plan developments. Trees, shrubs, and other landscape elements can be used to accentuate buildings, create a sense of identity, reduce the amount of impervious surfaces, and provide human scale. Applicants should carefully evaluate the physical characteristics of each site and their own maintenance abilities when making the final selection to ensure that the plantings will survive and achieve maturity in their selected locations.

These Guidelines are intended to supplement, illustrate, and amplify the existing landscaping standards and the landscaping criteria outlined in the Westport regulations.

Landscaping Goals:

- Incorporate appropriate plantings that are in scale with their surroundings.
- Separate roadways from commercial development by attractive landscape planter strips.
- Incorporate plantings in parking lots to add aesthetic value, reduce their scale, provide canopy shade, reduce radiant heat from the surface, reduce headlight glare, and add seasonal interest.
- Preserve mature trees and other significant landscape features which help define the character of the community.
- Provide screening for less attractive parts of a site or incompatible land uses.
- Help define areas where pedestrians are safely separated from a road or drive pattern.
- Reinforce wayfinding by emphasizing entrances and circulation patterns.



General Landscape Principles

Objectives

Development in Westport Town should be characterized by a rich variety of native landscape materials that enhance human scale, complement the architecture, reinforce circulation paths, highlight entrances, provide canopy shade, and add seasonal interest.

Design Guidelines

- **Plans.** Landscape Plans should be prepared by a landscape architect registered in Wisconsin, or other qualified professional familiar with local growing conditions.
- **Coordination with Site Features.** The landscape plan should show all utilities, signage, lighting, pedestrian circulation, and other site features that may influence the selection or location of plantings. The plan should be designed to avoid conflicts (both at the time of planting and in the future) between plantings and other site elements.
- **Safety.** The selection of plant materials should consider public health so they will not create unsafe conditions, interfere with utilities or block sight lines for pedestrians, bicyclists, or motorists.
- **Rocks.** Large rocks should be used very sparingly as landscape elements and only as accents in mass plantings. Rocks should not be used as substitutions for shrubs. Where used, they should be buried by a third to half of their depth.
- **Variety.** Plant materials should exhibit some seasonal color and interesting texture to create a distinctive, yet low maintenance environment. Landscape plans should strike a balance between monoculture (the use of a single species) and excessive variety.
- **Irrigation.** Underground irrigation is encouraged in front setbacks, public spaces, and other highly visible areas. It should be designed to prevent overflow or flooding onto walkways or parking lots.
- **Invasive Plants.** Invasive plants and plants not naturally occurring should not be utilized. Plantings should be confirmed with Dane County Parks of the DNR for consistency with its prairie plantings. These plants include trees, bushes, shrubbery and other ground plantings, including the eliminations of plants such as buckthorn and honeysuckle.

Tree Protection

Objectives

Mature trees along roadways in the Town and nearby areas are an important element of community character that also reflects the Town's preservation initiatives. They provide significant shade, year-round visual interest, and comfort to residents. Where practical, existing mature specimen trees should be preserved during development. Preserving large existing trees within the planting strip will decrease the number of new trees required. Plans should be written by a certified arborist or landscape architect to comply with the Town Tree Protection Code.

Design Guidelines

- **Existing Trees/Plants.** The preservation of existing or unique trees or other significant plantings should be considered during the initial site inventory and development of the sketch plan. Transplanting and reusing trees and other plantings is strongly encouraged.
- **Tree Protection.** The landscape plan should show how existing trees and vegetation will be protected during construction. As a general rule, no construction activity should be allowed within the drip line (outer edge of the tree canopy). This includes grading, compaction, utility installation, stockpiling of construction material, or movement of vehicles.
- **Temporary Measures.** Barricades in the form of snow fencing or similar materials should be installed during construction to protect trees and their root zones.
- **Grade Changes.** Grading within the drip line should be avoided since it may cause irreparable damage to the root system and cause the tree to die.
- **Tree Walls/Wells.** Where grading is required near trees to be preserved, properly designed tree wells or walls may be used to ensure the long-term health of the tree.



Planting Strips

Objectives

Commercial development should be separated from the adjacent roads by landscaped planting strips. These areas should be designed to screen parking areas, separate land uses, and visually unify the Town's business districts.

Design Guidelines

- **Ground Covers.** Appropriate groundcover includes turf grass, ornamental grasses, perennials, low-growing evergreens and flowering shrubs. Planting other than turf grass should be spaced close enough to achieve full coverage within 3 years after installation.
- **Plant Masses.** Shrubs, perennials, annuals, and ornamental grasses used in planter strips should be installed in masses or 'drifts' that emphasize colors, forms, and textures.
- **Street Side Trees.** The required trees within planter strips may be installed in a linear fashion or informal groupings. Linear plantings may be appropriate along roadways to create a boulevard effect, using large spreading deciduous trees to define the edge of the travelway, provide shade and add scale, a sense of place, and orientation to commercial corridors. Roadside Plantings. Trees and other landscaping planted at intersections should preserve a clear area for sight lines to roadways and businesses.
- **Parking Lots.** Parking areas should be separated from the street by plantings, earth berms, walls, and/or other landscape elements to minimize headlight glare and the view of vehicles, while still allowing the public to see the building.



Parking Lot Landscaping

Objectives

Landscaping in parking lots can be used to improve their appearance, reduce the scale and amount of paved areas, define edges, provide shade, reduce headlight glare, and add seasonal interest.

Design Guidelines

- **Trees in Parking Lots.** The interior area of any parking lot should be landscaped, with planting requirements set forth in applicable codes. The development plan should incorporate landscaped islands as a means of creating an attractive character; establish a sense of place, and to increase the value and marketability of the development.
- **Location of Trees.** Trees should be planted a minimum of three feet (3') from the end of parking lot islands.
- **Safety.** Trees in parking lots or those that abut walkways should be pruned above the paved surface to avoid becoming an obstacle. Shrubs and ornamental plantings in parking lot islands should not block visibility.



- **Entryways.** The design of entryways should provide for a substantial landscape treatment. A variety of plant materials should be used to establish an attractive landscape with year-round color and texture. In addition, other elements such as earth berms, decorative walls, low fencing, landscape lighting, sculptural elements, paving, water feature, and signage may be utilized based on an effective design and these themes should be carried through the development.



Tree Selection & Planting

Objectives

Trees are used throughout the Town, including those planted within the right of way, near buildings, and in parking lots. Trees should be sited to achieve full maturity and display their natural form, and according to applicable codes.

Design Guidelines

- **Suitability.** Trees should be resistant to insect infestation, drought, disease, roadside salt, and auto emissions. All plant material should be suitable to the Town's growing conditions.
- **Planting Locations.** Trees should be planted in locations where their root development and branching patterns will not interfere with window displays, signage, underground or overhead utilities, streets, and sidewalks.
- **Pedestrian Movement.** The lower branches of trees planted near pathways and sidewalks should minimize interference with pedestrian movement throughout the year.



Trees, shrubs and perennial ground cover used to create a highly unified, inviting streetscape

Shrubs & Ornamental Planting

Objectives

A variety of shrubs and ornamental plantings should be used throughout the development to add seasonal color, provide visual interest, help define spaces, screen undesirable elements, and emphasize circulation routes, and in accordance with applicable codes.

Design Guidelines

- **Variety in Plantings.** The use of flowering shrubs, evergreen shrubs, perennials, annuals, vines, ornamental grasses, and other plant material is highly recommended, in addition to street trees, evergreen trees, and ornamental trees.
- **Selection.** The selection of plantings should consider ultimate height and spread, maintenance, pest and disease tolerance, and their nuisance potential (severe thorns, excessive leaf litter, etc.)
- **Foundation & Wall Plantings.** Planting beds are recommended along exposed building edges, foundations and uninterrupted walls. Plantings should be installed a minimum of 18 inches from the wall to allow proper root zone development. Plantings should provide either a formal pattern or a naturalistic blend of heights, colors, and species.



Small areas of accent plantings can add color, texture and visual interest to the landscape.

Landscape Maintenance

Objectives

Landscape plans should anticipate 3-8 years for shrubs to achieve maturity, and 15-20+ years for trees. Proper maintenance should be provided to assure that the landscaping achieves its proper form and full height. Maintenance of all landscape elements should be considered in the development of the Site Plan.

Design Guidelines

- **Replacement Planting.** If plant materials specified, including grass areas, do not survive or are damaged, they should be timely replaced in accordance with the approved planting plan and to provide the necessary landscape effect.
- **Low Maintenance Materials.** The use of plant materials and landscape elements that require a low degree of maintenance is strongly encouraged.



V. Lighting



Introduction

Outdoor lighting directly impacts the visual appearance of the Town, as well as the Town's safety and security. The following lighting guidelines are designed to help balance the need for visibility and safety and enhance the visual quality of the Town, while respecting the privacy of abutting residential properties.

Lighting in commercial developments is a major determinant of night time activity. It should create a sense of safety, particularly for pedestrians, and should emphasize key features of the site. At the same time, it needs to balance the lighting needs of the different uses on the site and reinforce a unified image and identity for the project.

Lighting plans should consider illumination levels and fixtures that accommodate safety and visibility needs, but are also respectful of neighbors and are compatible with nearby development. Light levels should comply with the Town of Westport's Exterior Lighting Ordinance (Chapter 7 - The Westport Exterior Lighting Code) or other applicable rules, and not exceed the Illuminating Engineering Society of North America (IESNA) recommended minimum standards. These Guidelines are intended to supplement, illustrate, and amplify such provisions.

Lighting Goals:

- Provide appropriate levels of lighting to ensure visibility and safety in both pedestrian and vehicular areas while avoiding over-illumination.
- Promote wise energy consumption.
- Help to unify the quality of the visual environment through the selection of attractive, appropriately scaled fixtures.
- Avoid light fixtures or mountings that can cause distractions or hazards to motorists or pedestrians.
- Eliminate reflected light from parking lots and large commercial users that contribute to skyglow.
- Eliminate intrusions onto abutting properties, especially residential uses.
- Enhance noteworthy features such as monuments, sculpture, or architectural elements.

General Lighting Principles

Objectives

Exterior lighting should be designed to provide the minimum level of illumination necessary for security, safety, and visual appeal for both pedestrians and vehicles, while meeting Dark Sky rules. Lighting should allow activity after sunset without adding to unnecessary skyglow. Functional, aesthetic, and safety goals should be met with fixtures that are designed as integral site elements.

Design Guidelines

- **Lighting Plan.** Lighting plans required for development plan review should be presented with the application to enable staff, the plan commissions, to properly understand and review the lighting design.
- **Pole and Fixture Design.** The location and design of lighting should complement adjacent buildings, pedestrian amenities, and site elements. Poles and fixtures should be proportionate to the buildings and spaces they illuminate.
- **Mounting Heights.** Light fixtures should be mounted at the lowest level allowing compliance with IESNA practices and applicable local codes.
- **Safety and Energy Conservation.** Illumination levels should not exceed the minimums to provide safe conditions as currently defined by the IESNA.



- **Safety Considerations.** The design and placement of plantings, buffers, screen walls, fencing, and other landscape elements should be coordinated with the lighting plan to eliminate dark spots and potential hiding places.
- **Feature Lighting.** Unique building or landscape features may be highlighted if the lighting does not create glare or distraction.
- **Light Pollution.** Lighting should not cause spillover onto neighboring residential properties or create dangerous conditions due to glare on adjacent roadways.
- **Energy Saving Devices.** Wherever practicable, lighting design should include the installation of timers, photo sensors, and other energy saving devices to reduce the overall energy required for the development and eliminate unnecessary lighting. It is generally desired the lighting not be used from 10 p.m. to 5 a.m. unless necessary for safety, or the Town determines lighting can be used during these times as part of a positive design parameter.



Driveways, Parking Lots, Outdoor Sales & Service Areas

Objectives

Proposed lighting for driveways, parking lots, and outdoor sales and service areas should be designed to provide the minimum lighting necessary for traffic and pedestrian safety. Lighting should not cause glare or avoidable spillover onto adjacent properties. Poles and fixtures should be proportional in size to the roadways they are illuminating.

Design Guidelines

- **Illumination.** Driveway lighting should be designed to illuminate the roadway and sidewalk, with a concentration on roadways. Light fixtures should be selected and aimed to prevent glare and spillage onto abutting properties.
- **Design.** The design and color of fixtures (poles and luminaries) used along driveways should complement the architecture, landscaping, and street furnishings of the site to be developed or redeveloped in terms of color, form, and style.
- **Layout.** The alignment and spacing of fixtures in parking lots should follow a regular pattern that is coordinated with the orientation of buildings and other site elements.
- **Location.** Light poles should be incorporated within raised planting areas wherever possible to avoid damage from vehicles and plows.
- **Coordination with Planting Plan.** The lighting plan should be coordinated with the landscape plan to avoid obstructions from large trees, dark spots from shadows, or other conflicts as plantings mature.



Pedestrian Spaces

Objectives

The lighting of pedestrian spaces should consider users' needs and safety. Light standards should adequately, but not excessively, illuminate not only the space occupied by people, but also the elements within those spaces such as stairs, walls, benches, curbs, and landscaping. Light fixtures should be oriented to pedestrian circulation so that pedestrian ways are emphasized and safety is enhanced. Generally, the Town's Dark Skies Code calls for fully shielded and full cut off lighting.

Design Guidelines

- **Heights.** Mounting heights for pedestrian lighting should be appropriate for the project and the setting. Light bollard fixtures, 3-4 feet in height, and ornamental fixtures, up to 12 feet in height, are encouraged as pedestrian area lighting.
- **Luminaries.** Lamps should be high efficiency, housed in a luminaire that is classified by IESNA as a cutoff fixture. LED fixtures are preferred. In general, illumination should not exceed 100 watts.
- **Decorative.** Ornamental and decorative lighting should be used to highlight significant design elements (e.g., gateways, plazas, major building entrances).
- **Scale.** Pedestrian circulation is encouraged and therefore pedestrian-oriented lighting is encouraged. Pedestrian area lighting should emphasize the location of pedestrian ways and be in character with the architectural and landscape design of the development.
- **Number of Fixtures.** For pedestrian circulation areas the use of a greater number of low fixtures is preferred over fewer taller fixtures. In either case, the layout should avoid major dark spots between fixtures.



Building Facades & Landscape Lighting

Objectives

Facade lighting is a way of highlighting special architectural features and attractively landscaped areas, while adding depth and variety to developments at night. Lighting used to illuminate building facades and landscaping should be limited to areas where it enhances particular features in accordance with the overall lighting plan and does not disturb surrounding residential areas.

Design Guidelines

- **Location.** Lighting fixtures should be properly sited, aimed, and shielded so that light is directed only onto the building facade. Lighting fixtures should not be directed toward adjacent streets, sidewalks, or properties.
- **Mounting Heights.** The maximum light fixture height for building-mounted light fixtures should be 15 feet on the facades facing public streets (the front lot line) and 20 feet on all other facades.
- **Wall-Mounted Fixtures.** Facade-mounted lighting fixtures should include full face shielding: either solid panel or louvers that direct the light upward or downward.



Service Stations, Convenience Stores, Service Areas & Canopy Lighting

Objectives

Lit canopies, architectural features, or devices used to illuminate gas stations, convenience stores, and drive-through elements of a building should facilitate the activities taking place in such locations without creating glare onto adjacent properties or roadways.

Design Guidelines

- **Canopy Luminaries.** Canopy-mounted light fixtures must comply with the Town Exterior Lighting Ordinance so motorists cannot see the source of light. Drop fixtures are not permitted.
- **Fascia.** Lights should not be mounted on the sides (fascia) or top of the canopy. Sides and tops of canopies should not be illuminated. Internal calm sign lighting has been allowed in the past as illustrated below.
- **Service Areas.** Fully shielded lighting fixtures should be used in all parking areas, in service and delivery areas.



VI. Signage

Introduction

Signs play a central role in providing information and wayfinding. They inform motorists, bicyclists, and pedestrians, while having a direct effect on the overall appearance of the roadway.

These Guidelines are intended to supplement, illustrate and amplify the applicable sign code provisions. Other elements found in adopted plans for the Town.

Landscaping Goals:

- Provide basic, legible information with attractive, highly legible signage.
- Create distinctive signage that is compatible with quality architecture and site design.
- Reduce visual clutter along roadways in the Town.
- Protect the investment of commercial interests throughout the Town by establishing a quality benchmark for future signage.
- Promote safety and wayfinding by ensuring adequate display of building/business address number.



Free standing / monument signage is encouraged to reflect the architecture and building materials used in the primary structure.

General Sign Principles

Objectives

Commercial establishments should be identified by attractive, legible signs that serve the needs of the individual business, complement the site and the architecture, and are legible to both the motorist and pedestrian.

Design Guidelines

- **Signage Plan.** Information on the location and design of signs should be submitted as part of the application. The applicant should resubmit the plan to the planning staff for review, if the building's tenant is unknown at the time of application.
- **Compatibility.** Signs should be designed to achieve a high level of visual compatibility with the building(s) and surroundings through the use of similar detailing, form, color, lighting, and materials.
- **Design.** The shape of the sign should complement the architectural features on the building. Simple geometric shapes are preferred for all signage. Signs should be detailed to complement the building.
- **Lettering Size.** In general, the minimum lettering size for identification signs should be six inches in height. Smaller letters are generally unreadable at high speeds and may require motorists to slow down to read them, potentially causing safety hazards.
- **Advertising Features.** Objects other than signs designed primarily to attract public attention are discouraged because they distract motorists and contribute to visual clutter. These include greater-than-life size models of food or other products, replicas of spokes-people associated with commercial products and rows of flags and banners.
- **Materials.** The composition of signs shall be made of durable materials that reflect those used on the principal structure. The use of painted plywood shall be discouraged.
- **Messages.** Signs used to identify businesses should be kept simple and direct in message and content and convey only the most essential information about the business.

Freestanding Signage

Objectives

Signage that is not affixed to a facade shall be designed to complement the design of the building and in concert with the signage pattern and character of public and private development.

Design Guidelines

- **Height.** Signage is encouraged to be erected at lower heights, maintaining clearance above landscaping and parked automobiles, and below power lines and mature trees.
- **Signage Support Structures.** The use ground mounted signs are generally encouraged, as opposed to pole signs. Support structure for such signs shall be of materials that are compatible with the sign and surrounding site, preferably constructed with a stone base.
- **Readerboards.** Where readerboards are part of a permanent sign, they should contain no more than three lines of text. Lettering height should be a maximum of 6". The readerboard should be fully integrated into the overall sign design by virtue of its form, scale, color, and detailing. Due to driving distractions caused by these boards, their use is discouraged.
- **Appropriate Landscaping.** Landscaping plans in compliance with appropriate codes shall be utilized.



Highly visible characterized by simplicity in materials with prominent display of the building address for motorists, and use materials that match the primary structure.

Building-Mounted Signs

Objectives

Building-mounted signs used to identify commercial properties should be integrated into the design of the building.

Design Guidelines

- **Design.** Facade-mounted signs should be designed as an integral element of the architecture. The shape and materials of the sign should complement the architectural features on the building.
- **Location.** Signs should not be mounted in locations that obscure architectural details on the building. Signage should be mounted on vertical surfaces without projecting above the fascia trim.
- **Signage Placement.** Signage on awnings, windows, and other facade elements shall be designed to complement and be consistent with the building architecture.



These signs are well integrated into the architecture, using only essential information about the tenant

Multi Tenant Properties

Objectives

Multi-tenant commercial properties should provide legible, attractive signs that help people identify the property without contributing to sign clutter. Entrance signs should stress the identity of the place and de-emphasize individual tenants that occupy it.

Design Guidelines

- **Hierarchy of Signs.** A hierarchy of signage should be established to facilitate wayfinding and minimize site clutter. Multi-tenant properties on major roadways should be identified by a simple identification sign in a highly visible location.
- **Identification Signs.** Multi-tenant buildings or multi-building sites should have one identification sign conveying an overall identity for the property. This sign should be located near the main entrance to reinforce circulation patterns and minimize visual clutter. Identification signs that also list multiple tenants should exhibit a logical hierarchy in the display of information (i.e., address, name of building/development, primary tenant, other tenants).
- **Informational & Directional Signs.** Entryway, informational and directional signs should conform to the applicable ordinances, and they should be an integral design element of the development's character and architecture.
- **Compatibility.** The design of multi-tenant signs should be coordinated with the design of the principal building (s) in terms of color, materials, detailing, and style.



This retail center is identified by a single sign at the entrance; names of the tenants are primarily found on the building facades. The result is less clutter on the road.

- **No Separate Monument Signs.** Separate monument signs for individual businesses in a multi-tenant property shall not be allowed. Wall mount signs shall be allowed.
- **Color Consistency.** Multi-tenant signs should conform to a simple color and graphic palette in order to minimize the confusion and clutter of the sign. In general, multi-tenant signs should have no more than three colors.



A multi-tenant sign with clean hierarchy of information. Individual tenants are listed in large print for legibility

Externally-Lit Signs

Objectives

Lighting for externally-lit signs should be designed as an integral part of the sign design. Lighting must not create glare that would distract motorists or pedestrians, nor should the degree of illumination disturb the surrounding residential areas or contribute to light pollution. Externally lit signs are not a preferred option and should generally be discouraged.

Design Guidelines

- **Light Level.** The illumination level on the vertical surface of the sign should be bright enough to provide a noticeable contrast with the surrounding building or landscape without causing undue glare or reflection.
- **Lighting.** Lighting fixtures should be carefully located, aimed, and shielded so that light is directed only onto the sign facade. Lights should not be aimed toward adjacent streets, sidewalks, or abutting properties. Ground-mounted lighting should be screened or partially buried to minimize the view of the light source.
- **Design.** Light fixtures and mounting devices should be selected to complement the color and design of the sign and the architecture. Concealed light sources are strongly encouraged.



Internally-Lit Signs

Objectives

Internally-lit signs should not create glare that would distract motorists or pedestrians, nor should the degree of illumination disturb surrounding residential areas or contribute to light pollution.

Design Guidelines

- **Design.** Internally-lit signs should consist of light lettering and/or symbols set against a dark background to minimize the amount of light emanating from the sign. Internally-lit letters and symbols are preferred over whole panels that are internally lit.
- **Intensity.** Internally-lit signs should not act as light fixtures or cause glare on nearby pathways or roadways.
- **Maintenance.** Signs should be located where they can be easily maintained. Non-functioning bulbs should be replaced immediately.



Effective use of individually-lit letters to create a simple identity for a commercial establishment

Conclusion

This document is to provide a guide for commercial property developers when planning in Westport. Care must be given to integrate design and use into the Town's history and infrastructure. Following the various specifics and suggestions provided here will allow those seeking to locate and develop in the Town the success they are seeking, and still allow the Town to keep its Wisconsin rural hometown feel.

Appendix A

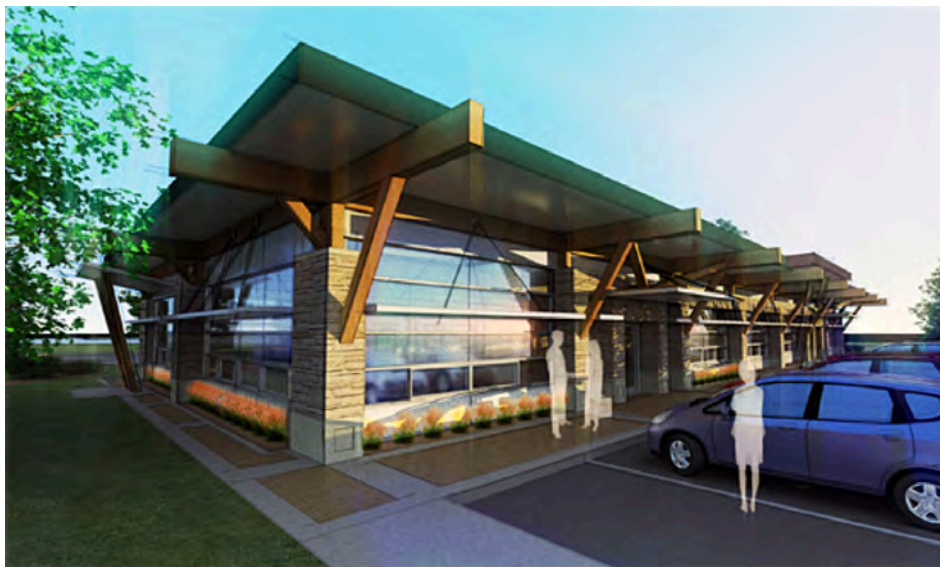
Zoning And Planning Authorities

1. Village of Waunakee and Town of Westport Joint Comprehensive Plan (Including CORP), January 2017
2. City of Middleton/Town of Westport ETZ Area Comprehensive Plan (See 1, above)
3. Village of Waunakee Zoning and Land Division Codes
4. City of Middleton Zoning and Land Division Codes
5. Town of Westport Land Division Code (Title 10, Chapter 2)
6. Town of Westport Building Code, including Design Review Code (Title 10, Chapter 1)
7. Town of Westport Zoning Code (Title 10, Chapter 9)
8. Various Town of Westport Land Use Regulations
 - a. Title 10, Chapter 4, Erosion and Stormwater Runoff Control
 - b. Title 10, Chapter 5, Minimum Housing Code
 - c. Title 10, Chapter 6, Commercial Exterior Maintenance
 - d. Title 10, Chapter 7, Historic Preservation Code
 - e. Title 10, Chapter 8, Forestry Management
9. Town of Westport “Dark Skies” Code (Title 9, Chapter 7, Exterior Lighting)
10. Town Public Utilities Regulations (Title 5, Chapters 1-7)
11. Town Public Works Regulations (Title 4, Chapter 1-5)
12. Dane County Farmland Preservation Plan
13. Dane County Highway Use Regulations
14. Various State Statutes
 - a. Zoning Regulations, Various Sections of Chapters 60, 61, 62 and 66
 - b. Land Division Regulations, Chapter 236

Appendix B

High-Tech Business Park District Architecture and Site Examples





Appendix C

Town Center District Architecture and Site Examples





Appendix D

Westport Commons District Architecture and Site Examples

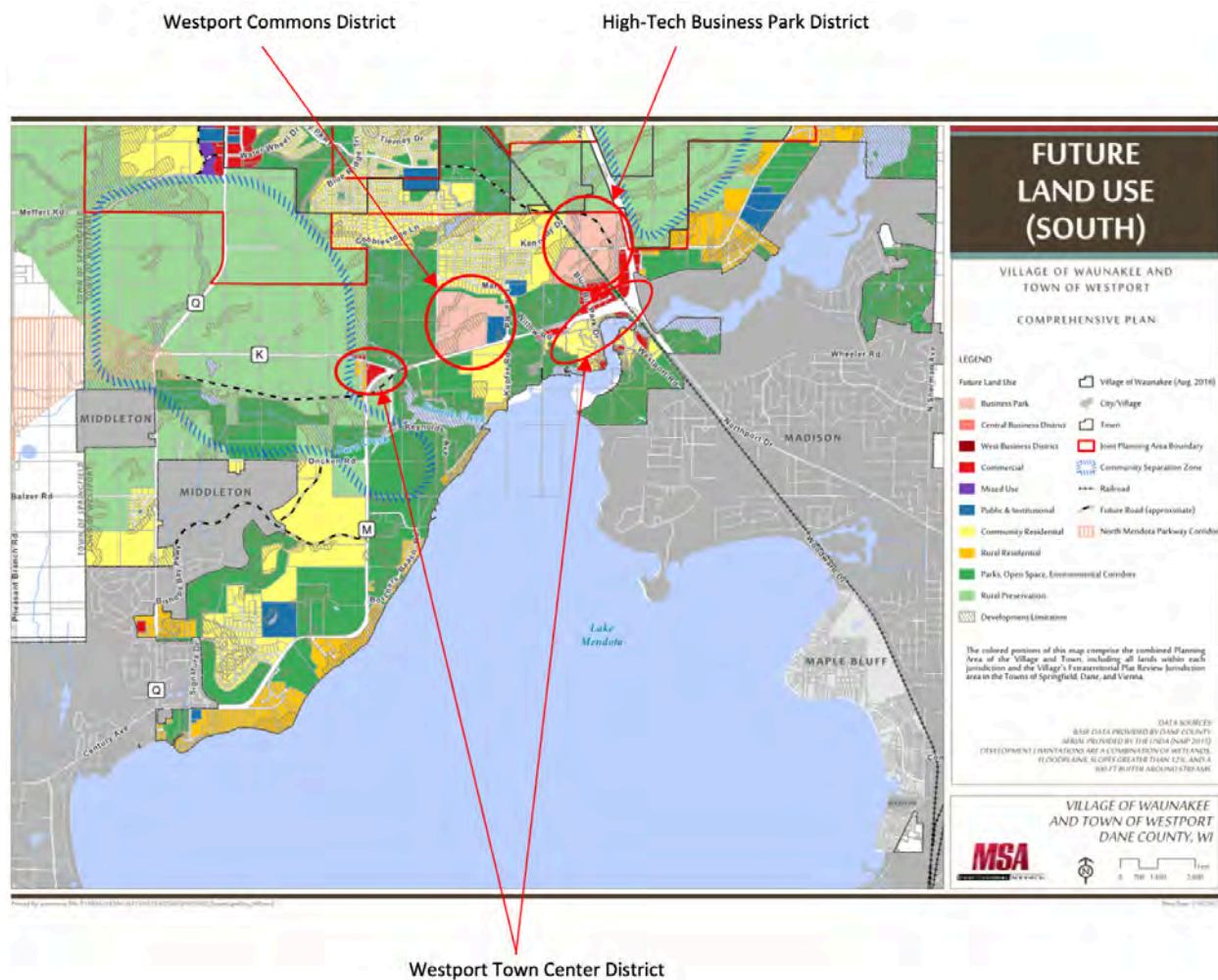




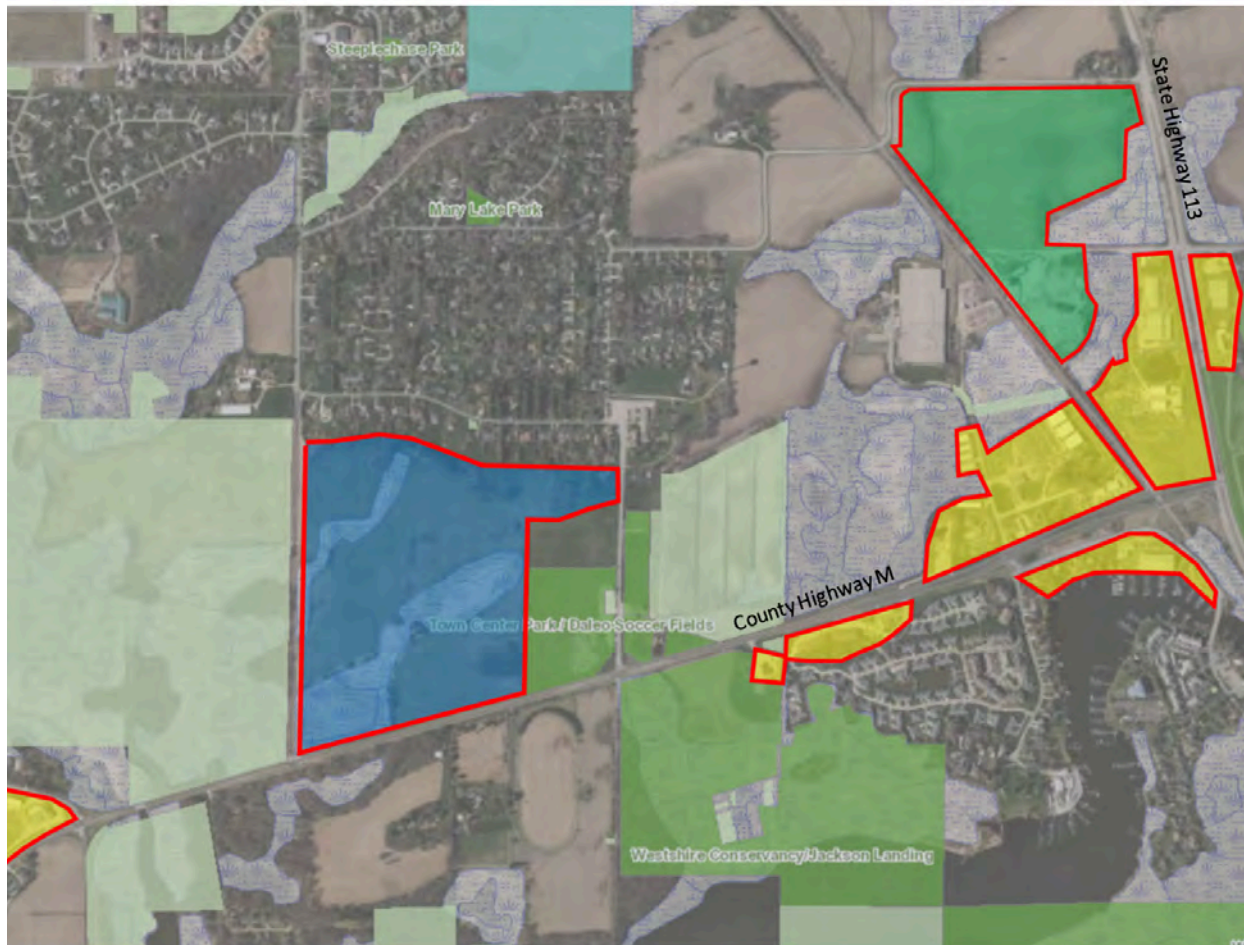




Map 1 – Comprehensive Plan Map Of Relevant Area



Map 2 – Aerial View Of Design Districts



Town of Westport
District Boundary Map

-  High-Tech Business Park
-  Westport Town Center
-  Westport Commons



WAUNAKEE/WESTPORT JOINT PLAN COMMISSION SUMMARY SHEET

MEETING DATE: 03/12/2019

ITEM: NEW BUSINESS

TITLE: Public Hearing and Discussion/Action on Woodland Crest General Development Plan and Zoning Related to the Annexation Petition

ISSUE SUMMARY: The Plan Commission will hold a public hearing and take comments on the attached GDP and Rezone Request related to the development of the Woodland Crest Plat.

STAFF RECOMMENDATION: Staff recommends approval.

RECOMMENDED MOTION: Approve the rezone and GDP, subject to any changes by the Village Attorney and Village Engineer including the limit of uses for Lot 1 to a grocery store and convenience store.

ATTACHMENT(S): General Development Plan and Zoning Exhibit

**GENERAL DEVELOPMENT PLAN
FOR
THE WOODLAND CREST DEVELOPMENT,
VILLAGE OF WAUNAKEE,
DANE COUNTY, WISCONSIN,
TO BE ZONED IN THE
PLANNED UNIT DEVELOPMENT
(PUD) DISTRICT**

Woodland Crest, LLC, a Wisconsin limited liability company (the “Developer”), owner of a fee title interest with respect to Lots 1-2 in the Plat of Woodland Crest, Village of Waunakee, Dane County, Wisconsin, and being the Developer of said plat, hereby submits the following General Development Plan for approval pursuant to Sec. 106-803 of the Waunakee Zoning Code:

Return to:

Woodland Crest, LLC
161 Horizon Drive, Suite 101A
Verona, WI 53593

1. Lands Subject to this General Development Plan. The real property subject to this General Development Plan (GDP) consists of Lots 1-2 of the Plat of Woodland Crest, Village of Waunakee, Dane County, Wisconsin (the “Development Lands”). The final recorded Plat of Woodland Crest is incorporated herein by reference.

Parcel Identification Number:

See attached list.

2. General Description of Uses. The Development Lands are to be rezoned in the planned unit development district (PUD) under Secs. 106-801 et seq. of the Waunakee Zoning Code. The proposed uses of the Development Lands include: (i) a grocery store, gas station and convenience store with drive-through to be developed on Lot 1, and (ii) general commercial/retail uses to be developed on Lot 2, subject to the provisions of this GDP.

3. General Development Requirements.

(a) Development Plan. The Development Lands shall be known as “Woodland Crest Neighborhood Center.” Attachment A to this document, titled “Woodland Crest Neighborhood Center General Development Plan,” is hereby incorporated as an integral part of the GDP.

(b) Setbacks. The required front, side and rear yard setbacks for all lots within Woodland Crest shall be five (5) feet, unless otherwise approved by the Village pursuant to an approved Specific Implementation Plan (SIP) for a particular lot. A 25-foot building setback will be maintained from CTH Q and Peaceful Valley Parkway.

(c) Design Guidelines. The provisions contained within Attachment A shall apply to development of all lots within Woodland Crest.

4. Specific Implementation Plans Required. An approved SIP is required for the development of all lots within Woodland Crest. The SIPs shall be consistent with this GDP and shall control with respect to all matters that are covered therein. It is anticipated that further divisions of Woodland Crest lots may be approved in the future through replats or certified survey maps. All building / architectural, site, landscaping, signage, lighting and parking plans for all development shall follow the architectural and design standards for Woodland Crest established herein and shall be addressed during the SIP process.

5. Permitted Uses. Notwithstanding the general description of uses identified in Section 2 above, the following principal uses, and uses incidental thereto, shall be permitted in Woodland Crest:

(a) Grocery stores and supermarkets (including drive-ups, drive-throughs, fueling stations for gasoline, diesel, ethanol or alternative fuels, car washes and outdoor displays and sales of merchandise, all where designated on the SIP);

(b) Convenience stores (including drive-ups and drive-throughs, car washes, fueling stations for gasoline, diesel, ethanol or alternative fuels, and outdoor display and sale of merchandise, if designated on the SIP);

(c) Professional and other offices;

(d) Retail sales including the following: animal hospitals and pet shops, antique shops, audio and video equipment and merchandise, bakeries, barber shops, bicycle shops, book stores, candy and ice cream stores, carpet stores, camera and photographic supply stores, catering services, clocks and watches, clothing and apparel stores, computer and computer accessory stores, china and glassware stores, coin stores, custom dressmaking, department and discount stores, drug stores, dry cleaning and laundry, electronic and house ware appliance stores, flower shops, gift shops, hardware and paint stores, hobby stores, jewelry stores, leather goods and luggage stores, locksmiths, meat markets, musical instrument stores, office supply stores, optical goods stores, orthopedic sales and supplies, pet grooming, pet stores, photo studios, picture frame shops, schools for music, dance and martial arts schools, sewing machine shops, shoe stores, sporting goods stores, tailor shops, travel bureaus;

(e) Banks, credit unions, and other financial institutions (including drive-ups and drive-throughs if designated on the SIP);

(f) Medical and dental offices, optical shops, physical therapy, urgent care, chiropractic, pharmacy or other health care clinics, or related or customary uses, (include drive-ups and drive-throughs if designated on the SIP);

(g) Health clubs and exercise/fitness facilities;

(h) Hotels and/or restaurants (including bars, decks and patios, whether or not alcohol is served, drive-ups and drive-throughs, all if designated on the SIP);

(i) Service businesses that provide services to the general public and produce minimal off-site impacts, including the following: barber and beauty shops; dry-cleaning pick-up stations;

interior decorating/upholstery; locksmith; mailing and packaging services; photocopying, document reproduction services; consumer electronics and repair; shoe repair; tailor shop; and watch repair, other small goods repair (including drive-ups and drive-throughs if designated on the SIP);

(j) Auto service uses, including: automotive accessory stores, automobile rental agencies, automobile service shops including shops for general mechanical repairs and electrical, battery, ignition and radiator repair, glass replacement, and wheel alignment service. Car washes are permitted as an accessory use. Auto service activities shall occur within fully enclosed buildings;

(k) Any other use allowed as a permitted use under the Village's "C-1 Commercial General Commercial District" (or any successor district), as may be amended from time to time; and

(l) Uses not specified in this General Development Plan that are found by the Village to be sufficiently similar to specified permitted uses in the General Development Plan may be allowed by the Village.

6. Conditional Uses. Except for the conditional uses identified in this Section 6, there shall be no conditional uses in the Woodland Crest lots. Chapter 106, Article V of the Village of Waunakee Zoning Code shall apply to all conditional uses. The following uses shall constitute conditional uses and require a conditional use permit:

(a) A building used for retail business that is proposed to have more than 50,000 square feet in building floor area;

(b) Outdoor display and sales of products such as Christmas Trees, plants, produce;

(c) Farmers markets; and

(d) Any other use allowed as a conditional use under the Village's "C-1 Commercial General Commercial District" (or any successor district), as may be amended from time to time.

7. General Limitation on Uses. No uses shall be permitted within the Development Lands which are not allowable uses under the provision of paragraphs 5 and 6 above, or amendments to the General Development Plan, which may be approved in the future under the Waunakee zoning code. Uses identified as conditional uses shall require a Conditional Use Permit pursuant to the applicable Village Code provisions. The outlots on the plat shall be used only for the purposes set forth above in this instrument and on the plat, and activities specifically incidental thereto. All of the detail contained in the Final Plat of Woodland Crest with respect to the lots described therein shall be deemed incorporated into this General Development Plan by reference.

8. SIP Requirement and Transfer Restriction. Except where otherwise indicated above, the uses of the lands subject to this General Development Plan will be subject to approval of a Specific Implementation Plan by the Village of Waunakee in accordance with the Waunakee Zoning Code, except that existing agricultural uses may continue until a specific parcel is developed under an approved Specific Implementation Plan. No lot within the Development Lands

shall be transferred, sold or conveyed to any other party, other than to Developer or an affiliate of Developer, the Village of Waunakee or to a bona fide mortgagee, without the prior approval of a development agreement for such lot between the Developer or the owner thereof and the Village of Waunakee. No land disturbance or construction associated with development of the lands within the Development Lands shall be commenced by the Developer or the owner thereof, unless an agreement for land division improvements for and in connection with such land disturbances or construction has been executed by the Developer or the owner thereof and the Village of Waunakee.

9. Commercial SIPs. The various Specific Implementation Plan(s) for the Development Lands may provide that certain zoning requirements for the commercial zoning classifications of the Waunakee zoning ordinance be modified, including, but not limited to, requirements with respect to signage, lighting, parking, parking lot and driveway design and landscaping. All such zoning requirement modifications or waivers for shall be detailed in the Specific Implementation Plan(s), where permitted, and such approved SIPs shall control over the requirements of the Waunakee zoning code with respect to such matters.

10. Architectural Covenants. All development on the subject lands will also be subject to the terms, provisions and conditions of any covenants, restrictions, conditions and easements prepared and recorded by the Developer prior to the development of the lands in question, which covenants may provide for architectural control by the Developer of any buildings to be built on the Development Lands. The Village agrees to take reasonable steps to consult with the Developer before issuing a building permit in an effort to ensure that the building or other improvements have been approved in writing by the Developer or such other party who has architectural review approval powers with respect thereto under recorded covenants which govern such lands.

11. Amendments. The foregoing General Development Plan may not be amended without the consent of the Village Board of the Village of Waunakee, provided, however, approval by the Village Board of the Village of Waunakee shall not be required for any modification or amendment where the Village Engineer has determined, in writing, that such modification or amendment is a minor modification or amendment.

INFORMATIONAL STATEMENT

The Developer makes the following additional informational statements in connection with its request for rezoning to the PUD classification:

12. Valuation. It is anticipated that the value of the private commercial structures and improvements on all of the PUD commercial lots will be at least \$___,000,000 when fully built-out.

13. Construction Timing. It is anticipated that portions of the Development Lands will see the start of construction of at least one (1) commercial building within approximately eighteen (18) months after this GDP is approved by the Village Board. Development of the balance of the Development Lands will depend on market and economic conditions and completion of one or more development agreements with the Village. The overall build out of the Development Lands

is estimated at this time at approximately five (5) years, subject to market and economic conditions and completion of development agreements with the Village.

[Signature page follows.]

Dated this ____ day of _____, 2019.

WOODLAND CREST, LLC

By: _____
David M. Jenkins, Manager

STATE OF WISCONSIN)
) ss.
COUNTY OF DANE)

Personally came before me this ____ day of _____, 2019, the above-named David M. Jenkins, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Print name: _____
Notary Public, State of Wisconsin
My Commission: _____.

CERTIFICATION OF APPROVAL

The aforesaid General Development Plan was approved by the Village Board of the Village of Waunakee on _____, 2019.

Dated this ____ day of _____, 2019.

Julee Helt, Village Clerk

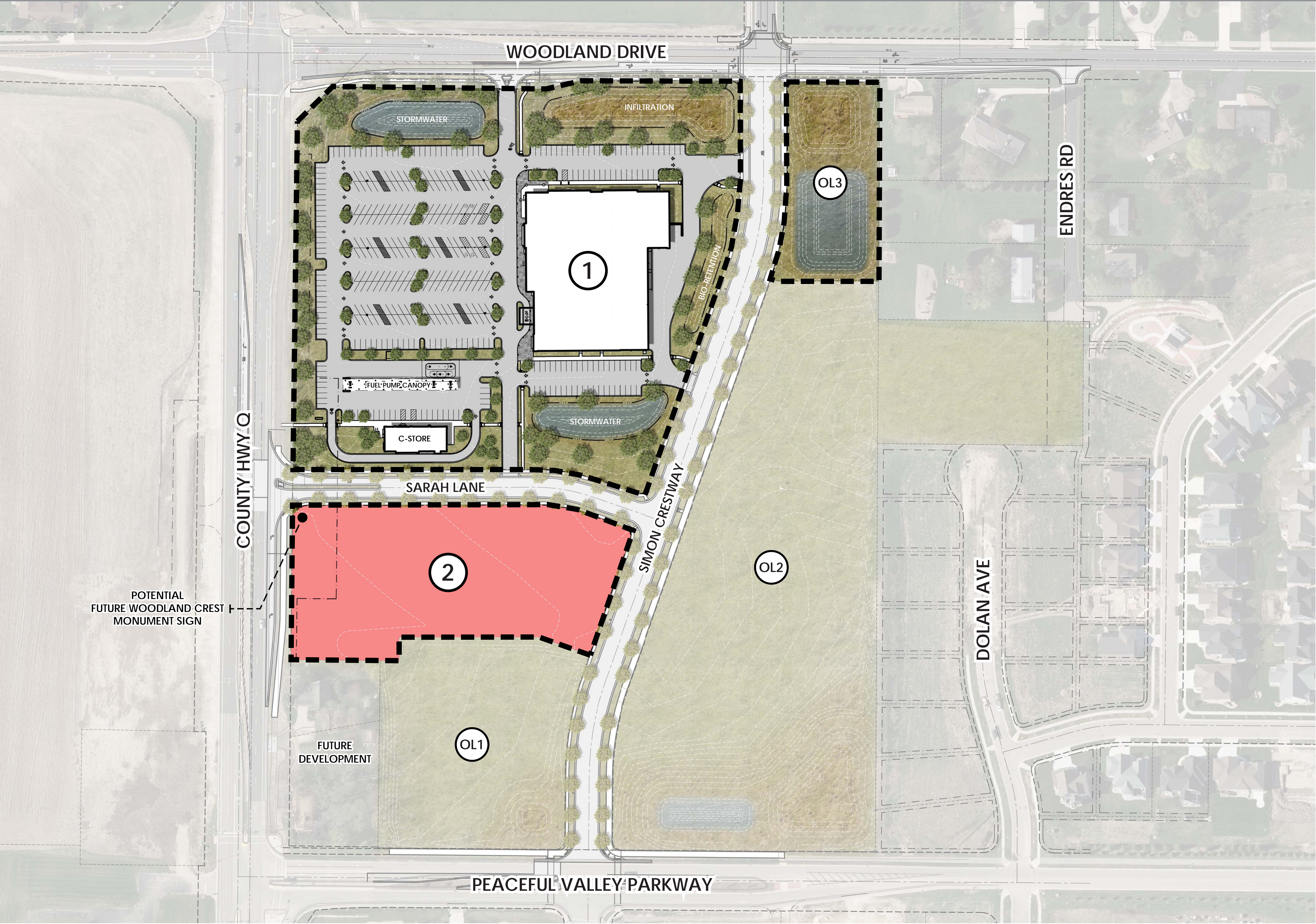
LEGAL DESCRIPTION AND PARCEL NUMBERS

[to be inserted]

ATTACHMENT A

**WOODLAND CREST NEIGHBORHOOD CENTER
GENERAL DEVELOPMENT PLAN**

[see attached]



LAND USE KEY

- 1** PUD - GDP
LOT AREA • 453,121 SF (10.402 ACRES)
GFA • 57,250 SF
TOTAL PARKING • 410 STALLS
PARKING STALLS/1000 SF GFA • 7.16 STALLS
FAR • 0.13
OPEN SPACE • 167,429 SF - 36%
- 2** PUD - GDP
LOT AREA • 126,958 SF (2.915 ACRES)
- OL1** A-1 AGRICULTURAL HOLDING
LOT AREA • 112,416 SF (2.581 ACRES)
- OL2** A-1 AGRICULTURAL HOLDING
LOT AREA • 395,605 SF (9.082 ACRES)
- OL3** PUD - GDP
LOT AREA • 53,074 SF (1.218 ACRES)

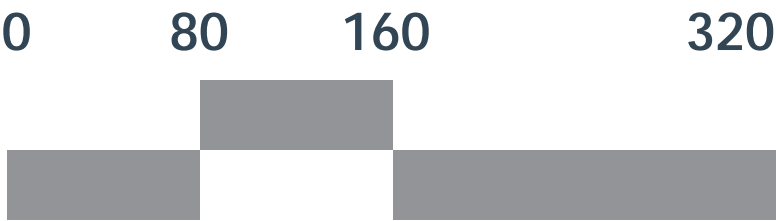
--- GDP BOUNDARY

WOODLAND CREST

WAUNAKEE, WI

DATE 02.15.2019

Attachment A: Woodland Crest Neighborhood Center General Development Plan

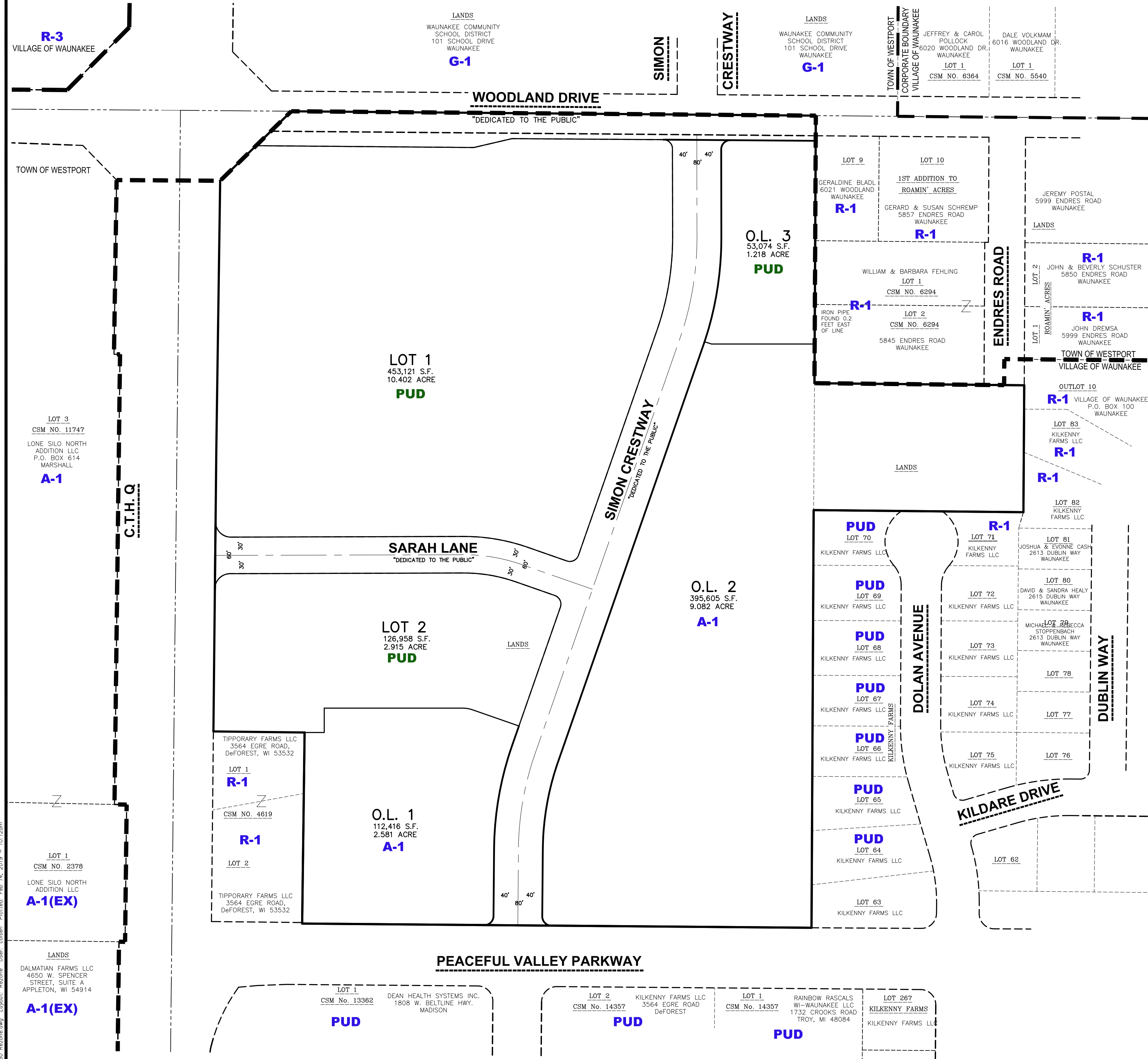


JSD Professional Services, Inc.
• Engineers • Surveyors • Planners

PROJECT NUMBER • 178080

REZONE MAP - WOODLAND CREST

PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 8 NORTH, RANGE 9 EAST, VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN



LEGEND

- PLAT BOUNDARY
- PLAT RIGHT-OF-WAY
- PLAT LOT LINE
- PLAT CENTERLINE
- CHORD LINE
- CENTERLINE
- RIGHT-OF-WAY LINE
- SECTION LINE
- PROPERTY LINE
- EASEMENT LINE
- EDGE OF PAVEMENT
- CONCRETE CURB & GUTTER
- EDGE OF GRAVEL
- BUILDING
- WALL LINE
- CORPORATE BOUNDARY
- NO VEHICULAR ACCESS
- EDGE OF BITUMINOUS

LOT SUMMARY TABLE

LOT #	PROPOSED ZONING	CURRENT ZONING	PROPOSED USE	ACRES
1-2	PUD	A-1	COMMERCIAL	13.317
O.L. 1	-	A-1	FUTURE DEVELOPMENT	2.581
O.L. 2	-	A-1	FUTURE DEVELOPMENT	9.082
O.L. 3	PUD	A-1	STORMWATER MANAGEMENT	1.218

OUTLOT SUMMARY TABLE

OUTLOT #	PROPOSED USE	ACRES
1	FOR FUTURE DEVELOPMENT	2.581
2	FOR FUTURE DEVELOPMENT	9.082
3	STORMWATER MANAGEMENT	1.218

PREPARED FOR:

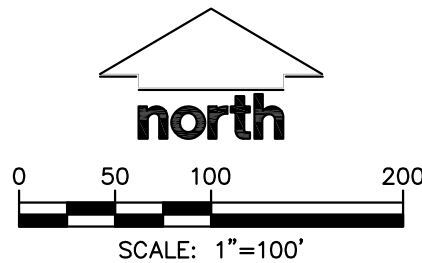
FORWARD DEVELOPMENT GROUP
161 HORIZON DRIVE, SUITE 101A
VERONA, WI 53593

PREPARED BY:

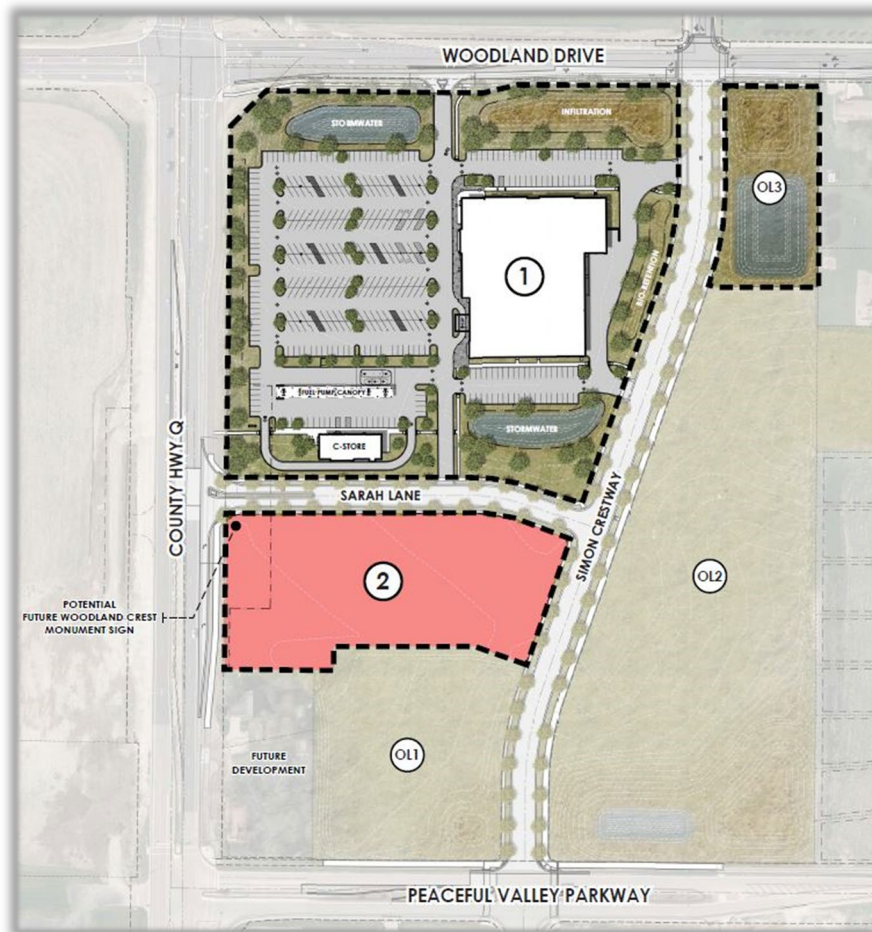
JSD PROFESSIONAL SERVICES, INC.
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
(608) 848-5060

JSD Professional Services, Inc.
• Engineers • Surveyors • Planners

PROJECT NO:	17-8080	SURVEYED BY:	-
FILE NO:	0-*	DRAWN BY:	CJO
FIELDBOOK/Pg:	-	CHECKED BY:	JK
SHEET 1 OF 1		APPROVED BY:	TJB



Woodland Crest Neighborhood Center General Development Plan



Prepared for:
Forward Development Group, LLC (FDG)

JSD Professional Services
161 Horizon Drive, Suite 101
Verona, Wisconsin 53593

Submitted: February 15, 2019

Table of Contents

Intent
Project Location
Community Context
Project Overview
Phasing
Development Details and Design Standards
Building Architecture
Site Access and Circulation
Site Topography, Drainage and Stormwater Management
Open Space and Landscape Design
Rationale for PUD Zoning
Consistency with Community Plans
Consistency with Community Ordinances
Requested Exemptions to Conventional Zoning Standards

Exhibits

Zoning Map Exhibit
Woodland Crest Master Plan
General Landscape Plan
Phasing Plan

Project Team

Developer

Forward Development Group, LLC (FDG)
161 Horizon Drive, Suite 101A
Verona, WI 53593

Dennis Steinkraus, Development Manager
dgs@forwarddevgroup.com
262.443.9875

Attorney

Dan O'Callaghan
Carlson Black O'Callaghan & Battenberg LLP
222 West Washington Avenue, Suite 705
Madison, WI 53703
608.888.1685
dan.ocallaghan@carlsonblack.com

Consulting Services for Planning, Engineering, and Surveying

JSD Professional Services, Inc.
161 Horizon Drive, Suite 101
Verona, WI 53593

Planning and Design Team:
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jessica.vaughn@jsdinc.com
608.848.5060

Project Engineer:
Bill Dunlop, P.E.
bill.dunlop@jsdinc.com
608.848.5060

Project Surveyor:
Todd Buhr, Survey Director
todd.buhr@jsdinc.com
608.848.5060

Intent

Forward Development Group, LLC (“FDG”) is seeking Village of Waunakee approval of the Woodland Crest General Development Plan (“Woodland Crest”). Woodland Crest is intended to be a mixed-use neighborhood center comprised of retail and service-oriented businesses, including a grocery store anchor, located along the County Highway Q frontage.

Project Location

The Woodland Crest project site is located at the southeast corner of Woodland Drive and County Highway Q (“CTH Q”). The project site is bounded by Woodland Drive on the north, CTH Q on the east, and Peaceful Valley Parkway on the south. Overall, the project site is primarily comprised of an existing agricultural parcel (PIN 0809-172-8540-0).

The project site is located within the Village of Waunakee Urban Service Area and the Waunakee-Westport Joint Planning Area.

Given the location of the project site along CTH Q between Peaceful Valley Parkway and Woodland Drive, the location is highly visible and serves as a gateway to the Village of Waunakee community.



Project Site Context

Currently the project site is vacant undeveloped lands that has been cultivated, as it has been for many decades. Surrounding land uses and development include:

- To the north across Woodland Drive, Waunakee Schools campus and athletic fields;
- A small cluster of rural residences located within the Town of Westport and the Kilkenny Farms subdivision to the east;
- To the south, across Peaceful Valley Parkway is the North Gateway commercial development; and

- Immediately adjacent to the project site on the west are two residential homes, and across CTH Q lie cultivated farmland, including 130 acres proposed for a mixed-use planned development.

Overall, the surrounding context can be characterized as mixed-use, with a variety of residential and commercial, and institutional development. The surrounding uses present both opportunities and constraints for the development within Woodland Crest. Opportunities include existing residential and institutional uses which will serve as supporting uses to the proposed commercial development. While the same will also require that special consideration be given to implementing design elements, including enhanced landscape and architectural design elements to ensure compatibility between nonresidential and residential uses.

Project Overview

Woodland Crest is envisioned as a vibrant mixed-use neighborhood center that provides places to live, work, and play within the Village of Waunakee. Generally, uses within Woodland Crest include a grocery store anchor with convenience store and gas station as well as smaller, neighborhood scale retail and service-oriented uses, restaurants, and future multi-family residential uses.

Given the surrounding site context, development guidelines have been included in the general development plan that are intended to ensure compatibility between uses, mitigate adverse impacts, and that ensure high quality architectural design that enhances the pedestrian environment and activates outdoor spaces. Overall, the proposed development guidelines specifically address:

- Building facade treatments focusing on four-sided architecture as noted in the architectural images included in this General Development Plan;
- Designing and amenitizing outdoor spaces to create useable open spaces that create opportunities for both active and passible recreation;
- The placement of parking and vehicular circulation to limit conflicts between vehicles and pedestrians; and
- Promoting walkability and encouraging and accommodating bicycling.

While architectural character images are included in this General Development Plan document, they are intended to help clarify design intent and provide examples of the general architectural flavor intended for development within Woodland Crest. Final architectural and design related details will be reviewed and approved as part of the Specific Implementation Plan process as each site develops.

The Woodland Crest General Development Plan is intended to establish a framework for the general organization and layout of land uses and public infrastructure that are illustrated in the attached Master Plan exhibits. The Master Plan's depiction of particular building sites is illustrative in nature and subject to modification as part of each subsequent Specific Implementation Plan and final operational agreements.

Phasing

Land Division Phasing

A subdivision request (Woodland Crest Preliminary and Final Plats) has been submitted for concurrent review and approval along with the Woodland Crest General Development Plan. The land division request seeks to subdivide the project site (approximately 28 acres) into two lots (Lots 1 and 2) and three outlots (Outlots 1, 2, and 3) as noted below:

- **Lot 1:** A 10.4-acre site planned for a grocery store and a c-store / gas station that contains a drive-thru coffee shop;
- **Lot 2:** A 2.9-acre site planned for single and/or multi-tenant commercial uses;
- **Outlot 1:** A roughly 2.58-acre site is envisioned to accommodate shared access for the future redevelopment of the residential lots to the west (Lots 1 and 2 of CSM 4619) as well as additional commercial uses within Woodland Crest. Outlot 1 also has the potential to be further divided to accommodate future development. At this time, Outlot 1 will remain an Ag/Holding zone until development is proposed.
- **Outlot 2:** A roughly 9-acre site that has the potential to be further subdivided in the future. Outlot 2 is envisioned to host the proposed future supporting high density residential development. At this time, Outlot 2 will the existing zone district designation until development is proposed.

Also as part of Outlot 2, phase one construction will include a temporary regional stormwater management facility located on the southern end of the outlot. At this time, this facility will be developed within an easement and be maintained by the developer. At such a time when Outlot 2 is subdivided, a formal outlot will be created for the stormwater management facility, which will be dedicated to the public and maintained by the Village.

- **Outlot 3:** Roughly 1.2-acres in size contains a regional stormwater management facility and landscaped open space. Outlot 3 will be dedicated to the public and the Village will assume maintenance responsibilities.

Parcels noted herein as the potential location for future high density residential land uses (Outlots 1 and 2) will be developed based on market demand. Integrating residential land uses will provide support to proposed businesses and transition land uses from the commercial sites along CTH Q to the residential areas to the east.

All parcels located within the Woodland Crest General Development Plan may be subdivided in the future via condo plat, or adjusted via plat, subject to Village review and approval. Future subdivisions, and the subsequent function and maintenance of the resulting lots or outlots, must be described in detail in the SIP for each site.

It is important to note that while all of the lands comprising the project site are included within the parameters of the land division, they are not all part of the General Development Plan planning area as discussed below.

Rezoning Phasing

All of the lands comprising the Woodland Crest Subdivision, including the two commercial lots located along Sarah Lane and the CTH Q frontage (Lots 1 and 2) and Outlots 1, 2 and 3, are within the Woodland Crest land division. However, only Lots 1 and 2, and Outlot 3 are within the current Woodland Crest General Development Plan planning area. The lands within the Woodland Crest General Development Plan planning area will be rezoned from their current zone district to PUD- GDP and are planned for multi-use commercial development.

The remaining lands (Outlots 1 and 2) will maintain their existing A-1 zone district designation. The rezoning of these lands will occur over the course of time, consistent with the anticipated phasing plan. It is important to note that while these areas have been identified as viable locations for supportive multi-family residential land uses, development is not proposed at this time. It is the intent of the Woodland Crest General Development Plan to create a truly mixed-use neighborhood center, including higher density multi-family residential land uses.

With that in mind, there are two potential paths forward at such a time when development occurs on Outlots 1 and 2. One potential path would be to rezone and develop within the confines of one of the Village's conventional zoning districts. The other would be amend the Woodland Crest General Development Plan planning area to include the proposed development and land uses, followed by the required Specific Implementation Plan approval process. In any event, it is the intent of the Woodland Crest General Development Plan to create a truly mixed-use neighborhood center, including high density multi-family residential land uses.

Construction Phasing

FDG has determined that there is strong interest in the development opportunities that could be created at this location, and intends to develop the entire site over the course of multiple construction phases, the first of which is anticipated to begin in the summer of 2019. Construction will involve mass grading, installation of stormwater management facilities, the extension of Simon Crestway from Woodland Drive to Peaceful Valley Parkway, a new public street ("Sarah Lane") to connect Simon Crestway and County Highway Q, and underground sanitary sewer, water, and storm sewer infrastructure.

In addition to the public and private improvements, commercial development is also part of the phase one development within Woodland Crest General Development Plan. Lot 1 will be first lot to develop and be zoned PUD-SIP. Lot 1 will serve as the commercial anchor that will include a grocery store and convenience store with drive-thru. In addition, as part of the initial phases of development, Outlot 3 will also be zoned PUD-GDP and develop consistent with the Village's policies with regard to stormwater management facilities. While Lot 2 is part of the initial phases of development and planned for commercial land uses, a specific use or development plan has not been developed. Prior to development, a Specific Implementation Plan for Lot 2 will be required and set more detailed development parameters for each lot and use. All future Specific Implementation Plans are subject to the Village's GDP-SIP review and approval process.

The intended construction schedule is below:

Subdivision improvements (public infrastructure)	Summer 2019 – Fall 2019
Lot 1 (Grocer site) site work (pad ready)	Summer 2019 – Fall 2019
Future lots (subject to GDP and SIP approvals)	2020 - 2022

Development Details and Design Standards

Schedule of Land Uses

In addition to all of the permitted and conditional uses allowed under the Village C-1 Commercial General Commercial District, the following uses are also permitted and conditional uses within Woodland Crest:

- Health and fitness clubs (permitted use)
- Outdoor display and sales of products such as Christmas Trees, plants, produce (conditional use)
- Farmers markets (conditional use)
- Single-family residential dwelling units (permitted use)

The attached Master Plan shows the general intent for the layout and relationship of the individual sites, with approximate building footprints. Prior to development, a Specific Implementation Plan for each individual lot will be required and set more detailed development parameters for each lot and use. All future Specific Implementation Plans are subject to the Village’s GDP-SIP review and approval process.

Bulk Standards and Development Intensity for Commercial Land Uses

Woodland Crest Development Standards for Commercial Land Uses	
Development Intensity	Floor Area Ratios (FARs) range from 0.10 to 0.25
Building Height (maximum)	Maximum standard per Zoning Ordinance for C-1 zone district (45 feet).
Principle Building Setbacks (from right-of-way)	Lot 1 setbacks per SIP plan. Front yard minimum setbacks: From Simon Crestway and Sarah Lane: 5 feet From County Highway Q: 25 feet From Peaceful Valley Parkway: 25 feet Side yards: Per Zoning Ordinance for C-1 zone district (9 feet).
Minimum Building Separation	Minimum 10 feet of separation where multiple principal buildings are present on site.
Open Space Ratio	20% minimum, where the Zoning Ordinance requires 30% Lots with less than 30% open space to provide high-quality plantings designed for long-term life, including generous planting islands in parking areas and consideration for snow storage locations that will not destroy plantings.
Landscaping	Village minimums per Zoning Ordinance , plus sites eligible for 2 points per each perennial and ornamental grass plantings.

Screening Buffers	Commercial sites adjacent to single-family residential shall provide 100% screening from headlight glare through fencing, berms, and/or plantings.
Vehicle Parking	Minimum standards per Zoning Ordinance for non-residential uses.
Bicycle Parking	Provide bike parking within 50 to 120 feet of each building's primary entrance.
Signage	Woodland Crest monument sign locations are as noted on the Master Plan. Sign Code waivers for individual lots will be evaluated as part of the Specific Implementation Plan process.

Except for the specific setback, bulk and use restrictions that are described in this GDP, the Village Zoning and Subdivision Ordinances will regulate commercial land uses and development within Woodland Crest.

Building Architecture

The visible facades of buildings are a significant component of the “first impression” and “sense of place” of a development. Buildings form visual gateways, edges and backgrounds; their architectural elements and choice of building materials create visual character and interest; and their scale or massing contribute to the “feel” experienced by visitors and passers-by. Overall site design and specific building details need to be integrated to present a unique, inviting, and memorable place.

With the intent of creating a “sense-of-place” the following design objectives set basic parameters, describe preferences, and illustrate design intent for building and site development within Woodland Crest:

- Emphasize important wayfinding nodes within the development by placing distinctive or iconic architectural elements or interesting facades at prominent locations visible to people traveling to the site and moving within the site.
- Require four-sided architecture to avoid large blank, unarticulated wall expanses. Where blank walls cannot be eliminated due to operational characteristics (i.e. back-of-house operations), material articulation and landscaping should be utilized for screening purposes.
- Encourage a variety of building types and styles expressed both in large-scale (overall building) and small-scale (architectural features) design elements. Incorporate complementary ornamental architectural design elements into building designs, including, but not limited to columns or posts, lentils and sills, awnings, eaves and overhangs, ornamental masonry (belt and string courses, cornices, etc.), various roof profiles, expansive windows and doors, etc.
- Encourage architectural styles that are complementary to other sites within the development, including prairie-style façade treatments with the primarily color palette being earth tone based.
- Encourage the use of masonry as a complementary building material with other natural materials, including wood, stone, and metal serving as accent materials. Limit the overall use of stucco or EIFS throughout the development, especially on primary building facades.
- Encourage varying building heights. Where applicable, building mass should be concentrated at corners.

- Emphasize the pedestrian's experience with "human scale" site and architectural details located at street level, including awnings, canopies, material details, and vegetation, and by creating public spaces, including plazas, alcoves, promenades, arcades, etc.
- Minimize and buffer views of service entries, loading areas, and above-ground utility pedestals. Roof-top mechanical equipment should be screened from pedestrian viewsheds and rights-of-way.

Site Access and Circulation

Vehicular Circulation

The site is bounded by Woodland Drive on the north and CTH Q on the west. Woodland Drive serves as a major east-west collector within the Village, and County Highway Q an arterial highway that is one of the primary travel routes between the Village and the surrounding major metropolitan area.

As part of the development, Simon Crestway will be extended south through the project site, serving as the north-south connection between Woodland Drive and Peaceful Valley Parkway. Simon Crestway, classified as a collector street, will be platted with an 80-foot wide right-of-way (ROW) and will be designed to accommodate vehicle travel lanes, on street parking (if desired by the Village), a sidewalk on the west side, and 10-foot multi-use path on the east side of the street.

In addition, a new public street, Sarah Lane, will be constructed to connect Simon Crestway to CTH Q. Sarah Lane will provide better access and circulation within Woodland Crest and is critical to supporting the economic viability of the site as it provides a secondary entry/exit into the development's commercial center.

A Traffic Impact Analysis (TIA) has been submitted for concurrent review with the Woodland Crest Subdivision and General Development Plan. All of the recommended improvements have been incorporated into the development plans associated with the Woodland Crest, including:

- Additional right-of-way dedication along Woodland Drive to accommodate a right turn lane;
- A northbound right turn lane and southbound left turn lane were added to Peaceful Valley Parkway to create a three-quarter access onto CTH Q; and
- Signalization of the intersection of Woodland Drive and Simon Crestway at the request of the Village.

In addition to these new public street improvements, a note has been added to the Woodland Crest Final Plat ensuring the future access of Lots 1 and 2 CSM 4619 across Outlot 1.

Pedestrian Circulation

On-street bike lanes already exist along CTH Q and Woodland Drive, and off-street paths extend along CTH Q as well as to the southeast corner of the project site from the east. A paved multi-use path along the east side of Simon Crestway and along the northerly side of Peaceful Valley Parkway, connecting the path network from north to south.

All individual development sites within Woodland Crest will provide ample pedestrian routes separated from vehicular traffic to minimize pedestrian-vehicular conflicts and encourage pedestrian activity.

Parking

It is the intent within Woodland Crest to provide adequate vehicular parking areas, while also minimizing paving and providing adequate screening and interior landscaping in their design. Parking areas will be accessed by driveways sited to encourage safe access to internal site areas.

Based on preliminary site assessment and existing topography, it is believed that the southerly most located future site development sites within Woodland Crest could accommodate underground parking.

On street parking is proposed along Simon Crestway to provide additional parking options as well as a more vibrant, urban environment.

Bike parking will be included on all sites, within 50 to 120 feet of the primary entrance to each building. Commercial sites are encouraged to provide safe and secure bike parking for both customers (short-term parking) and employees (longer-term parking). Because site amenities contribute to placemaking, a variety of bicycle rack styles are provided below that are intended to provide examples of the bike racks that will be considered during the detailed design phases of each site and public spaces within Woodland Crest.

Bicycle Rack Example Images



Site Topography, Drainage, and Stormwater Management

Adding to its charm and providing a unique opportunity for vistas from some of the development sites within Woodland Crest, the existing terrain provides notable views of the State Capitol and nearby lands. Topography is distinguished by a prominent ridge that divides the property such that two thirds of the overall project site area drains to the north, and one third drains to the south.

The project site has been evaluated for the presence of wetlands to comply with current Wisconsin Department of Natural Resources (WDNR) requirements for developments over one-acre in size. No wetland conditions were observed. WDNR concurrence was received and expires August 3, 2033.

The planned stormwater management facilities will meet the Village, Town, County, and WDNR requirements. The most stringent policies require all new development in this area to infiltrate 100% of the increased storm runoff volume created by the new impervious surface. In addition, all runoff must be treated for water quality and rate control, to provide clean water and safe discharge downstream of the development.

Most of the development will be served by “regional” stormwater basins that will collect water from multiple sites. This will increase the treatment efficiency and reduce future maintenance requirements for stormwater treatment in the development overall. Regional stormwater facilities are proposed to be located on south side of Outlot 2 within an easement to be temporarily maintained by the developer and/or land owner, and Outlot 3 to be dedicated to the public. It is the intent that the at a future date, when Outlot 2 is subdivided, the stormwater facility will be dedicated to the public as an outlot and the Village will assume maintenance responsibilities.

Lots 1 will contain private basins to treat and detain runoff specific to that individual site, and will be part of its respective Specific Implementation Plan. A maintenance agreement will be provided for these basins in the Stormwater Management Plan prepared in conjunction with the SIP.

A public storm sewer bypass pipe will route the large off-site drainage area from lands to the west under CTH Q to the north and east around the development. The public storm sewer bypass pipe would be located within a public storm sewer easement within the project limits, and would connect to existing pipes near the northeast corner of the project.

Municipal utilities are currently existing along Woodland Drive and Peaceful Valley Parkway, providing ready connections (or opportunities to extend utilities) to serve the development.

Open Space and Landscape Design

Landscape design and plantings play a large role in the overall success of a development, especially in terms of placemaking, development unification, and amenitizing public spaces. Plantings will be used to highlight and define the edges of the overall development as well as accentuate architectural details and soften hardscape areas. Landscape materials and design will compliment and build on visual themes and styles established by the proposed architecture within Woodland Crest.

Landscaping and outdoor spaces will be provided throughout the development to create welcoming places to sit or walk between the buildings and throughout the Woodland Crest development. Landscape design efforts will include layering plantings to create texture as well as utilizing a variety of species to

promote year-round foliage and color. An emphasis will be placed on using native species, particularly perennial grasses and wildflowers.

A sample list of plant species and precedent photos of the landscape design intent are included herein for reference. Final landscape design will be evaluated as part of the Specific Implementation Plan for each site.

Sample Plant List (including, but not limited to):

COMMON NAME	BOTANICAL NAME
OVERSTORY DECIDUOUS TREES	
<i>Prairie Pride Common Hackberry</i>	<i>CELTIS occidentalis 'Prairie Pride'</i>
<i>Swamp White Oak</i>	<i>QUERCUS bicolor</i>
<i>Shademaster Honeylocust</i>	<i>GLEDITSIA triacanthos</i>
<i>Redmond Linden</i>	<i>TILIA americana 'Redmond'</i>
<i>Draves Honey Locust</i>	<i>GLEDITSIA tricanthos 'Draves'</i>
<i>Royal Red Maple</i>	<i>ACER platanoides 'Royal Red'</i>
<i>Red Sunset Maple</i>	<i>ACER rubrum 'Franksred'</i>
<i>State Street Maple</i>	<i>ACER miyabei 'Morton'</i>
<i>Espresso Cofeetree</i>	<i>GYMNOCLADUS dioicus 'Espresso'</i>
<i>Autumn Gold Ginkgo</i>	<i>GINKGO biloba 'Autumn Gold'</i>
<i>Whitespire Birch</i>	<i>BETULA populifolia 'Whitespire'</i>
<i>River Birch</i>	<i>BETULA nigra</i>
<i>New Horizon Elm</i>	<i>ULMUS x 'New Horizon'</i>
<i>Siouxland Poplar</i>	<i>POPULUS deltoides 'Siouxland'</i>
TALL EVERGREEN TREES	
<i>Black Hills Spuce</i>	<i>PICEA glauca var. densata</i>
<i>Serbian Spruce</i>	<i>PICEA omorika</i>
<i>White Pine</i>	<i>PINUS strobus</i>
ORNAMENTAL DECIDUOUS TREES	
<i>Crabapple spp.</i>	<i>MALUS spp.</i>
<i>Serviceberry spp.</i>	<i>AMELANCHIER spp.</i>
<i>Hawthorn spp.</i>	<i>CRATAEGUS spp.</i>
<i>Pear spp.</i>	<i>PYRUS spp.</i>
<i>Japanese Tree Lilac</i>	<i>SYRINGA reticulata</i>
<i>Fox Valley Dwarf River Birch</i>	<i>BETULA nigra 'Little King'</i>
UPRIGHT EVERGREEN TREES	
<i>Arborvitae spp.</i>	<i>THUJA spp.</i>
<i>Juniper spp.</i>	<i>JUNIPER spp.</i>

DECIDUOUS SHRUBS

Dogwood spp.
Viburnum spp.
New Jersey Tea
Winterberry spp.
Little Devil Ninebark
Wine & Roses Weigela
Spring Red Compact Cranberrybush
Vib.
Bloomerang Lilac
Alpine Currant
Gro-low Sumac
Purpleleaf Sandcherry
Barberry spp.
Black Chokeberry

CORNUS spp.
VIBURNUM spp.
CEANOTHUS americana
ILEX spp.
PHYSOCARPUS opulifolius 'Donna May'
WEIGELA florida 'Alexandra'
VIBURNUM trilobum 'Spring Red'
SYRINGA x 'Penda'
RIBES alpinum
RHUS aromatica 'Gro-Low'
PRUNUS x cistena
BERBERIS spp.
ARONIA melanocarpa

EVERGREEN SHRUBS

Yew spp.
Juniper spp.

TAXUS spp.
JUNIPERUS spp.

ORNAMENTAL GRASSES

Korean Feather Reed Grass
Prairie Dropseed
Flame Grass
Indiangrass
Autumn Moor Grass
Tufted Hairgrass
Northwind Switch Grass
Heavy Metal Switch Grass
Dwarf Fountain Grass

CALAMAGROSTIS brachytricha
SPOROBOLUS heterolepis
MISCANTHUS purpurascens
SORGHASTRUM nutans
SESLERIA autumnalis
DESCHAMPIA cespitosa
PANICUM virgatum 'Northwind'
PANICUM virgatum 'Heavy Metal'
PENNISETUM alopecuroides 'Hameln'

PERENNIALS

Brown-eyed Susan
Yellow Coneflower
Coneflower spp.
Little Spire Russian Sage

Coral Bells Palace Purple
May Night Perennial Salvia
Ornamental Onion spp.
Sedum spp.
Sky Blue Aster

RUDBECKIA triloba
RATIBIDA pinnata
ECHINAEA pallida
PEROVSKIA atriplicifolia 'Little Spire'
HEUCHERA micranatha var. diversifolia 'Palace Purple'
SALVIA nemorosa 'Mainacht'
ALLIUM spp.
SEDUM spp.
ASTER azureus

False Blue Indigo
Prairie Blazing Star
Fireworks Goldenrod
Daylily spp.
Catmint spp.

BAPTISIA australis
LIATRIS pycnostachya
SOLIDAGO rugosa 'Fireworks'
HEMEROCALLIS spp.
NEPETA spp.

Landscape Design Intent – Example Images



Rationale for PUD Zoning

Planning efforts for Woodland Crest have been ongoing since 2009. The intent of the Woodland Crest General Development Plan is to create a mixed-use neighborhood center comprised of retail and service-oriented businesses and supporting multi-family residential uses. In order to achieve the design intent of Woodland Crest, Planned Unit Development is required as mixed-use development is not supported by the Village's conventional zoning districts outside of the Village's downtown area.

The overall intent of the Village's Planned Unit Development is to encourage innovation in design while allowing for flexibility in development standards and to ensure high quality design and architecture.

Specifically, the Planned Unit Development District for the Woodland Crest project enables:

- Creative and flexible design to provide appropriate buffers and transitions between differing uses and development intensities; and
- Reduce setbacks and lot coverage standards to develop a mixed-use, building forward, development and active streetscape.

The following sections specify in more detail how the plan complies with Village zoning standards and where flexibility is requested.

Consistency with Community Plans

This site is within the Waunakee-Westport Joint Planning Area (JPA); as such development proposals for this site will be subject to review and input from both municipalities and the Joint Plan Commission.

In the Waunakee-Westport Comprehensive Plan (the "Plan") adopted January 2017, the site is recommended for commercial and mixed-use development. The lands between Simon Crestway and CTH Q are planned for "Commercial" uses and are intended primarily for consumer-oriented retail and service uses, with appropriate buffers where adjacent to residential uses.

Lands east of Simon Crestway are planned for "Mixed Use" which may be comprised of a "variety of uses." The Plan more specifically identifies this area as being suitable for multi-unit residential apartments to transition between the commercial areas near CTH Q and the residential areas to the east (see pages 74, 75 and 77 of the Comprehensive Plan).

In general, the community's long-range plan envisions a transition from commercial along CTH Q to residential in the east. The proposed land uses within the Woodland Crest General Development Plan are consistent with this vision.

In addition, Woodland Crest will help achieve specific long-range planning goals and objectives, including but not limited to the following:

- Economic Prosperity
 - Retail development will serve the needs of local residents (p. 45)
 - Encourage the development of smaller neighborhood-oriented businesses within walking distance of surrounding residences. (p. 45)

- Commercial development of all types will be compatible with the character and quality of the community (p. 46)
- Community entrance corridors will be developed in a coordinated way, rather than in piecemeal fashion, to ensure that property values are maximized in balance with the aesthetic quality of the community. (p. 46)
- Agricultural, Natural, Cultural and Historic Resources
 - Local groundwater and surface water resources will be protected and conserved (p. 47)
 - Scenic views and visual character will be protected (p. 48)
- Transportation
 - Require developers and subdividers to plan and design efficient through streets within new developments, including any routes identified in this plan or an Official Map, so that traffic is not funneled onto a limited number of existing corridors. (p. 55)
 - Establish set-aside and dedication requirements for all plats and certified surveys that adjoin existing or potential transportation routes that may require future improvements. (p. 56)
- Housing
 - Encourage senior housing in the community so that lifelong residents of the Waunakee area have opportunities to remain in the community (p. 42)
 - Encourage the location of housing in areas that are readily accessible to schools, parks, and neighborhood business districts (p. 42)
 - Neighborhoods will be safe, attractive and distinctive (p.42)
 - Maintain regulations that require new developments maintain a ratio of 75 percent detached, single family units and 25 percent attached units. Redevelopment projects and senior housing projects are exempt from this policy (p. 43).
- Housing Goal 3: New housing development will be timed and phased to coordinate with market demand and public services capacity (p. 43)

Consistency with Village Ordinances

The Woodland Crest General Development Plan use the Village's C-1 Commercial District, as baseline criteria for commercial development within Woodland Crest.

In addition, the Village Zoning and Subdivision Ordinances will largely regulate the land uses and development within Woodland Crest, except for the specific restrictions and exemptions described in the Development Details and Design Standards section and as noted above in the Bulk Standards and Development Intensity Standards for Commercial Uses Table.

Proposed Modifications to Conventional Zoning Standards

The following modifications are requested to the Village's Conventional Zoning Standards:

- Front yard setback. Exemption from minimum front setbacks in the C-1 General Commercial district from 15 feet to 5 feet along Simon Crestway and Sarah Lane. The reduction in the setback will enable building masses to be placed closer to the street, activating the pedestrian environment and creating a more urban atmosphere.

A 25-foot setback will be maintained from CTH Q and Peaceful Valley Parkway.

- Open Space. Exemption from the minimum required open space per lot pursuant to Sec. 133-893(e)), from 30% to 20%.

Allowing for flexibility in this standard will enable design flexibility on sites without stormwater management basins. In exchange for flexibility in open space additional landscape requirements will be applicable for sites below 30%.

It is important to note that open space will be calculated both on a site-by-site basis and as an overall General Development Plan. Flexibility will be provided on a site-by-site basis while the overall open space provided within Woodland Crest will need to maintain the required 30%.

- Utility Easements. Exemption to the requirement to locate utility easements in side or rear lot lines (Sec. 133-12). Utility easements are as noted on the Final Plat.
- Pavement setback. Exemption to the minimum pavement setback from 25-feet to 0 feet. The setback reduction will enable greater flexibility on site design for Lot 2. Special consideration will continue to be given to providing ample landscape buffers and headlight screening where commercial uses are adjacent to residential uses.
- Monument Signage. Exemption to maximum wall sign size and projection limitations (Sec. 133-1033) to allow flexibility on signage for the larger-scale business Lot 1.
- Loading docks. Exemption to minimum loading space requirements pursuant to Sec. 133-994 to reduce the number of loading spaces from two loading spaces to four for Lot 1. Loading spaces are as shown on the SIP development plans.



WAUNAKEE/WESTPORT JOINT PLAN COMMISSION SUMMARY SHEET

MEETING DATE: 03/12/2019

ITEM: NEW BUSINESS

TITLE: Discuss and Take Action on Annexation Petition, Preliminary Plat, and Final Plat for Woodland Crest

ISSUE SUMMARY: Attached are the Annexation Petition, Preliminary Plat, and Final Plat for the Woodland Crest development.

STAFF RECOMMENDATION: Staff recommends approval.

RECOMMENDED MOTION: Motion to recommend approval of the annexation petition, preliminary plat and final plat, subject to all staff concerns resolved to the satisfaction of the Village Engineer.

ATTACHMENT(S): Annexation Petition, Preliminary Plat, Final Plat, Staff Comments



February 28, 2019

Mr. Kevin Even, P.E.
Village of Waunakee
500 West Main Street
P.O. Box 100
Waunakee, WI 53597

Re: Woodland Crest Development Plan
Village of Waunakee (Village)

Dear Kevin,

In June 2018, we provide comments on drawings showing proposed public improvements for the Woodland Crest development. We have received revised drawings dated February 15, 2019 intended to address our June 2018 comments. The following items from our June 20, 2018 letter still appear to be unaddressed.

Under **Streets**, the applicant should list the pavement thicknesses for CTH Q on Sheet C5 of the Public Improvement Plans.

Also, truck turning templates show that delivery vehicles using the Woodland Drive and Simon Crestway intersection will track into adjacent or opposing lanes when turning. Revise the design of the intersection so that all turning movements (WB-67 for south leg, S -BUS-40 for north leg) stay within their own lane and do not track over opposing lanes.

Under **Plat**, it appears that not all items listed in our June 20, 2018 letter were addressed. Those items are repeated below for convenience, and a markup of the Plat is enclosed showing the locations of these comments on the document for convenience.

Sheet 1 of 2:

- The right of way (ROW) may vary on sections of the abutting roads, but the individual widths should still be shown where the ROW bends. See enclosed copy of Westbridge for an example.
- The individual distances on the west side do not add up (exactly) to the overall distance.
- The curve numbers on the plat and in the table do not match those shown on the Preliminary Plat. Should the two documents match?
- The bearing reference should be better defined by year. For example, “NAD 83 (fill in year here)” because the numbers will change depending on the year.
- There are still issues with the three-sided bump out on the east side. The Final Plat Surveyors Certificate does not match the plat. The three courses around the bump out are not included. The areas on the Final and Preliminary Plats differ. The Preliminary Plat area matches our closure check and the same with the Final Plat. Are the three courses supposed to be in the Final Plat?
- Why is the notation “Lands” shown in this area of the three-sided bump out? That is generally used to show the status of adjacent non-platted lands outside the plat boundary.
- What is the dashed line for in the same area? Notate or remove for clarity.

Mr. Kevin Even, P.E.
Village of Waunakee
Page 2
February 28, 2019

Sheet 2 of 2:

- If the parcel is annexed into the Village prior to the recording of this plat, the Certificate for Dane County is not required. Dane County is an Objecting Authority only.
- If the parcel is annexed into the Village prior to the recording of this plat, Dane County should be added to the Owners Certificate in addition to State of Wisconsin and Village. We believe Dane County is an Objecting Authority even in villages. Verify and revise as necessary.
- If the parcel is not annexed into the Village prior to recording of this plat, there will need to be changes in the corporate limit line and certificates mentioned above.
- Verify the description in the Surveyors Certificate, checking against each course on the face of the Final Plat on Sheet 1 of 2. They must match. Verify the area as well and edit as necessary.

Sincerely,

STRAND ASSOCIATES, INC.®



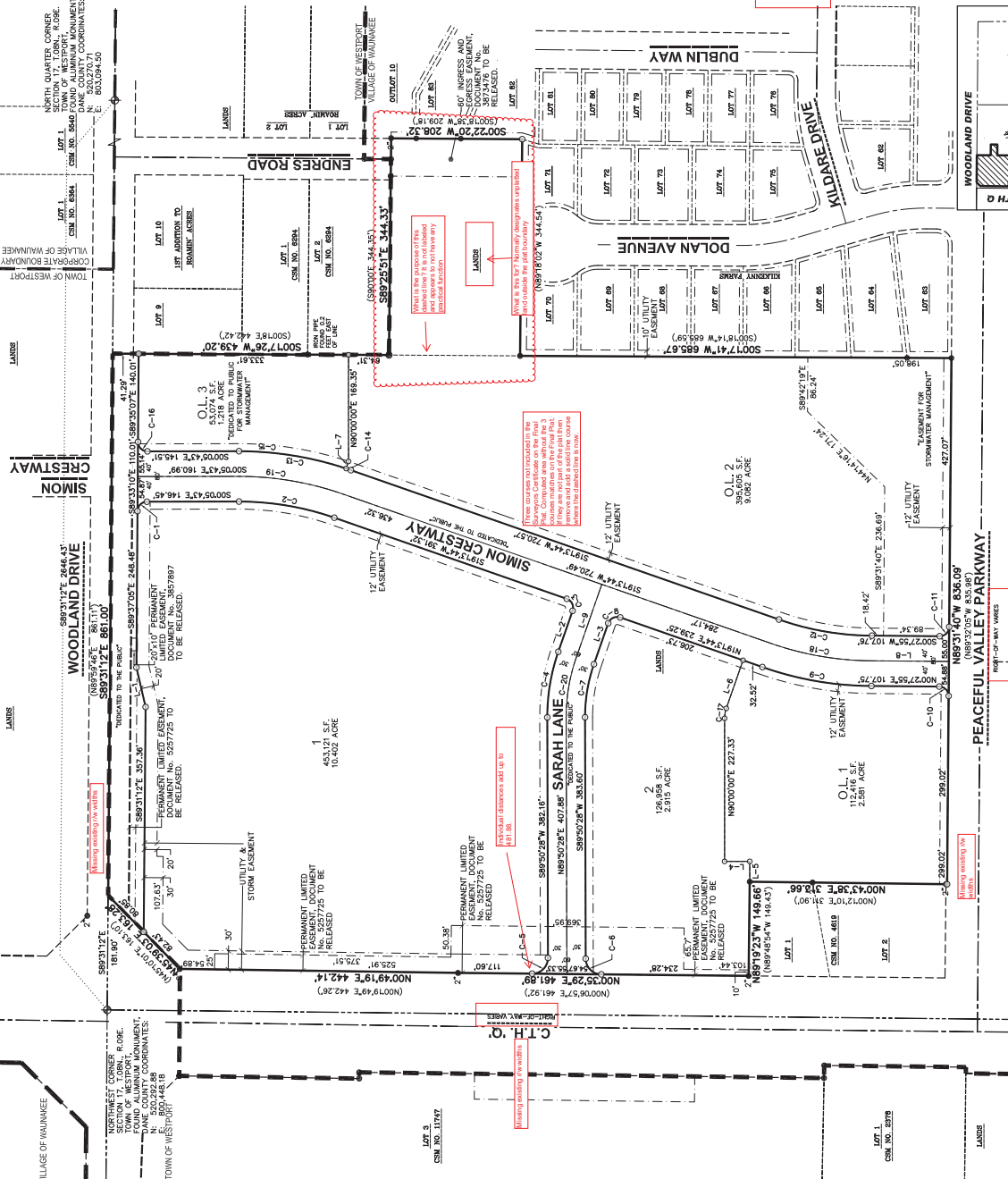
R. Kent Straus, P.E.

Enclosures

c: Todd Schmidt, Administrator, Village of Waunakee
Tim Herlitzka, Village of Waunakee Utilities
Bryan Kleinmeier, Stafford Rosenbaum
Ed Freer

WOODLAND CREST

PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 08 NORTH, RANGE 09 EAST, VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN



- LEGEND**
- RIGHT-OF-WAY LINE
 - SECTION LINE
 - EXISTING LINE
 - EDGE OF PAVEMENT
 - CONCRETE CURB & GUTTER
 - EDGE OF GRAVEL
 - EDGE OF WOODS OR BRUSH
 - BUILDING
 - WALL LINE
 - NO VEHICULAR ACCESS
 - CHORD LINE
 - CENTERLINE
- GOVERNMENT CORNER**
- 1/4, 3/4 REAR SET (4.30 US/47)
 - 1/4, 3/4 REAR SET (1.05 US/47)
 - 1" IRON PIPE FOUND
 - PK/MAG NAIL FOUND
 - 13" REBAR FOUND
 - PLAT RIGHT-OF-WAY
 - PLAT BOUNDARY
 - PLAT CENTERLINE
 - CENTERLINE

UTILITY EASEMENTS - NO POLES OR BURIED CABLES ARE TO BE PLACED SUCH THAT THE INSTALLATION WOULD OBSTRUCT ANY SURVEY STAKE OR OBSTRUCT VISION ALONG ANY LOT LINE OR STREET LINE. THE DISTURBANCE OF A LOT CORNER BY ANYONE IS A VIOLATION OF SECTION 236.32 OF WISCONSIN STATUTES.

RIGHT-OF-WAY EASEMENTS AS SHOWN SET FORTH ARE FOR THE USE OF PRIVATE PUBLIC UTILITIES HAVING THE RIGHT TO SERVICE THIS PLAT. THE USE OF THESE EASEMENTS IS NOT TO BE EXTENDED TO PRIVATE OR PUBLIC PRIVATE UTILITIES SUCH AS WATER, WASTE WATER, WATER, SANITARY SEWER AND STORM WATER UTILITIES, EXCEPT WHERE SPECIFICALLY NOTED ON THE PLAT.

- NOTES**
- BEARINGS FOR THE SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (DANE COUNTY COORDINATE SYSTEM). THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 08 NORTH, RANGE 09 EAST, BEARS S89°52'28"W 344.33'.
 - ALL STREET RIGHT-OF-WAYS WITHIN THE PLAT BOUNDARY ARE HEREBY DEDICATED TO THE PUBLIC.
 - COMMUNITY LINK HIGHWAY "Q" IS A CONTROLLED ACCESS HIGHWAY PURSUANT TO CHAPTER 79, DANE COUNTY CODE OF ORDINANCES. CROSS ACCESS RIGHTS ARE RESERVED OVER OUTLOT 1 FOR THE FUTURE DEVELOPMENT OF LOTS 1 AND 2 OF CERTIFIED SURVEY MAP NO. 4819.

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD	CHORD BEARING	TAN. BEARING OUT
C-1	23.44'	15.00'	14.88'	89°31'33"	21.21'	S44°51'24"E	S00°05'43"E
C-2	154.35'	460.00'	77.91'	191°33'59"	153.62'	S09°36'58"W	S00°00'15"W
C-3	23.45'	15.00'	15.00'	90°00'00"	21.21'	S64°13'44"W	S19°13'44"W
C-4	106.25'	314.00'	53.64'	192°33'16"	103.74'	N02°27'54"W	N07°06'12"W
C-5	39.60'	25.00'	25.33'	90°45'01"	35.59'	N44°47'02"E	S09°50'28"W
C-6	38.94'	25.00'	24.87'	89°45'59"	35.12'	N45°12'52"E	S09°50'28"W
C-7	85.95'	254.00'	43.39'	192°33'16"	85.54'	S02°27'54"E	N07°06'12"W
C-8	23.56'	15.00'	15.00'	90°00'00"	21.21'	S25°46'16"E	N19°13'44"E
C-9	176.85'	527.05'	89.28'	191°33'44"	176.05'	S09°50'48"W	N00°13'58"E
C-10	23.56'	15.00'	15.00'	90°00'00"	21.21'	S44°28'08"W	S00°13'58"E
C-11	23.56'	15.00'	15.00'	89°59'55"	21.21'	N44°13'52"W	S00°13'58"E
C-12	150.68'	448.97'	76.05'	191°33'44"	149.97'	S09°50'48"W	S19°27'41"W
C-13	181.23'	540.00'	91.47'	191°33'44"	180.38'	N09°36'52"E	S00°00'00"E
C-14	7.87'	540.00'	3.98'	0°50'44"	7.97'	S18°42'59"W	S19°13'44"W
C-15	173.85'	540.00'	87.38'	182°22'59"	172.52'	S09°11'30"W	S18°22'59"W
C-16	23.70'	15.00'	15.13'	90°00'00"	21.31'	N45°09'30"E	N09°50'48"W
C-17	16.11'	48.00'	8.13'	191°33'44"	16.03'	S09°50'48"W	S19°27'41"W
C-18	163.84'	488.97'	82.74'	191°33'44"	163.17'	S09°50'48"W	S00°13'58"E
C-19	181.23'	500.00'	94.68'	191°33'00"	186.98'	S09°36'58"W	S00°00'00"E
C-20	86.10'	284.00'	48.51'	192°33'16"	85.64'	S09°50'48"W	S19°27'41"W

Curves C-17, C-18, C-19 and C-20 have either been deleted or modified to meet 10' or 20'.

LINE	BEARING	DISTANCE
L-1	N75°57'12"E	64.40'
L-2	N70°46'16"W	68.89'
L-3	N70°46'16"W	68.89'
L-4	N00°00'00"E	40.00'
L-5	N00°00'00"E	32.50'
L-6	S70°46'16"E	80.92'
L-7	S71°37'01"E	12.00'
L-8	S02°27'55"W	122.68'
L-9	S70°46'16"E	123.89'



PREPARED FOR:
FORWARD DEVELOPMENT GROUP
S-1178
WISCONSIN
PREPARED BY:
JSD PROFESSIONAL SERVICES, INC.
181 HORIZON DRIVE, SUITE 101
WAUNAKEE, WISCONSIN 53585
(608) 848-5060

JSD Professional Services, Inc.
Engineers • Surveyors • Planners

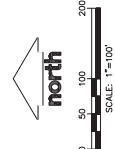
PROJECT NO. 17-0800
SHEET 1 OF 2

FILE NO. 2000
DRAWN BY: JSD
CHECKED BY: JSD
APPROVED BY: JSD

There are no objections to this plan with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____ 20

Department of Administration



WEST QUARTER CORNER
SECTION 17, TOWN, R. 09E,
TOWNSHIP 08N, RANGE 09E,
DANE COUNTY COORDINATES:
N: 800,420.10
E: 800,420.10

LOCATION SKETCH - 1" = 2000'
SECTION 17, TOWN, R. 09E, DANE COUNTY

[illegible]

 JURY COMMISSION EXPIRES

FEBRUARY 15, 2019



Department of Administration

PREPARED FOR:
FORWARD DEVELOPMENT GROUP

PREPARED BY: WESD PROFESSIONAL SERVICES, INC.

161 HORIZON DRIVE, SUITE 101

PERONA, WI 53593

(608) 949-5090

PROJECT NO.: 17-0090

FILE NO.: Q-W

FIELDBOOK NO.: -

SHEET 2 OF 2

SURVEYED BY: JLB/TJB

DRAWN BY: JLB/TJB

CHECKED BY: JLB

APPROVED BY: JLB

To: Kevin Even, Village of Waunakee
From: Jason Valerius, AICP
Subject: Woodland Crest – General Development Plan, Preliminary and Final Plat
Date: March 1, 2019

Request

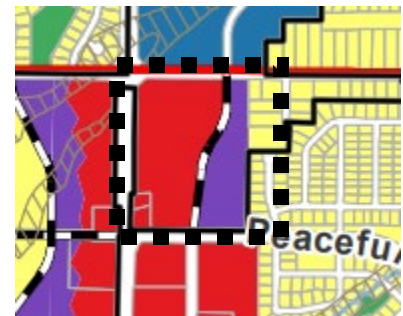
Applicant (Forward Development Group, LLC) is requesting approval of a preliminary and final plat, General Development Plan and annexation to establish Planned Unit Development (PUD) zoning, for 27.7 acres of land along CTH Q between Woodland Drive and Peaceful Valley Parkway. This submittal includes a 10.4 acre lot for a grocery store and C-store, a 2.9-acre site for a commercial use, and three outlots totaling about 10.7 acres. The outlots are part of the land division but two of them are not covered by the GDP, so as to postpone to a later date the need for approval of possible multifamily housing on one or more of those lots. The GDP describes intent for a mixed-use development with multifamily housing, eventually, but defers for later resolution the zoning of Outlots 1 and 2.

Applicable Zoning & Development Code Regulations

- Chapter 133, Article IV – Planned Unit Development District
- Various other zoning code sections

Consistency with the Village Comprehensive Plan

The Comprehensive Plan identifies the lands east of the proposed Simon Crestway extension as Mixed Use (purple) and the lands west of the proposed Simon Crestway extension as Commercial Use (red). The proposed uses in the General Development Plan are commercial uses on the west side of Simon Crestway and are consistent with the Comprehensive Plan



The GDP includes, on page 7, a list of additional uses to be allowed as permitted or conditional uses. This list includes “single-family residential units”. This is likely a remnant of the original GDP for the entire land division area, intended to address the planned extension of Dolan Ave. ***That use should be struck from this GDP.***

Consistency with the Village Zoning Ordinance

The ordinance requires an estimated value of structures and site improvements. There is a place for this on page 4 of the GDP ordinance, but it has not been completed. ***That estimate should be completed.***

The ordinance requires indication of building sizes and locations on each site. The GDP says (on page 7) that this information is provided, but it is not provided for Site 2. ***A conceptual layout should be provided for Lot 2.***

MEMO

March 1, 2019

Other Notes

The GDP notes that bike parking will be “within 50 to 120 feet of the primary entrance to each building”. ***This should be revised to say “within 120 feet” to prevent any misperception that they must be at least 50 feet away.***

The proposed GDP itemizes 6 exemptions to conventional zoning standards. This is a normal aspect of the PUD zoning process. A few concerns:

- The requested reduction in pavement setback on Lot 2 from 25 feet to 0 ft was based (I think) on an assumption of PUD zoning and residential use for Outlot 1 and coordinated design and drive/parking access across the two sites, or across internal lot lines if Lot 2 were to be subdivided. I encourage that coordinated design to happen, but I am concerned about having a 0-ft setback if the adjacent site is not developed in coordination with the proposed PUD. ***This item should be changed to indicate that a pavement setback of 0 feet may be permitted in the SIP phase if both parcels are part of the General Development Plan and any parking closer to the lot line than 5 feet is part of a coordinated parking design across both lots.***
- The item titled “Monument Signage” describes a general exemption to the maximum wall sign size for Lot 1. ***The title should be changed to “Wall Sign Size”, and I suggest a more specific revised limit rather than a general exemption.***
- The “Loading Docks” item describes a “reduction” from two to four loading spaces. ***I think the opposite was intended – this should be revised to clarify that.***

MSA Recommendation

Approve the GDP with the suggested revisions as conditions of approval, to be confirmed by Village staff before the rezoning is confirmed.

Sincerely,
MSA Professional Services, Inc.



Jason Valerius, AICP
Consultant Planner



To: Kevin Even
Tracy Meinholz
From: Randy Dorn
Dave Dresen
Tim Herlitzka
RE: Woodland Crest – Preliminary and Final Plat, GDP
Date: March 1, 2019

This memo provides comments for the Woodland Crest – Preliminary and Final Plat, GDP submittal.

- References to Madison Gas & Electric should be eliminated regarding electric. The Waunakee Utilities provides electric service to the area.
- Several comments regarding the extension of water and sewer facilities to the property are being addressed in a separate letter from Kent Straus of Strand.
- We are continuing dialogue with the developer regarding possible conflicts with existing utility facilities near the traffic signals at Simon Crestway and Woodland Drive.
- We request planned easements be adjusted to reflect our needs on the attached map.

Owners Of All Lands Within The Territory Proposed To Annexed:

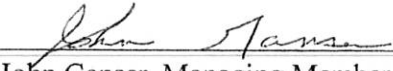
Tax Parcel ID#: 066/0809-172-8540-0

Date of Signing:
February 12, 2019

Name of Owner: Lone Star Holdings, LLC

Address of Owner: 1900 Prairie Street
Prairie du Sac, WI 53578

Signature:


John Ganser, Managing Member

(Corporate Affidavit attached if necessary)

Exhibits

A - Legal Description

B - Scale Map of Annexed Territory

Forward Development Group LLC
101 Horizon Drive, Suite 101A
Verona, WI 53593

ANNEXATION

LEGAL DESCRIPTION

Part of the Northwest Quarter of the Northwest Quarter and part of the Northeast Quarter of the Northwest Quarter, all in Section 17, Township 08 North, Range 09 East, Town of Westport, Dane County, Wisconsin more particularly described as follows:

Commencing at the Northwest corner of Section 17, aforesaid; thence South 89 degrees 31 minutes 12 seconds East along the North line of said Northwest Quarter, 181.90 feet to the Point of Beginning; thence continuing South 89 degrees 31 minutes 12 seconds East, 861.00 feet; thence South 00 degrees 17 minutes 26 seconds West along the West line of Roamin' Acres and Certified Survey Map No. 6294 a distance of 439.20 feet to the Southwest corner of Lot 2, Certified Survey Map No. 6294; thence South 89 degrees 25 minutes 51 seconds East along the South line of said Lot 2, a distance of 344.33 feet to the Southerly extension of the Easterly right-of-way line of Endres Road; thence South 00 degrees 22 minutes 20 seconds West, 208.32 feet; thence North 89 degrees 25 minutes 52 seconds West, 344.33 feet; thence South 00 degrees 17 minutes 41 seconds West, 685.67 feet along the west line of Kilkenny Farms to the North right-of-way line of Peaceful Valley Parkway; thence North 89 degrees 31 minutes 40 seconds West along said right-of-way line, 836.09 feet; thence North 00 degrees 43 minutes 38 seconds East along the extension of the East line of Certified Survey Map Number 4619 a distance of 313.66 feet to the North line of Certified Survey Map No. 4619; thence North 89 degrees 19 minutes 23 seconds West along said North line, 149.66 feet to the East right-of-way line of County Trunk Highway 'Q'; thence North 00 degrees 35 minutes 29 seconds East along said right-of-way line 461.89 feet; thence North 00 degrees 49 minutes 19 seconds East along said right-of-way line, 442.14 feet; thence North 45 degrees 39 minutes 03 seconds East along said right-of-way line, 163.28 feet to the point of beginning.

Said parcel contains 1,326,429 square feet or 30.451 acres.



- | LINE TABLE | | |
|------------|-------------|----------|
| LINE | BEARING | DISTANCE |
| L-1 | S89°31'12"E | 861.00' |
| L-2 | S00°17'26"W | 439.20' |
| L-3 | S89°25'51"E | 344.33' |
| L-4 | S00°22'20"W | 208.32' |
| L-5 | N89°25'52"W | 344.33' |
| L-6 | S00°17'41"W | 685.67' |
| L-7 | N89°31'40"W | 836.09' |
| L-8 | N00°43'38"E | 313.66' |
| L-9 | N89°19'23"W | 149.66' |
| L-10 | N00°35'29"E | 461.89' |
| L-11 | N00°49'19"E | 442.14' |
| L-12 | N45°39'03"E | 163.28' |



PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 8 NORTH, RANGE 9 EAST, VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN



- ## NOTES
1. BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM, (WCCS), DANE COUNTY THE NORTH LINE OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 07 NORTH, RANGE 09 EAST, BEARS S89°31'12" E.
 2. CONTOUR INTERVAL IS TWO FEET.
 3. ALL STREET RIGHT-OF-WAYS WITHIN THE PLAT BOUNDARY ARE HEREBY DEDICATED TO THE PUBLIC.
 4. "COUNTY TRUNK HIGHWAY "Q" IS A CONTROLLED ACCESS HIGHWAY PURSUANT TO CHAPTER 79, DANE COUNTY CODE OF ORDINANCES".
 5. CORPORATE BOUNDARY PER VILLAGE OF WAUNAKEE CORPORATE BOUNDARY DATED JULY 25, 2012.
 6. UTILITY EASEMENTS IN H POLES OR BURIED CABLES ARE TO BE PLACED SUCH THAT THE INSTALLATION WOULD DISTURB A PRIVATE SITE OR OBSTRUCT VISION ALONG ANY LOT LINE OR STREET LINE.
 7. THE DISTURBANCE OF A LOT CORNER BY ANYONE IS A VIOLATION OF SECTION 236.32 OF WISCONSIN STATUTES.
 8. UTILITY EASEMENTS AS HEREIN SET FORTH ARE FOR THE USE OF PRIVATE PUBLIC UTILITIES HAVING THE RIGHT TO SERVE A PLAT. THE USE OF THESE EASEMENTS IS NOT TO BE EXTENDED TO PRIVATE OR PUBLIC PRIVATE UTILITIES SUCH AS WATER ENTIRE PARCEL CURRENTLY ZONED A-1.
 9. SANITARY SEWER AND STORM WATER UTILITIES, EXCEPT WHERE SPECIFICALLY NOTED ON THE PLAT.
 10. CROSS ACCESS RIGHTS ARE RESERVED OVER OUTLOT 1 FOR THE FUTURE DEVELOPMENT OF LOTS 1 AND 2 OF CERTIFIED SURVEY MAP NO. 4619.

PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 08 NORTH, RANGE 09 EAST, VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN, DESCRIBED FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 17, THENCE SOUTH 89 DEGREES 31 MINUTES 12 SECONDS EAST AL THE NORTH LINE OF SAID SECTION 17 A DISTANCE OF 181.90 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 31 MINUTES 12 SECONDS EAST ALONG SAID NORTH LINE, 861.00 FEET TO THE NORTHERLY EXTENSION OF THE WEST LINE OF THE 1st ADDITION TO ROAMIN' ACRES; THENCE SOUTH 00 DEGREES 17 MINUTES 26 SECONDS WEST ALONG SAID WEST LINE, 439.20 FEET TO THE SOUTHWEST CORNER OF LOT 2 OF CERTIFIED SURVEY MAP No. 6294, AS RECORDED IN VOLUME 30, ON P. 240 AND 241, AS DOCUMENT No. 2241241; THENCE SOUTH 89 DEGREES 25 MINUTES 51 SECONDS EAST ALONG THE SOUTH LINE OF LOT 2, AFORSAID, 344.33 FEET TO THE WEST LINE OF OUTLOT 10, KILKENNY FARMS, RECORDED IN VOLUME 60-013A, PAGES 208-212, AS DOCUMENT No. 1992098; THENCE SOUTH 00 DEGREES 17 MINUTES 26 SECONDS WEST ALONG SAID WEST LINE, EXTENDED, 208.32 FEET TO THE NORTHWEST CORNER OF LOT 70, KILKENNY FARMS, AFORSAID; THENCE NORTH 89 DEGREES 25 MINUTES 51 SECONDS WEST ALONG THE NORTH LINE OF LOTS 70 AND 71, KILKENNY FARMS, AFORSAID, 344.33 FEET TO THE NORTHWEST CORNER OF LOT 70, KILKENNY FARMS; THENCE SOUTH 00 DEGREES 17 MINUTES 41 SECONDS WEST, 685.67 FEET TO THE NORTH LINE OF PEACEFUL VALLEY PARKWAY; THENCE NORTH 89 DEGREES 31 MINUTES 40 SECONDS WEST ALONG SAID LINE, 836.09 FEET; THENCE NORTH 00 DEGREES 43 MINUTES 38 SECONDS EAST, 313.66 FEET TO THE NORTHEAST CORNER OF LOT 1 OF CERTIFIED SURVEY MAP No. 4619, AS RECORDED IN VOLUME 20, ON PAGE 166, A, AS DOCUMENT No. 1874286; THENCE NORTH 89 DEGREES 31 MINUTES 12 SECONDS EAST ALONG SAID NORTH LINE, 163.28 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 31 MINUTES 12 SECONDS EAST ALONG RIGHT-OF-WAY LINE OF COUNTY TRUNK HIGHWAY 'O', THENCE NORTH 00 DEGREES 35 MINUTES 29 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 461.89 FEET; THENCE NORTH 00 DEGREES 49 MINUTES 19 SECONDS WEST ALONG SAID RIGHT-OF-WAY LINE, 442.14 FEET; THENCE NORTH 45 DEGREES 39 MINUTES 03 SECONDS EAST, 163.28 FEET TO THE POINT OF BEGINNING.

SAID DESCRIBED PARCEL OF LAND CONTAINS 1,326,430 SQUARE FEET OR 30.451 ACRES.

I, JOHN KREBS, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-1878, HEREBY CERTIFY THAT THIS PRELIMINARY PLAT MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

JOHN KREBS, S-1878
PROFESSIONAL LAND SURVEYOR

DATE _____



LINE TABLE		
LINE	BEARING	DISTANCE
L-1	S70°46'16"E	123.89'

PREPARED FOR:

FORWARD DEVELOPMENT GROUP
161 HORIZON DRIVE, SUITE 101A
VERONA, WI 53593

PREPARED BY:

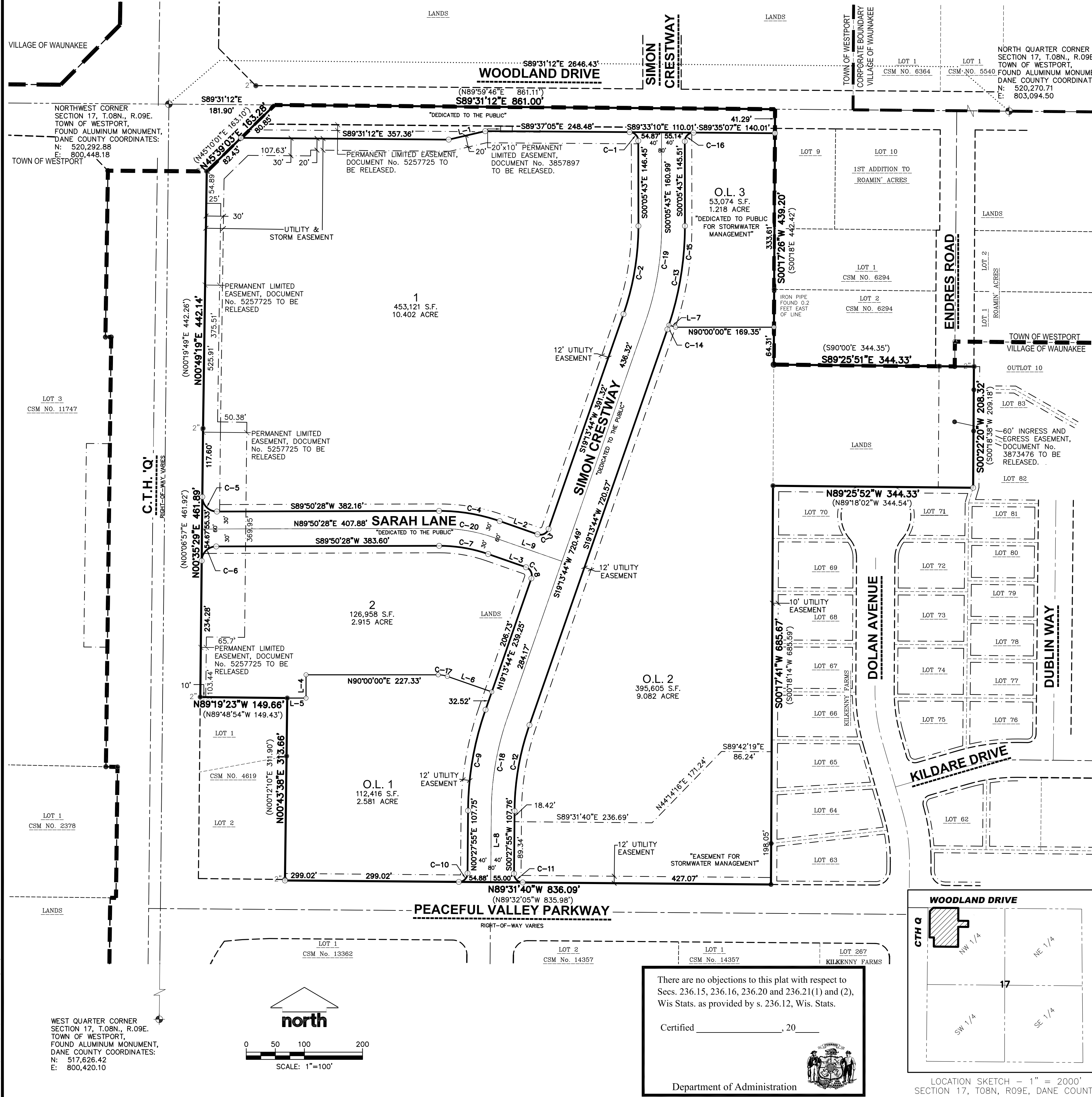
JSD PROFESSIONAL SERVICES, INC.
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
(608) 848-5060

JSD Professional Services, Inc.
• Engineers • Surveyors • Planners

PROJECT NO: 17-8080	SURVEYED BY: -
FILE NO: O-*	DRAWN BY: CJO
FIELDBOOK/PG: -	CHECKED BY: JK
SHEET 1 OF 1	APPROVED BY: TJB

WOODLAND CREST

PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 08 NORTH, RANGE 09 EAST, VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN



LEGEND

- GOVERNMENT CORNER
- 1 1/4" x 30" REBAR SET (4.30 LBS/LF)
- 3/4" x 24" REBAR SET (1.50 LBS/LF)
- 1" IRON PIPE FOUND
- 2" IRON PIPE FOUND
- PK/MAG NAIL FOUND
- 1/4" REBAR FOUND
- 3/4" REBAR FOUND
- RIGHT-OF-WAY LINE
- SECTION LINE
- PROPERTY LINE
- EASEMENT LINE
- EDGE OF PAVEMENT
- CONCRETE CURB & GUTTER
- EDGE OF GRAVEL
- EDGE OF WOODS OR BRUSH
- PLAT BOUNDARY
- PLAT RIGHT-OF-WAY
- PLAT LOT LINE
- PLAT CENTERLINE
- CHORD LINE
- CENTERLINE
- UTILITY EASEMENTS - NO POLES OR BURIED CABLES ARE TO BE PLACED SUCH THAT THE INSTALLATION WOULD DISTURB ANY SURVEY STAKE OR OBSTRUCT VISION ALONG ANY LOT LINE OR STREET LINE.
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NOTES

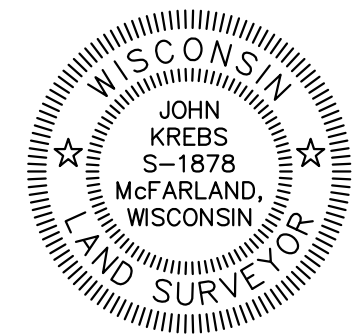
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- CROSS ACCESS RIGHTS ARE RESERVED OVER OUTLOT 1 FOR THE FUTURE DEVELOPMENT OF LOTS 1 AND 2 OF CERTIFIED SURVEY MAP NO. 4619.

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD	CHORD BEARING	TAN. BEARING IN	TAN. BEARING OUT
C-1	23.44'	15.00'	14.88	89°31'23"	21.12'	S44°51'24"E	S89°37°06"E	S00°05'43"E
C-2	154.35'	460.00'	77.91	19°13'29"	153.62'	S09°36°59"W	S00°00°15"W	S19°13'44"W
C-3	23.56'	15.00'	15.00	90°00'00"	21.21'	S64°13'44"W	S19°13'44"W	N70°46'16"W
C-4	106.25'	314.00'	53.64	19°23'16"	105.74'	N80°27°54"W	N70°46'16"W	S89°50'28"W
C-5	39.60'	25.00'	25.33	90°45'01"	35.59'	N44°47'02"W	S89°50'28"W	N00°35'29"E
C-6	38.94'	25.00'	24.67	89°14'59"	35.12'	N45°12'58"E	S00°35'29"W	S89°50'28"W
C-7	85.95'	254.00'	43.39	19°23'16"	85.54'	S80°27°54"E	S89°50'28"W	N70°46'16"W
C-8	23.56'	15.00'	15.00	90°00'00"	21.21'	S25°46'16"E	N70°46'16"W	N19°13'44"E
C-9	176.88'	527.05'	89.28	19°13'44"	176.05'	S09°50°49"W	N19°27°41"E	N00°13'58"E
C-10	23.56'	15.00'	15.00	90°00'25"	21.21'	S45°28°08"W	N00°27°55"E	S89°31'40"E
C-11	23.56'	15.00'	15.00	89°59'35"	21.21'	N44°31'52"W	S89°31'40"E	S00°27°55"W
C-12	150.68'	448.97'	76.05	19°13'44"	149.97'	S09°50°49"W	S19°27°41"W	S00°13'58"W
C-13	181.23'	540.00'	91.47	19°13'44"	180.38'	N09°36°52"E	S19°13'44"W	S00°00'00"E
C-14	7.97'	540.00'	3.98	0°50'44"	7.97'	S18°48'21"W	S18°22°59"W	S19°13'44"W
C-15	173.26'	540.00'	87.38	18°22'59"	172.52'	S09°11'30"W	S00°00'00"E	S18°22°59"W
C-16	23.70'	15.00'	15.13	90°30'36"	21.31'	N45°09'35"E	S00°05'43"E	N89°35'07"W
C-17	16.11'	48.00'	8.13	19°13'44"	16.03'	S80°23°08"E	N90°00'00"E	S70°46'16"E
C-18	163.94'	488.97'	82.74	19°12'34"	163.17'	S09°50°49"W	S19°27°06"W	S00°14'32"W
C-19	167.77'	500.00'	84.68	19°13'30"	166.98'	S09°36°58"W	S00°00°13"W	S19°13'44"W
C-20	96.10'	284.00'	48.51	19°23'16"	95.64'	S80°27°54"E	N89°50'28"E	S70°46'16"E

LINE TABLE

LINE	BEARING	DISTANCE
L-1	N76°57'13"E	64.40'
L-2	N70°46'16"W	68.89'
L-3	N70°46'16"W	68.89'
L-4	N00°00'00"E	40.02'
L-5	N90°00'00"E	32.30'
L-6	S70°46'16"E	80.92'
L-7	S71°37'01"E	12.00'
L-8	S00°27°55"W	122.68'
L-9	S70°46'16"E	123.89'



FEBRUARY 15, 2019

PREPARED FOR:

FORWARD DEVELOPMENT GROUP
161 HORIZON DRIVE, SUITE 101A
VERONA, WI 53593

PREPARED BY:

JSD PROFESSIONAL SERVICES, INC.
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
(608) 848-5060

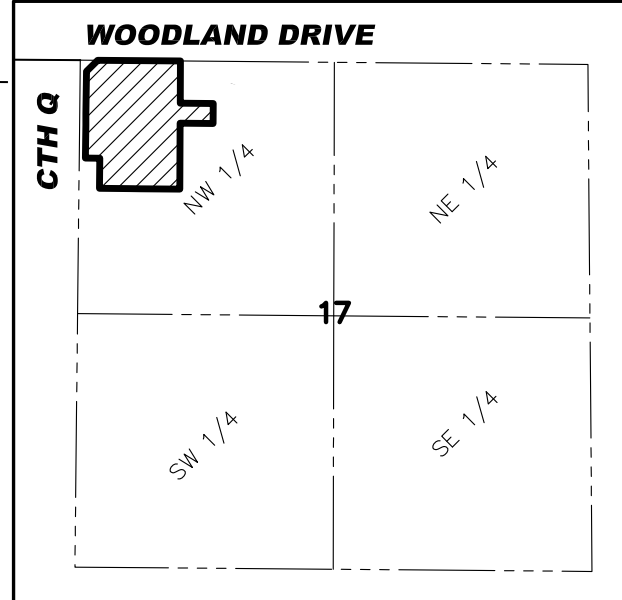
JSD Professional Services, Inc.
Engineers • Surveyors • Planners

PROJECT NO: 17-8080	SURVEYED BY: CJO/LJB/ZMR
FILE NO: 0-*	DRAWN BY: JKC/CJO
FIELDBOOK/PG: -	CHECKED BY: TJB
SHEET 1 OF 2	APPROVED BY: TJB

There are no objections to this plat with respect to
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),
Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration



LOCATION SKETCH - 1" = 2000'
SECTION 17, T08N, R09E, DANE COUNTY

WOODLAND CREST

PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 08 NORTH, RANGE 09 EAST, VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, JOHN KREBS, WISCONSIN PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT IN FULL COMPLIANCE WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATE STATUTES AND THE LAND DIVISION AND SUBDIVISION REGULATION OF THE DANE COUNTY CODE OF ORDINANCES, AND BY THE DIRECTION OF FDG-WOODLAND CREST, LLC, OWNERS, I HAVE SURVEYED, DIVIDED AND MAPPED THE PLAT OF "WOODLAND CREST" IN THE VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN, AND THAT SUCH PLAT CORRECTLY REPRESENTS ALL EXTERIOR BOUNDARIES, AND THE SUBDIVISION OF THE LANDS THEREOF, DESCRIBED AS FOLLOWS:

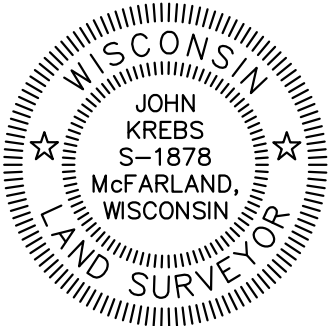
PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 8 NORTH, RANGE 9 EAST, TOWN OF WESTPORT, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 17; THENCE SOUTH 89 DEGREES 31 MINUTES 12 SECONDS EAST ALONG THE NORTH LINE OF SAID SECTION 17 A DISTANCE OF 181.90 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 31 MINUTES 12 SECONDS EAST ALONG SAID NORTH LINE, 861.00 FEET TO THE NORTHERLY EXTENSION OF THE WEST LINE OF THE 1st ADDITION TO ROAMIN' ACRES; THENCE SOUTH 00 DEGREES 17 MINUTES 26 SECONDS WEST ALONG SAID WEST LINE, 439.20 FEET TO THE SOUTHWEST CORNER OF LOT 2 OF CERTIFIED SURVEY MAP No. 6294, AS RECORDED IN VOLUME 30, ON PAGE 240 AND 241, AS DOCUMENT No. 2241244; THENCE SOUTH 00 DEGREES 22 MINUTES 20 SECONDS WEST, 208.32 FEET TO THE NORTHWEST CORNER OF LOT 70, KILKENNY FARM; THENCE SOUTH 00 DEGREES 17 MINUTES 41 SECONDS WEST, 685.67 FEET; THENCE NORTH 89 DEGREES 31 MINUTES 40 SECONDS WEST, 836.09 FEET; THENCE NORTH 00 DEGREES 43 MINUTES 38 SECONDS EAST, 313.66 FEET TO THE NORTHEAST CORNER OF LOT 1 OF CERTIFIED SURVEY MAP No. 4619, AS RECORDED IN VOLUME 20, ON PAGE 166, AS DOCUMENT No. 1874286; THENCE NORTH 89 DEGREES 19 MINUTES 23 SECONDS WEST ALONG THE NORTH LINE OF SAID LOT 1 A DISTANCE OF 149.66 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF COUNTY TRUNK HIGHWAY 'Q'; THENCE NORTH 00 DEGREES 35 MINUTES 29 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 461.89 FEET; THENCE NORTH 00 DEGREES 49 MINUTES 19 SECONDS WEST ALONG SAID RIGHT-OF-WAY LINE, 442.14 FEET; THENCE NORTH 45 DEGREES 39 MINUTES 03 SECONDS EAST, 163.28 FEET TO THE POINT OF BEGINNING.

SAID DESCRIBED PARCEL OF LAND CONTAINS 1,254,699 SQUARE FEET OR 28.804 ACRES.

JOHN KREBS, S-1878
PROFESSIONAL LAND SURVEYOR

DATE



CORPORATE OWNER'S CERTIFICATE

FDG-WOODLAND CREST, LLC, A LIMITED LIABILITY COMPANY DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID LIMITED LIABILITY COMPANY HAS CAUSED THE LANDS DESCRIBED ON THIS PLAT TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED HEREON, AND DOES FURTHER CERTIFY THAT THIS PLAT IS REQUIRED BY S.236.10 OR S. 236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

STATE OF WISCONSIN-DEPARTMENT OF ADMINISTRATION
VILLAGE BOARD OF THE VILLAGE OF WAUNAKEE

IN WITNESS WHEREOF, THE SAID FDG-WOODLAND CREST, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY DAVE M. JENKINS, IT'S MANAGING MEMBER, AND ITS CORPORATE SEAL TO BE HEREUNTO AFFIXED ON THIS DAY OF _____, 2019.

FDG-WOODLAND CREST, LLC,

DAVE M. JENKINS
MANAGING MEMBER

STATE OF WISCONSIN }ss
COUNTY OF DANE }ss

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2019, THE ABOVE NAMED DAVE M. JENKINS, MANAGING MEMBER OF THE ABOVE NAMED FDG-WOODLAND CREST, LLC,, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN

MY COMMISSION EXPIRES

CONSENT OF MORTGAGEE

THE BANK OF CROSS PLAINS, MORTGAGEE OF PART OF THE ABOVE DESCRIBED LAND, HEREBY CONSENTS TO THE SURVEYING, DIVIDING, MAPPING AND DEDICATION OF THE LAND DESCRIBED ON THIS PLAT, AND DOES HEREBY CONSENT TO THE ABOVE CERTIFICATE OF FDG-WOODLAND CREST, LLC, AS AN OWNER.

WITNESS THE HAND AND SEAL OF THE BANK OF CROSS PLAINS, MORTGAGEE, THIS _____ DAY OF _____, 2019.

IN THE PRESENCE OF:

(SIGN NAME HERE)

(PRINT NAME AND TITLE HERE)

STATE OF WISCONSIN }ss
COUNTY OF DANE }ss

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2019, THE ABOVE NAMED OFFICER OF THE ABOVE NAMED _____, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN

MY COMMISSION EXPIRES

VILLAGE OF WAUNAKEE APPROVAL CERTIFICATE

"RESOLVED THAT THIS PLAT OF "WOODLAND CREST", BEING LOCATED IN PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 08 NORTH, RANGE 09 EAST, VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN, BE AND THE SAME, IS HEREBY APPROVED AND FURTHER THAT THIS RESOLUTION PROVIDES FOR THE ACCEPTANCE OF THOSE LANDS AND RIGHTS DEDICATED BY SAID PLAT OF "WOODLAND CREST", TO THE VILLAGE OF WAUNAKEE FOR PUBLIC USE."

I, CAITLIN STENE, DO HEREBY CERTIFY THAT I AM THE DULY APPOINTED, QUALIFIED AND ACTING VILLAGE CLERK OF THE VILLAGE OF WAUNAKEE, AND THAT THIS PLAT WAS APPROVED BY THE VILLAGE BOARD OF THE VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN, AND DO FURTHER CERTIFY THAT THE FOREGOING IS A TRUE COPY OF THE RESOLUTION TO THAT EFFECT ADOPTED BY SAID VILLAGE BOARD ON THE _____ DAY OF _____, 2019.

CAITLIN STENE, VILLAGE CLERK
VILLAGE OF WAUNAKEE

DATE

CERTIFICATE OF VILLAGE TREASURER

STATE OF WISCONSIN }ss
DANE COUNTY

I, STEPHEN KRAUS, BEING THE DULY APPOINTED, QUALIFIED AND ACTING TREASURER OF THE VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN, DO HEREBY CERTIFY THAT, IN ACCORDANCE WITH THE RECORDS IN MY OFFICE, THERE ARE NO UNPAID TAXES OR SPECIAL ASSESSMENTS AFFECTING ANY OF THE LANDS INCLUDED WITHIN THIS PLAT OF "WOODLAND CREST".

AS OF THIS _____ DAY OF _____, 2019.

STEPHEN KRAUS, VILLAGE TREASURER,
VILLAGE OF WAUNAKEE

CERTIFICATE OF COUNTY TREASURER

I, ADAM GALLAGHER, BEING THE DULY APPOINTED, QUALIFIED, AND ACTING TREASURER OF THE COUNTY OF DANE, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNREDEEMED TAX SALES AND UNPAID TAXES OR SPECIAL ASSESSMENTS AS OF THE _____ DAY OF _____, 2019, AFFECTING THE LANDS INCLUDED IN THE PLAT OF "WOODLAND CREST".

ADAM GALLAGHER
TREASURER, DANE COUNTY

DATE

CERTIFICATE OF DANE COUNTY ZONING AND LAND REGULATION COMMITTEE

THIS PLAT KNOWN AS "WOODLAND CREST" IS HEREBY APPROVED BY THE DANE COUNTY ZONING AND LAND REGULATION COMMITTEE THIS _____ DAY OF _____, 2019.

JERRY BOLLIG, CHAIRPERSON
DANE COUNTY ZONING AND LAND REGULATION COMMITTEE

CERTIFICATE OF REGISTER OF DEEDS

RECEIVED FOR RECORDING THIS _____ DAY OF _____, 2019, AT _____ O'CLOCK, _____ M. AND RECORDED IN VOLUME _____ OF PLATS ON PAGES _____ THROUGH _____ AS DOCUMENT NUMBER _____.

KRISTI CHLEBOWSKI
REGISTER OF DEEDS, DANE COUNTY

FEBRUARY 15, 2019

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20 _____

Department of Administration



PREPARED FOR:

FORWARD DEVELOPMENT GROUP
161 HORIZON DRIVE, SUITE 101A
VERONA, WI 53593

PREPARED BY:

JSD PROFESSIONAL SERVICES, INC.
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
(608) 848-5060

JSD Professional Services, Inc.
• Engineers • Surveyors • Planners

PROJECT NO: 17-8080	SURVEYED BY: JLB/ZMB
FILE NO: 0-*	DRAWN BY: JKC/CJD
FIELDBOOK/Pg: -	CHECKED BY: TJB
SHEET 2 OF 2	APPROVED BY: TJB



WAUNAKEE/WESTPORT JOINT PLAN COMMISSION SUMMARY SHEET

MEETING DATE: 03/12/2019

ITEM: NEW BUSINESS

TITLE: Public Hearing and Discussion/Action on an Amendment to the Kilkenny Commons General Development Plan for Setbacks

ISSUE SUMMARY: Attached is a GDP amendment to change setbacks due to utility conflicts.

STAFF RECOMMENDATION: Staff recommends approval.

RECOMMENDED MOTION: Motion to recommend approval of the GDP, subject to final adjustments approved by the Utility Manager, Village Attorney and Village Engineer.

ATTACHMENT(S): GDP Amendment

**SECOND AMENDMENT TO GENERAL DEVELOPMENT PLAN FOR THE
KILKENNY FARMS DEVELOPMENT, INCLUDING THE PLAT OF KILKENNY
FARMS, VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN, TO BE ZONED
IN THE PLANNED UNIT DEVELOPMENT (PUD) DISTRICT**

The General Development Plan for the Kilkenny Farms Development, including the Plat of Kilkenny Farms, Village of Waunakee, Dane County, Wisconsin, is hereby amended, as follows:

1. Lands Affected by this Second Amendment to General Development Plan.

The real property affected by this Second Amendment to General Development Plan consists of the following: Lot 2, Certified Survey Map No. 14357, Village of Waunakee, Dane County, Wisconsin.

2. Second Amendment to General Development Plan.

Exhibit A to the General Development Plan relating to Setbacks for the Commercial Lots in the Kilkenny Farms Development, known as Kilkenny Commons, shall be amended, as follows:

The paragraph titled “Along Peaceful Valley Parkway:” shall be replaced with the following language:

“Buildings: 25 feet (except that with respect to Lot 2, Certified Survey Map No. 14357, Village of Waunakee, Dane County, Wisconsin, the building setback requirement shall be 10 feet.)”

“Parking Lot Pavement: 6 feet”

3. Miscellaneous Provisions. Except as modified herein, the General Development Plan, subject to any prior amendments, shall remain in full force and effect without other change.

Dated this _____ day of December, 2018.

KILKENNY FARMS, LLC

By: _____
Donald C. Tierney, Manager

By: _____
Joanne K. Tierney, Manager

STATE OF WISCONSIN)

) SS.

COUNTY OF DANE)

Personally came before me this ____ day of December, 2018, the above-named Donald C. Tierney and Joanne K. Tierney, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin

My Commission: _____

CERTIFICATE OF APPROVAL

The aforesaid Second Amendment to General Development Plan was approved by the Village Plan Commission of the Village of Waunakee on December_____, 2018, by the Joint Plan Commission of the Village of Waunakee and the Town of Westport on December _____, 2018, and by the Village Board of the Village of Waunakee on January _____, 2019.

Dated this ____ day of _____, 2019.

Julee Helt, Village Clerk

Exhibit A

to the Amdendment to General Development Plan

DRAFT

Zone #	Lot #	Size (SF and AC)	Gross Floor Area (Max) ^c <small>quantities reflect 1st floor only</small>	Total Parking Spaces	Parking Spaces per 1,000 SF	Open Space	Floor Area Ratio
1	2,3	277,783 SF 6.38 AC	64,255 SF	308 ^(b)	4.79	66,840 SF	0.23
2	264 ^(f)	220,544 SF 5.06 AC	41,868 SF	205 ^(b)	4.90	57,761 SF	0.19
3	263 ^(e)	226,761 SF 5.21 AC	46,200 SF	199	4.31	45,325 SF	0.20
4	262	182,822 SF 4.20 AC	5,400 SF	137	25.37	151,953 SF	0.03
5	265, 266 ^(g)	820,570 SF 18.84 AC	133,158 SF	569 ^(a,b)	4.27	449,940 SF	0.16
6	4	147,847 SF 3.39 AC	4,042 SF	40	9.90	28,687 SF	0.03
Total		1,876,327 SF 43.07 AC	294,923 SF	1,458 ^(b)	4.94	900,488 SF	0.16

- (a) Includes parking under some of the buildings
- (b) On-street parking stalls on internal roadways are included
- (c) Buildings not to exceed 20,000 SF except grocery store in Zone 5 (20,000-39,000 SF) and Zone 1(45,000-50,000 SF)
- (d) Grocery store in Zone 1 must meet provision of Sec. 106-20.(b)(1)-(4) of the Waunakee Zoning Ordinance.
- (e) Denotes Lot 263 is broken up into CSM 14532 Lot 1, Lot 2, and Lot 3
- (f) Denotes Lot 264 is broken up into CSM 14255 Lot 1 and CSM 14673 Lot 1, Lot 2, and Lot 3
- (g) Denotes Lot 266 is broken up into CSM 14357 Lot 1, Lot 2, Lot 3, and Lot 4

Proposed Use

- Ⓐ SSM Health Dean Medical Group

Ⓑ Grocery/Retail

Ⓒ Dental Office

Ⓓ Office/Retail

Ⓔ Church

Ⓕ Animart

Ⓖ Waunakee Community Bank

Ⓗ Commercial/Retail/Restaurant
- Ⓘ Meffert Oil

Ⓙ 3 Story Mixed Use

Ⓚ Multi-Family Housing

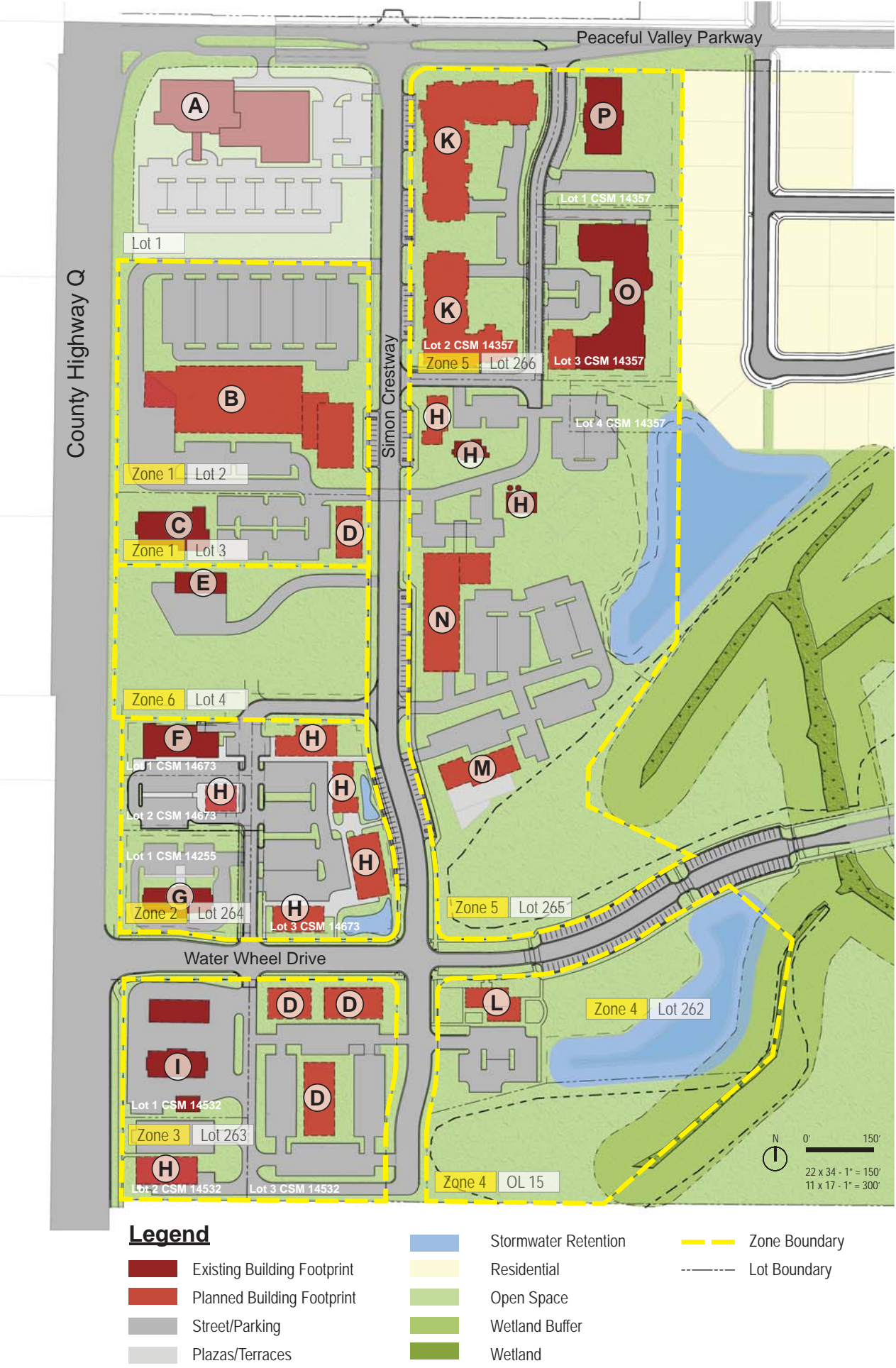
Ⓛ Agricommerce/Retail

Ⓜ Restaurant

Ⓝ Boutique Hotel

Ⓞ At Home Again Senior Living

Ⓟ Rainbow Child Care





WAUNAKEE/WESTPORT JOINT PLAN COMMISSION SUMMARY SHEET

MEETING DATE: 03/12/2019

ITEM: NEW BUSINESS

TITLE: Discuss and Take Action on Specific Implementation Plan for The Laurel at Kilkenny Multi-Family Development

ISSUE SUMMARY: Attached for your consideration is a proposal for an 82 unit complex consisting of 3 3-story buildings.

STAFF RECOMMENDATION: Table the item as a CU will be required for the proposed height. Staff would also request that the applicant revise the plan based on comments from the Village Planner.

RECOMMENDED MOTION: No action at this time as a CU will be required for the proposed height.

ATTACHMENT(S): SIP Submittal and Staff Comments



February 28, 2019

Mr. Kevin Even, P.E.
Village of Waunakee
500 West Main Street
P.O. Box 100
Waunakee, WI 53597

Re: The Laurel Multi-Family Apartments
Site Plan
Village of Waunakee (Village)

Dear Kevin,

We received site and utility plan drawings for a proposed multi-family building site in the Kilkenny Farms development. The Laurel is proposed at the southeast corner of Peaceful Valley Parkway and Simon Crestway. We have the following comments on the drawings.

Parking and Circulation

A single access point to the development is provided to Connery Cove. Access to Connery Cove is preferable to having access to Simon Crestway or Peaceful Valley Parkway. There is a mixture of below ground and surface parking that is easily accessible from the access drive.

The applicant provides 150 parking stalls (combined surface and below ground) for the 82 units. Using the Village's parking ordinance formula of two stalls per dwelling unit, 162 stalls would be required. **The applicant will need to request a waiver to the parking regulations if the configuration is to be approved.**

For the Plan Commissions consideration, we list below several other parking code formulas for comparison. The Institute of Transportation Engineers (ITE) formulas would require 1.4 stall per unit, or 114 total stalls for this project. The Village of Shorewood Hills ordinance would require 141 stalls for this project (1.25 stalls per single bedroom unit, 2 stalls per two-bedroom units and above). The City of Middleton ordinance would require 149 stalls (1.5 stalls per single bedroom, 2 stalls per two-bedroom units and above) for this project.

Lighting for the parking lot uses LED fixtures that project light downward to the pavement. The light levels produced at the lot lines appear to be within limits allowed by Village code.

Site and Utility Design

The applicant uses retaining walls throughout the site to make up grade differences between buildings, drives, and parking lots. Many of the walls are over 6 feet, some as tall as 10 feet. The Villages code requires that no walls be taller than 6 feet, and that multiple shorter walls be used to make up taller walls, using a terrace between walls. The applicant should incorporate shorter, stepped walls to achieve the topographic blending required by the site. Protective railings should be provided for all walls for fall protection. The final plans should show top and bottom of wall spot elevations where not easily identifiable by the contours on the drawings. The driveway that extends to the lower level parking garage

Mr. Kevin Even, P.E.
Village of Waunakee
Page 2
February 28, 2019

of the South Building is indicated to 17 percent, which is excessive. It is suggested that slopes of 10 percent not be exceeded. Also, note that the storm sewer that drains the area outside of the South Building garage door could surcharge given that the downstream storm manhole rim elevation is higher than the trench drain elevation outside the garage door. Placement of a backflow prevention in this storm sewer is suggested.

Lawn slopes east of the West Building are sloped at a 3:1 horizontal to vertical ratio. This lawn will be difficult to mow. We recommend a wall be located there, or some other treatment that will make maintenance of that area safer.

The applicant should provide a sidewalk along the perimeter of the site. The site currently lacks sidewalk on the south, east, and north sides of the lot.

Sewer and water services are provided to the site from mains on Connery Cove, and from Simon Crestway. The services appear to be adequate for their use. Storm sewers serving the site connect to inlets in the streets, which route the water to regional stormwater management basins. The plan provides two areas for infiltration on the site. Calculations provided show that the applicant is meeting Village ordinance requirements for stormwater infiltration.

There appears to be the potential for conflicting utility pipe locations in a few areas. First, we recommend the applicant adjust the location of the stormwater manhole S-1 to be at least 8 feet clear of the sanitary sewer lateral in the area. The applicant should also confirm the depth of buried cables along Simon Crestway and Peaceful Valley Parkway where storm sewer connections cross those facilities.


There is no area provided for waste and recycling containers. The applicant should indicate how this will be handled.

The applicant proposes a ground sign at the northwest corner of the site. This sign structure appears to be positioned within the setback area and is too close to the intersection. An alternative location should be provided. The sign itself is 9 feet tall, which exceed the maximum 8-foot requirement of the code. The square footage of the sign panel also appears to be too large. The panel is 51 square feet, where code requires a maximum of 32 square feet for ground signs in multi-family zoning areas. The applicant should work with the Village on an appropriate size and location for the sign.

Finally, our understanding is that others will be reviewing and commenting on the plan's conformance with the landscaping requirements, General Development Plan, and other zoning type requirements.

Sincerely,

STRAND ASSOCIATES, INC.®



R. Kent Straus, P.E.

c: Todd Schmidt, Administrator, Village of Waunakee
Tim Herlitzka, General Manager, Village of Waunakee Utilities
Bryan Kleinmeier, Stafford Rosenbaum
Ed Freer



To: Kevin Even
Tracy Meinholz
From: Randy Dorn
Dave Dresen
Tim Herlitzka
RE: The Laurel at Kilkenny – GDP Amendment and SIP
Date: March 1, 2019

This memo provides comments for the Laurel at Kilkenny – GDP Amendment and SIP submittal.

- Recording of the final easement area around the electric facilities on the northwest portion of the site remains an open item.
- We would like to review the final plans for the monument sign planned for the northwest portion of the site.
- We would like to know the estimated electric load and suggest the applicant contact Dave Dresen, Electric Superintendent, at 575-0462.
- The utility offers a free New Construction Design Program for prospective building owners and developers, design professionals, and construction contractors to deliver high performance buildings that provide improved energy efficiency, peak load reduction, improved systems performance, and better comfort. Energy savings are targeted by simulating incremental improvements of efficiency in lighting, HVAC, and other building systems. The program seeks to capture synergistic energy savings by encouraging the design and construction of buildings as integrated systems. We encourage the applicant to contact Clint Cry, our energy services representative at (608) 825-1756, to discuss details about the program. Program information can be found here - https://www.waunakeeutilities.com/sites/waunakeeutilities.com/files/Waunakee_NewConstDesignAssist_CutSheet_F_EconDev.pdf

To: Kevin Even, Village of Waunakee
From: Jason Valerius, AICP
Subject: Laurel at Kilkenny, PIP and GDP amendment
Date: March 1, 2019

Requests

First applicant (Steve Brown Apartments) is requesting approval of a Precise Implementation Plan for Lot 2 of CSM No. 14357, part of Zone 5 of the Kilkenny Farms GDP, located east of Simon Crestway and south of Peaceful Valley Parkway. The subject parcel is 154,206 SF (3.54 acres). The proposed PIP features three residential buildings totaling about 136,155 SF; 82 units with a mix of 1-, 2-, and 3-bedroom units (147 total bedrooms); and 150 parking spaces (102 underground, 48 surface).

A separate request from Kilkenny Farms, LLC would reduce the required building setback along Peaceful Valley Parkway, just for this site, from 25 feet to 10 feet.

Applicable Zoning & Development Code Regulations

- Kilkenny Farms GDP, as adopted March 18, 2013 and as amended September 10, 2018
- Chapter 133, Article III, Division 9 – R-5 Multifamily Residential District
- Chapter 133, Article VII – Traffic Visibility, Loading, Parking and Access

Consistency with the Village Comprehensive Plan

The Comprehensive Plan identifies this site as commercial. Land uses in commercial areas in the plan “should be uses permitted in the Village’s C-1 and C-2 Districts.” The C-1 district allows for multifamily housing as a conditional use. The Village already approved an amendment to the Kilkenny Farms general development plan (GDP) in 2018 to allow multifamily residential use on this site.

The only inconsistency I observe between the proposal and the comprehensive plan is regarding sidewalks: “Policy 2.2 (page 57): Wherever medium- to high- density residential is proposed, sidewalks should be installed connecting that site to other uses and areas.” As described later in this memo, this site does not have enough sidewalks.

Consistency with the Village Zoning Ordinance

The Kilkenny Farms GDP addresses some aspects of the development, and is silent on others. Items not addressed in the GDP default to the Village’s zoning ordinance.

Land Use

The September 2018 GDP amendment identifies this site for multifamily housing.

MEMO

March 1, 2019

Building Area

The September 2018 GDP amendment indicates a maximum first-floor area of 20,000 SF per building; the maximum proposed is 18,368. This proposal will use 34% of the total 133,158 SF building footprint allotment for Area 5.

Building Height

The GDP does not address height. The R-5 Multifamily Residential District allows for a maximum height of 45 feet for principal buildings, or up to 55 feet by conditional use permit with a few specific limitations on the square footage and street setback for height above 45 feet. The proposed buildings all feature a parking level (10 feet floor-to-floor), three residential floors (12 ft, 11 ft, 9 ft), and a pitched roof (23 feet eave to peak, counted toward building height as 11.5 ft). Because of the sloping site the parking level is completely underground on some sides (resulting in a building height of 43.5 feet) and exposed to various extents on others (resulting in averaged heights up to about 52 feet). The building heights will require a conditional use permit. The only part of the structure above 45 feet is the roof, and the roof complies with the various setback, area and use conditions in the ordinance.

Building Setbacks

The adopted GDP allows building setbacks of 25 feet along Peaceful Valley Parkway and 15 feet along other streets. Along the south and east sides of this site the proposed roads are private roads rather than public right-of-way – the only setback requirement is 15 feet from the property line, which is in the middle of those roads. The proposed buildings are at least 15 feet from Simon Crestway, as required, more than the required 25 feet from Peaceful Valley Parkway, and roughly 25 feet from the curb of the proposed private streets to the south and east.

The request from Kilkenny Farms, LLC to amend the GDP to allow a building setback of 10 feet appears not to be necessary. Note that Peaceful Valley Parkway was constructed close to the south edge of the right-of-way, no more than 8 feet away, and without any path or sidewalk.

Sidewalks

The GDP indicates that sidewalks and trails will be planned at the PIP stage of development. There is an existing 8-foot sidewalk in the right-of-way along Simon Crestway. The proposed site plan includes no other sidewalks around the edges of the site. There are three connections between the buildings and off-site walking routes: at the west entrance of the south building, a sidewalk to Simon Crestway between the west and north buildings, and from the east entrance of the north building out to the street corner. Only the west entrance of the south building offers a barrier-free connection to the street; the other two walking routes include steps. The provisions for pedestrian access to, through, and past this site are inadequate. Sidewalks on all four sides of the site and ADA-compliant connections to those sidewalks are preferred. Note that Peaceful Valley Parkway was constructed without sidewalk on the south side and also without leaving enough space for a sidewalk. Adding a sidewalk along that north side of the project would improve access along this block for all neighborhood residents but would require some additional right-of-way dedication to achieve it.

Parking

The GDP requires 569 parking spaces in area 5, including under building and on-street spaces, but has no requirements specific to this site. The proposed development has 102 underground spaces and 48 surface spaces (150 total). The proposed private roads are 24 feet wide and no on-street parking is proposed or

MEMO

March 1, 2019

counted. The Village's current parking ordinance requires 2 stalls for every dwelling unit, whereas the proposed development offers 1.83 parking spaces per unit and 1.02 spaces per bedroom. The Plan Commission may grant exceptions to the parking standards if there is evidence of lesser need. The mix of proposed unit sizes results in an average of 1.8 bedrooms per unit. The Village has consented to reductions in required parking for several projects in recent years. There have been discussion about revising the Village's parking standards to require less parking. One model is the City of Middleton ordinance, which requires 1.5 parking spaces for a one-bedroom unit and 2 for 2+ bedrooms. By that ordinance, this development would be required to provide 149 parking spaces, and would be compliant with the ordinance.

MSA Recommendation

I recommend approval of the proposed PIP with the following conditions:

- 1) Approve a conditional use permit for increased building height up to 55 feet, and consistent with the other standards in the ordinance.
- 2) Approve an exception to the parking standards based on 1.5 spaces per one-bedroom unit and 2.0 spaces for other units.
- 3) Add sidewalks around the east and south sides of the site, and show ADA-compliant connections from every building to the west sidewalk (enabling access to commercial uses west of this site). Add pedestrian connections from the buildings and/or through the parking lots to the east sidewalk. A sidewalk is also encouraged along Peaceful Valley Parkway, recognizing that it likely requires additional right-of-way to achieve.
- 4) Do not approve the requested GDP amendment to allow setback reduction from 25 feet to 10 feet along Peaceful Valley Parkway. It would be preferable to keep this relatively tall building further back from the street. Any dedication of additional right-of-way to provide a sidewalk in this location could be coupled with a corresponding reduction in the required street setback.

Sincerely,
MSA Professional Services, Inc.



Jason Valerius, AICP
Consultant Planner

28 FEBRUARY 2019

Ed Freer
LANDSCAPE ARCHITECT

ED FREER ,RLA
457 Orchard Drive
Madison, Wisconsin 53711

608.320.4567
efreer2016@gmail.com

MEMORANDUM

To: Kevin Even
CC: Tracy Meinholz

RE: Steve Brown Laurel Multi Family Residential
SIP Submittal Review

Project Description:

The applicant is proposing a Multi-Family Residential project located in Kilkenny Farms at the corner of Peaceful Valley Parkway and Simon Crestway. The project offers a range of dwelling units from one bedroom to three-bedroom units. The residents are served by both interior structured and on-site surface parking. The site is developed with an east to west grade change of approximately 18 feet. The storm water will be managed both on site and as part of the designed regional management plan.

The proposed development consists of the construction of three structures that are 3 stories tall.

North Building	14,639 SF	30 DU
West Building	18,369 SF	28 DU
South Building	12,380 SF	24 DU

A. Site Utilization Summary:

Site Size: 3.54 acres [154,206 SF]

Building Footprints:	45,385 SF	(29%)
Impervious Surface:	111,076 SF	(72%)
Pervious Surface:	43,130 SF	(27%)

There appear to be no exterior service or dumpster enclosures.

All buildings provide pedestrian access either internally from the underground parking or at three primary entrances at grade internal at the interior of the site.

There are no major public pedestrian entrances to buildings or sidewalks from the Simon Crestway, Connery Cove or Peaceful Valley Parkway.

B. Consistency with the Kilkenny Commons GDP – [September]

The proposed residential project appears to be consistent :

- a. Land Use
- b. Density of dwellings
- c. General location of buildings.

As in previous development proposals implementation of specific site of the GDP occurred through the SIP submittal process. This identified and resolved all site planning/design details, building orientation, grading, parking, architectural design, lighting, building access points and pedestrian circulation , landscape plans, site walls, sidewalks and site amenities.

Request for clarification : As part of this review it would be appreciated to provide some additional information regarding the applicants Laurel at Kilkenny SIP design intent in response to the Kilkenny Commons overall planning context .

Under the Original GDP, it was always intended that Simon Crestway have sidewalks and on street parking. This was to encourage walkability through the greater neighborhood, access to retail services, medical care, future office use, food and beverage, access to local trails, , local day care, access to schools and neighborhood recreational amenities. All of these would contribute to what would eventually become a vibrant neighborhood street and walkable destination.

Without floor plans and the location of more sidewalks please explain how the proposed project plans on providing pedestrian connections to the peripheral context and where you anticipate accessing both the site and buildings from the south, west and north. Current layout appears to very insular with 2/3's of the parking being in the building and the three entry doors located at higher grades internal to the site of the project. This perception is reinforced with the presence of large retaining walls and steep grades. A multi-family project of this density and critical mass of residents could dramatically contribute to the vitality of a neighborhood center which in turn would also attract more restaurants, coffee shops , neighborhood retail and outdoor life. I encourage that this be discussed and further clarified.

C. Parking Summary:

For overall parking ratios and code interpretation please see comments by Strand Associates.

Comments regarding parking distribution and access:

- a. There are 102 internal underground spaces
- b. There are 48 external surface spaces
- c. Per State recommendations, the project should be providing a ratio of 5 ADA compliant parking stalls out of the 150 parking spaces indicated. It is assumed that these are provided both internally and at surface lots.
- d. Please clarify the ADA access route for the handicapped stall at the south-east corner of the North Building , what entrance does this serve.
- e. Please explain the alignment and grades from the ADA stall north of the South Building to the adjacent sidewalk.

D. Architecture

- a. The proposed buildings are three story with architectural detailing and masonry materials that are compatible with the general neighborhood. . A variety of sloped roofs, a variety of heights and composed of simple ridge lines help reduce the mass of very large buildings.
- b. The residential scale could be enhanced with more emphasis on the entrances and perhaps providing additional entrances even if they were dedicated to private entries.
- c. The amount and scale of exposed foundation walls and treatment of the parking entrance doors should receive additional attention and resolution. [see Sheet A204]
- d. Please provide samples of the proposed materials and their finishes.
- e. For height interpretation please see MSA notes.

E. Signage

- a. The signage needs to be consistent with the Municipal signage code. [133-1033(c) Multi-family residential districts]

The proposed signage exceeds maximum allowable height of 8 feet and maximum size of 32 SF.

- b. Any lighting of the signage shall be consistent with Village code and honor night skies.

F. Lighting + Fencing

- a. New lighting is being proposed on buildings and in the parking lot.
- b. Any new lighting will need to comply with night sky guidelines.

G. Landscaping

- a. Please provide a Schedule for Landscape Points
- b. Site walls need to be scaled down and resolved to reduce massing and height. Verify that all proposed walls do not require railings due to vertical drops.
- c. Consider introducing more stepped walls with plantings and reducing side slopes of lawn areas. [current slopes are at 1/3 and create maintenance challenges]
- d. Reconsider woody plants around transformers and introduce more grasses. Verify utility locations and avoid maintenance and access issues.
- e. Consider providing more information explaining Top of Walls and Bottom of Walls on grading plans.
- f. Consider alternate treatment at the proposed end parking stalls. Current design does not accommodate door swings. Either modify plant material, enlarge stall width dimension or provide small 2-foot sidewalk.

g. Verify adequate clearance and reduce conflict of plantings and vehicular overhanging at perpendicular parking

H. Sidewalks

- a. Consider better internal sidewalks between the building and connecting to sidewalk systems connecting to the site perimeter. All streets should have sidewalk connections.
- b. Verify meeting ADA codes on the internal ramped sidewalk areas. Where the slope exceeds 5% provide appropriate railings and intermediate landings. There is a proposed ramped area designated at 8%.
- c. Resolve the interface of the two exterior ADA parking stalls and grade transitions to the connecting sidewalks.

Recommendation:

It is recommended that the project provide additional resolution of the items mentioned within this Memorandum before final approval is granted.

PRECISE IMPLEMENTATION PLAN

THE LAUREL AT KILKENNY

1102 SIMON CRESTWAY | WAUNAKEE, WI 53597

TABLE OF CONTENTS:

02	PROJECT OVERVIEW	18	EXISTING CONDITIONS PLAN	26	CONSTRUCTION DETAILS
03	EXISTING CONDITIONS	19	DEMOLITION PLAN	28	LANDSCAPE PLAN
04	BUILDING STATISTICS	20	CIVIL SITE PLAN	29	SITE LIGHTING
05	ARCHITECTURAL SITE PLAN	21	EROSION CONTROL PLAN		AND CUT SHEETS
06	3D VIEWS	22	GRADING DETAILS	31	STORMWATER MANAGEMENT
10	EXTERIOR ELEVATIONS	23	DETAILED GRADING DETAILS		SUMMARY
16	PREVIOUS PROJECTS	25	UTILITY PLAN	33	GEOTECHNICAL REPORT

Owner:
Steve Brown Apartments



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dseeley@stevebrownapts.com

Contractor:
Krupp General Contractors



Aaron Gundlach
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p. 608-260-7003
agundlach@kruppconstruction.com

Architect:
Brownhouse



Shane Fry
202 W. Gorham St.
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Civil/ landscape
Vierbicher

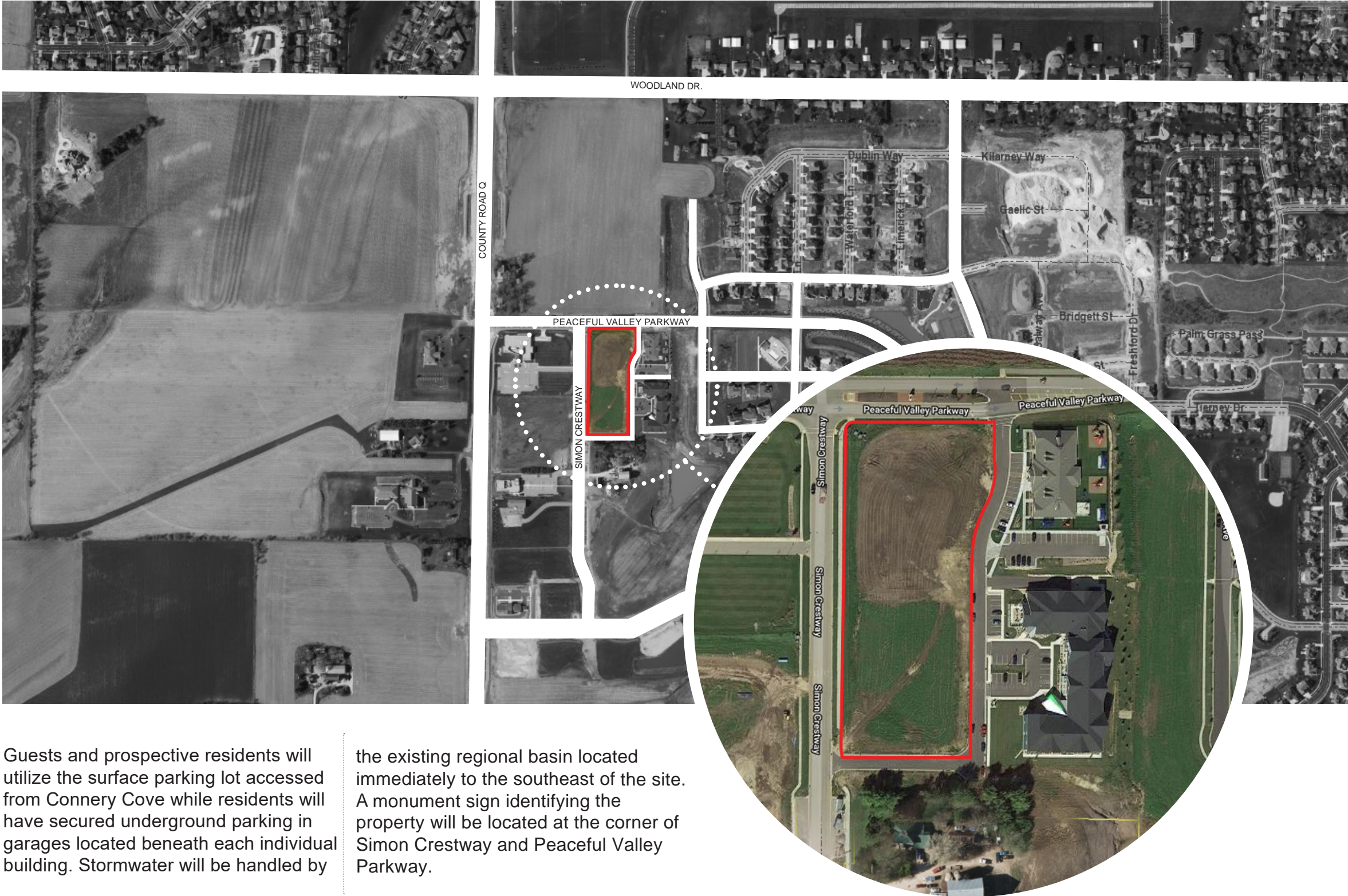


Joe Doyle & Suzanne Vincent
999 Fourier Drive #201
Madison, WI 53717
p. 608-821-3945
jdoy@Vierbicher.com
svin@Vierbicher.com

PROJECT OVERVIEW

Steve Brown Apartments is proposing a new multi-family development in the Kilkenny Farms neighborhood. The ~3.2 acre site is currently vacant and bounded by Simon Crestway to the west, Peaceful Valley Parkway to the north and Connery Cove to the east and south. This site is included in the Kilkenny Farms General Development Plan which was approved by the Village Board on the 17th of September 2018. We are extremely excited for this opportunity to deliver a great product for the Village of Waunakee and to join this community.

The development will include three, three-story buildings oriented to primarily front Simon Crestway. The exteriors of the buildings will showcase a mixture of brick and siding products with pitched roofs and multiple canopied entrances for residents and visitors. Each unit will include a private balcony which will be recessed into the primary facade of the building in order to create a more residential aesthetic. The buildings will include a mix of units and sizes ranging from 1-bedroom to 3-bedroom and 784sqft to 1585sqft. The units will be finished with high-end materials usually associated with condominiums or custom homes and in keeping with the level of aesthetic and quality of the established neighborhood. Property amenities will include a resident community room attached to the west building as well as a fitness room, dog grooming facility and an on-site office.



Guests and prospective residents will utilize the surface parking lot accessed from Connery Cove while residents will have secured underground parking in garages located beneath each individual building. Stormwater will be handled by

the existing regional basin located immediately to the southeast of the site. A monument sign identifying the property will be located at the corner of Simon Crestway and Peaceful Valley Parkway.

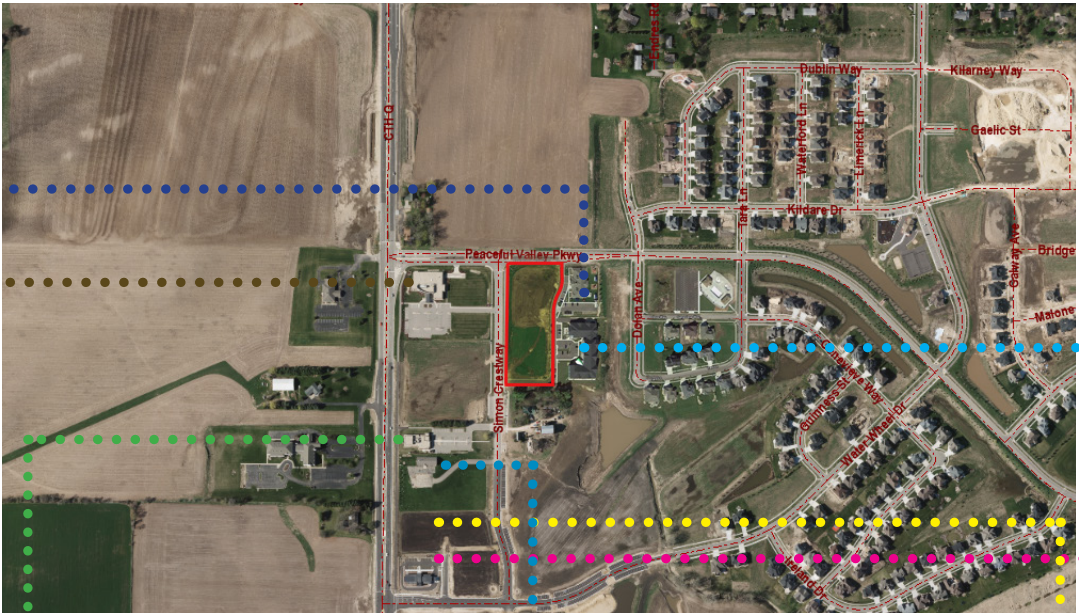
Source: © 2017 maps.ags.ruekert-mielke.com

EXISTING CONDITIONS



**RAINBOW
CHILD CARE CENTER**

**HOME AGAIN
ASSISTED LIVING**



**SSM HEALTH DEAN
MEDICAL GROUP**



**FIRST CHOICE
DENTAL**



**CHRISTIAN LIFE
ASSEMBLY OF GOD**



**ANIMART
PET STORE**



**WAUNAKEE
COMMUNITY BANK**

BUILDING STATISTICS

The residences will include three separate, 3-story buildings. The “north” building will include a 14,637sqft footprint and 30 units, the “west” building will include a 18,368sqft footprint and 28 units, while the “south” building will be slightly smaller at 12,380sqft and 24 units. All the three buildings will share amenities and include separate underground garages for secured resident parking. Adequate parking for guests and prospective residents will be provided via shared surface lots Additional statistical information for the project can be found in the following tables:

BUILDING STATISTICS:	NORTH BUILDING	WEST BUILDING	SOUTH BUILDING	TOTAL	UNITS
Total Site Area	---	---	---	154,206	SF
Building Footprint	14,637	18,368	12,380	45,385	SF
Lot Coverage Ratio	---	---		29.43%	SF
Pervious Surface Area	---	---		111,076	72.03%
Impervious Surface Area	---	---		43,130	27.97%
Number of Stories	3	3	3		

PARKING STATISTICS:	NORTH BUILDING	WEST BUILDING	SOUTH BUILDING	TOTAL
Underground Spaces	32 (2 HC)	43 (2 HC)	27 (2 HC)	102 (6 HC)
Surface Spaces	23 (1 HC)	25 (1 HC)	0	48 (2 HC)
Total Parking Spaces	55 (3 HC)	68 (3 HC)	27 (2 HC)	150 (8 HC)
Parking Spaces/Unit	1.83			
Parking Spaces/Bedroom	1.02			

UNIT MIX:	NORTH BUILDING	WEST BUILDING	SOUTH BUILDING	TOTAL
1-Bedroom	15	4	12	31
2-Bedroom	12	19	6	37
3-Bedroom	3	5	6	14
Total Number of Units	30	28	24	82

PARKING SPACES	UG	AG	
NORTH BUILDING	32	23	
WEST BUILDING	43	25	
SOUTH BUILDING	27	0	
TOTAL	102	48	150

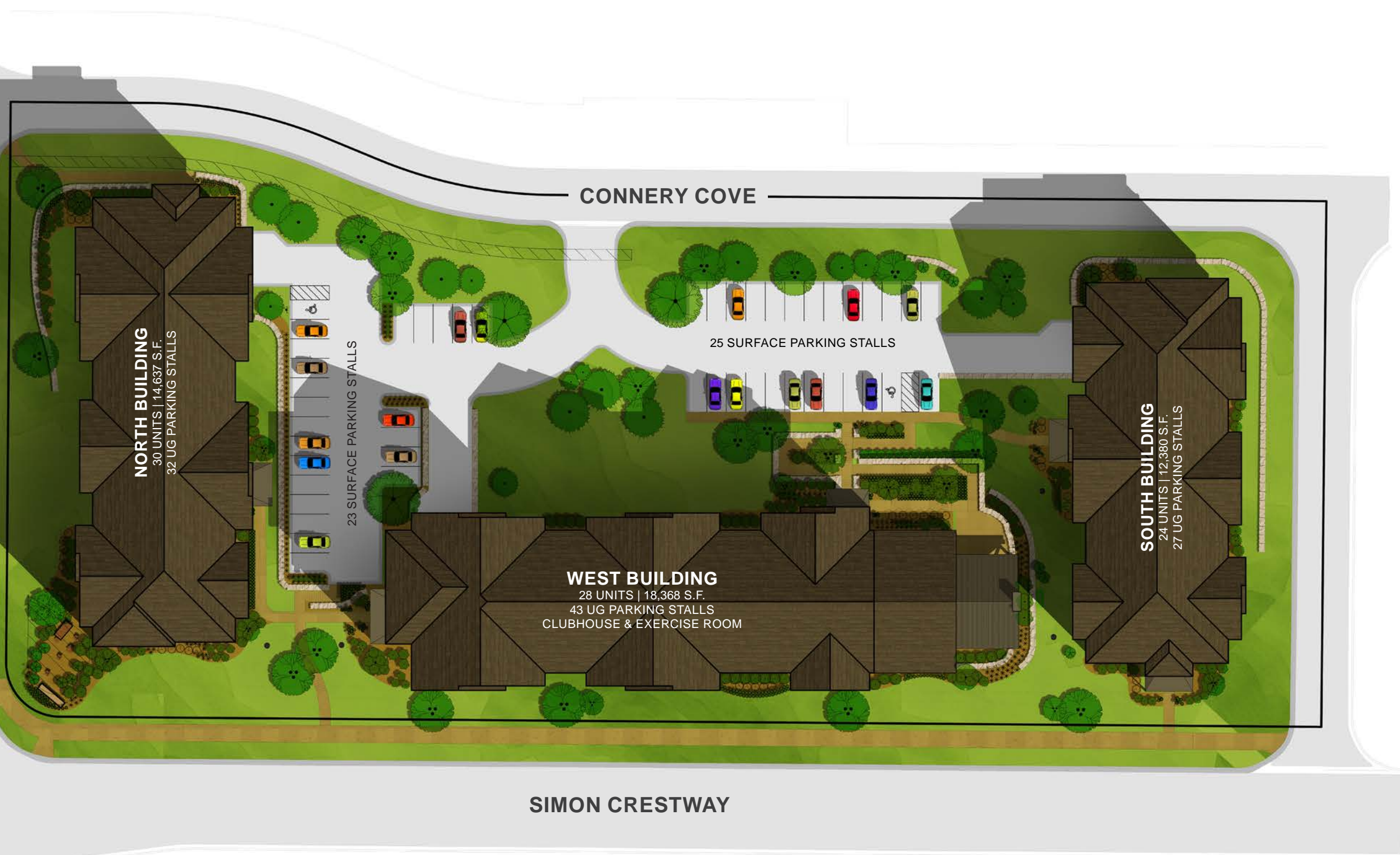
UNIT COUNT										
Building	NORTH BUILDING			WEST BUILDING			SOUTH BUILDING			TOTAL
Floor	1ST	2ND	3RD	1ST	2ND	3RD	1ST	2ND	3RD	
1BEDS	5	5	5	0	2	2	4	4	4	31
2BEDS	4	4	4	5	7	7	2	2	2	37
3BEDS	1	1	1	3	1	1	2	2	2	14
TOTAL UNITS /FLOOR	10	10	10	8	10	10	8	8	8	82
TOTAL UNITS	82									

BEDROOMS COUNT										
Building	NORTH BUILDING			WEST BUILDING			SOUTH BUILDING			TOTAL
Floor	1ST	2ND	3RD	1ST	2ND	3RD	1ST	2ND	3RD	
1BEDS	5	5	5	0	2	2	4	4	4	31
2BEDS	8	8	8	10	14	14	4	4	4	74
3BEDS	3	3	3	9	3	3	6	6	6	42
TOTAL BEDROOMS /FLOOR	16	16	16	19	19	19	14	14	14	147
TOTAL BEDROOMS	147									

ANTICIPATED PHASING:

- It is intended for this project to be delivered in a single phase of construction. Subject to approvals, the schedule will have construction commencing in Spring 2019 with full delivery in 2020.

PEACEFUL VALLEY PARKWAY



1 SITE PLAN
SCALE: N.T.S.



brownhouse

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Fax: 608.663.5151
www.brownhousedesigns.com

KILKENNY FARMS

1102 SIMON CRESTWAY
WAUNAKEE, WI 53597

NORTH BUILDING

30 UNITS | 14,637 S.F.
32 UG PARKING STALLS

WEST BUILDING

28 UNITS | 18,368 S.F.
43 UG PARKING STALLS
CLUBHOUSE & EXERCISE ROOM

SOUTH BUILDING

24 UNITS | 12,380 S.F.
27 UG PARKING STALLS

PEACEFUL
VALLEY
PARKWAY

SIMON
CRESTWAY



1 VIEW FROM PEACEFUL VALLEY PARKWAY & SIMON CRESTWAY
SCALE: N.T.S.

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KILKENNY FARMS
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WAUNAKEE, WI 53597



WEST BUILDING

28 UNITS | 18,368 S.F.
43 UG PARKING STALLS
CLUBHOUSE & EXERCISE ROOM

48 SHARED SURFACE
PARKING STALLS

NORTH BUILDING

30 UNITS | 14,637 S.F.
32 UG PARKING STALLS

1

NORTH & WEST BUILDINGS | VIEW FROM PARKING LOT
SCALE: N.T.S.

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KILKENNY FARMS

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WAUNAKEE, WI 53597



SOUTH BUILDING

24 UNITS | 12,380 S.F.
27 UG PARKING STALLS

WEST BUILDING

28 UNITS | 18,368 S.F.
43 UG PARKING STALLS

**CLUBHOUSE
& EXERCISE ROOM**

**OUTDOOR PATIO
AREA & FIREPLACE**

1 WEST & SOUTH BUILDINGS | VIEW FROM PARKING LOT
SCALE: N.T.S.

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KILKENNY FARMS

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WAUNAKEE, WI 53597



SOUTH BUILDING

24 UNITS | 12,380 S.F.
27 UG PARKING STALLS

1 SOUTH BUILDING | VIEW FROM PARKING LOT
SCALE: N.T.S.

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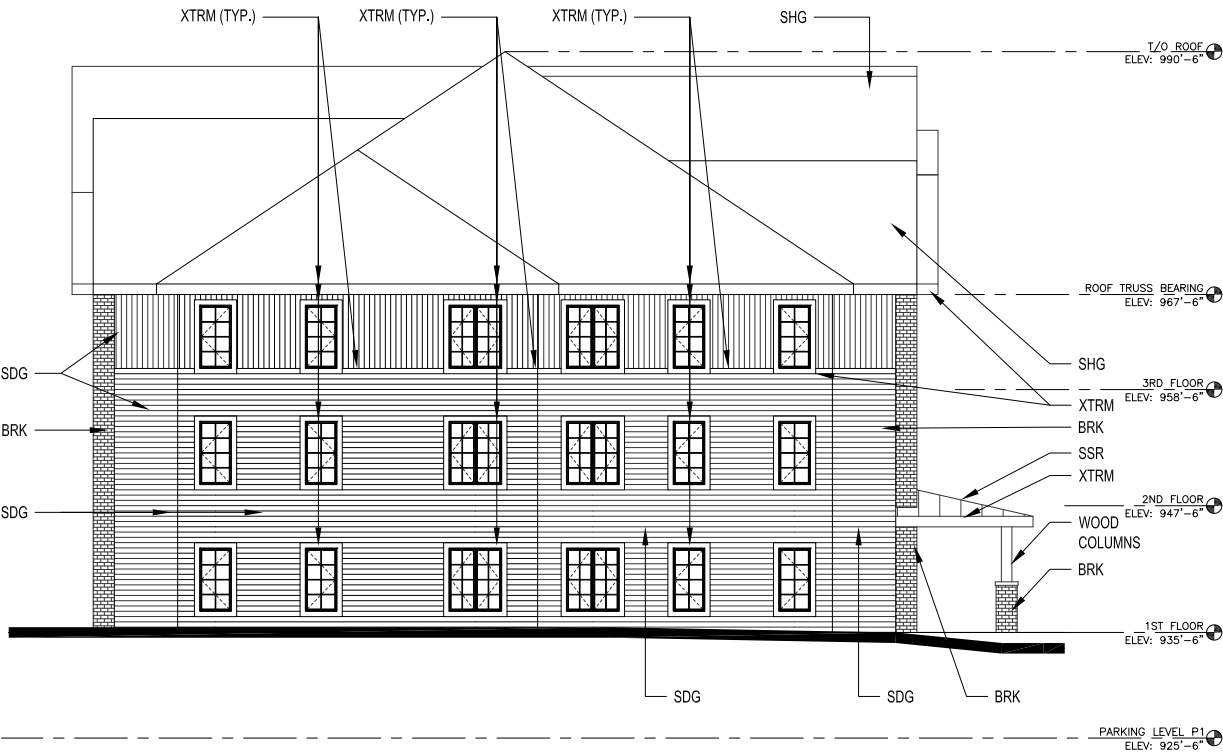
KILKENNY FARMS

1102 SIMON CRESTWAY
WAUNAKEE, WI 53597

NORTH BUILDING ELEVATIONS



1 NORTH BUILDING - NORTH ELEVATION
SCALE: 1/8"=1'-0"



2 NORTH BUILDING - WEST ELEVATION
SCALE: 1/8"=1'-0"

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Consultant

No.	Date	Description

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Wisconsin

Signed:	
Name:	SHANE FRY
License No.:	A-10754
Date:	2018-12-05
Drawn By:	BROWNHOUSE
Checked By:	SHANE FRY
Document Phase:	PRICING SET
Project No.:	

Project Title
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Sheet Title
ELEVATIONS

Sheet Number

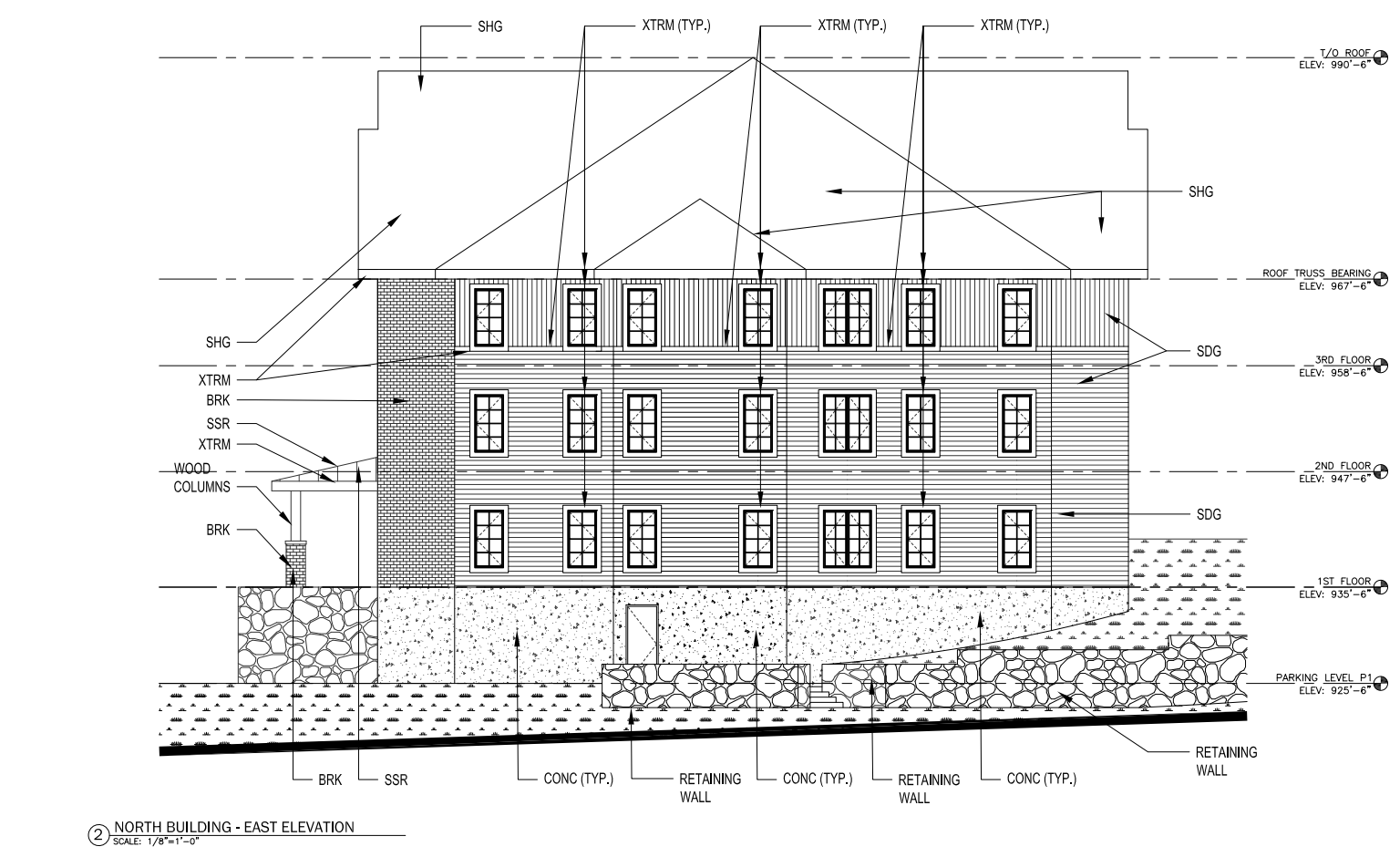
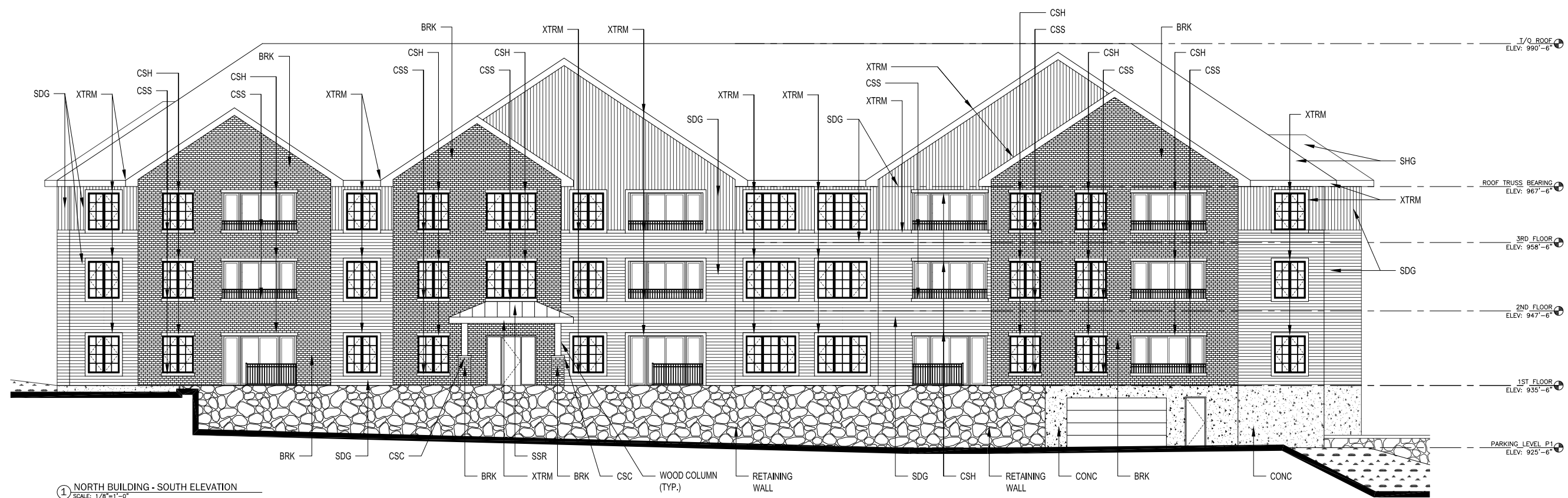
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EXTERIOR MATERIAL PRODUCT LIST	
CODE	ITEM
BRK	BRICK
CSB	CAST STONE BANDING
CSH	CAST STONE HEADER
CSS	CAST STONE SILL
CSC	CAST STONE CAP
EIFS-01	EXTERIOR INSULATION FINISHING SYSTEM
GTR	PREFINISHED METAL GUTTER & DOWNSPOUTS
MCC	PREFINISHED METAL COPING CAP
SDG	PREFINISHED COMPOSITE SIDING
SHG	ASPHALT SHINGLES
SSR	STANDING SEAM ROOF
XTRM	EXTERIOR TRIM AND FASCIA

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NORTH BUILDING ELEVATIONS



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Sheet Title
ELEVATIONS

Sheet Number

EXTERIOR MATERIAL PRODUCT LIST	
CODE	ITEM
BRK	BRICK
CSB	CAST STONE BANDING
CSH	CAST STONE HEADER
CSS	CAST STONE SILL
CSC	CAST STONE CAP
EIFS-01	EXTERIOR INSULATION FINISHING SYSTEM
GTR	PREFINISHED METAL GUTTER & DOWNSPOUTS
MCC	PREFINISHED METAL COPING CAP
SDG	PREFINISHED COMPOSITE SIDING
SHG	ASPHALT SHINGLES
SSR	STANDING SEAM ROOF
XTRM	EXTERIOR TRIM AND FASCIA

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WEST BUILDING ELEVATIONS

Consultant

EXTERIOR MATERIAL PRODUCT LIST	
CODE	ITEM
BRK	BRICK
CSB	CAST STONE BANDING
CSH	CAST STONE HEADER
CSS	CAST STONE SILL
CSC	CAST STONE CAP
EIFS-01	EXTERIOR INSULATION FINISHING SYSTEM
GTR	PREFINISHED METAL GUTTER & DOWNSPOUTS
MCC	PREFINISHED METAL COPING CAP
SDG	PREFINISHED COMPOSITE SIDING
SHG	ASPHALT SHINGLES
SSR	STANDING SEAM ROOF
XTRM	EXTERIOR TRIM AND FASCIA

No.	Date	Description

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Project Title
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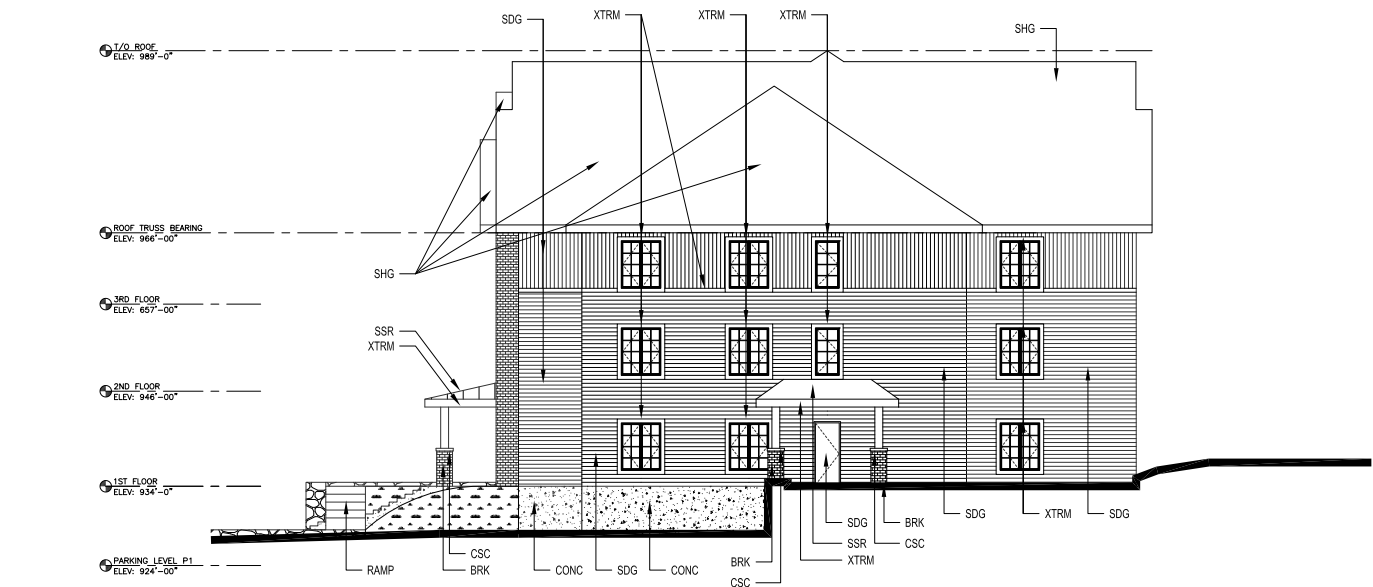
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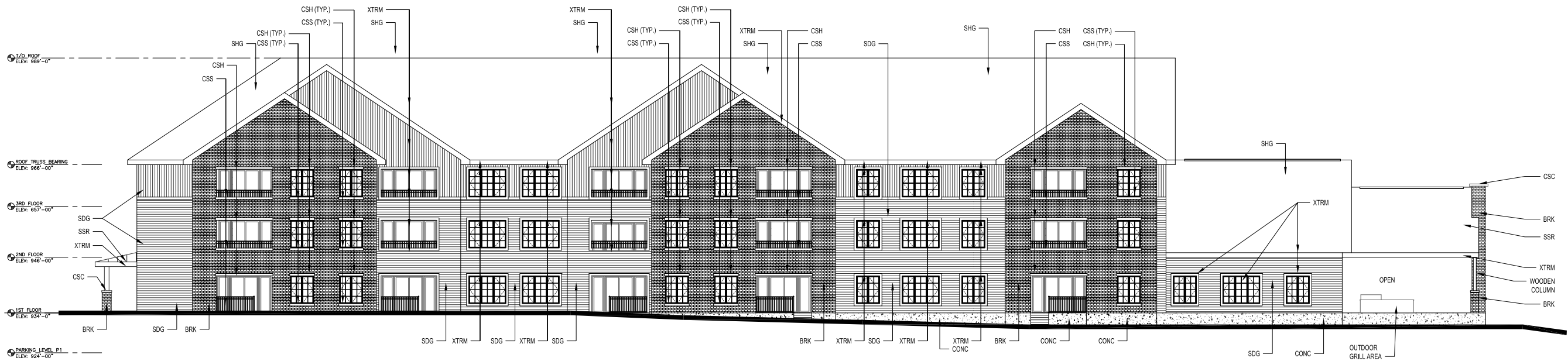
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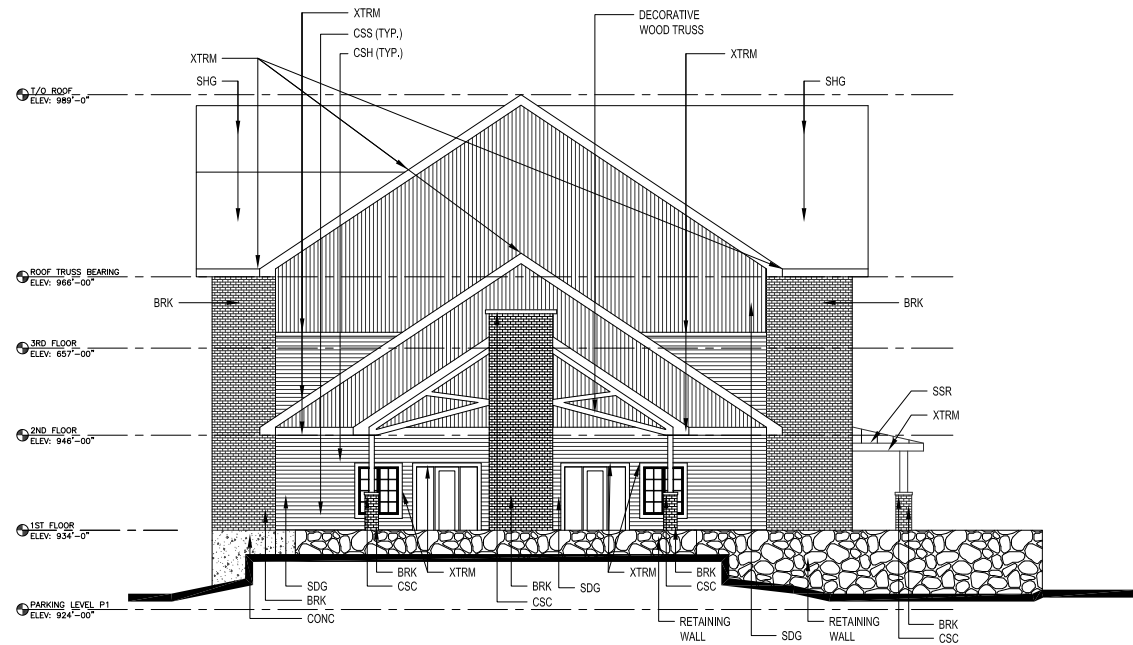


2 WEST BUILDING - WEST ELEVATION
SCALE: 3/32" = 1'-00"

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CONSTRUCTION

WEST BUILDING ELEVATIONS

Consultant



1 WEST BUILDING - SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

EXTERIOR MATERIAL PRODUCT LIST	
CODE	ITEM
BRK	BRICK
CSB	CAST STONE BANDING
CSH	CAST STONE HEADER
CSS	CAST STONE SILL
CSC	CAST STONE CAP
EIFS-01	EXTERIOR INSULATION FINISHING SYSTEM
GTR	PREFINISHED METAL GUTTER & DOWNSPOUTS
MCC	PREFINISHED METAL COPING CAP
SDG	PREFINISHED COMPOSITE SIDING
SHG	ASPHALT SHINGLES
SSR	STANDING SEAM ROOF
XTRM	EXTERIOR TRIM AND FASCIA

No.	Date	Description

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Checked By: SHANE FRY
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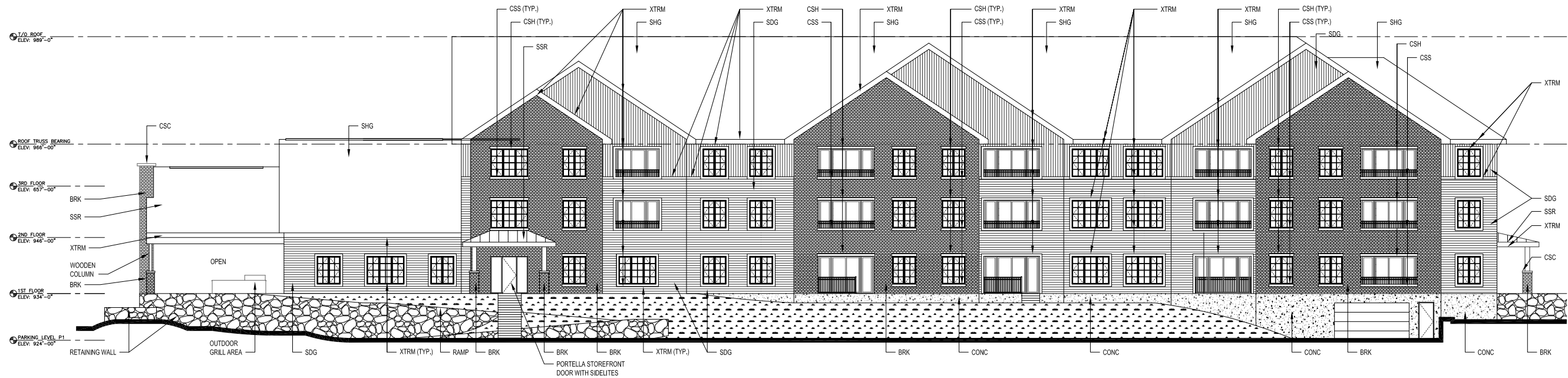
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Sheet Number

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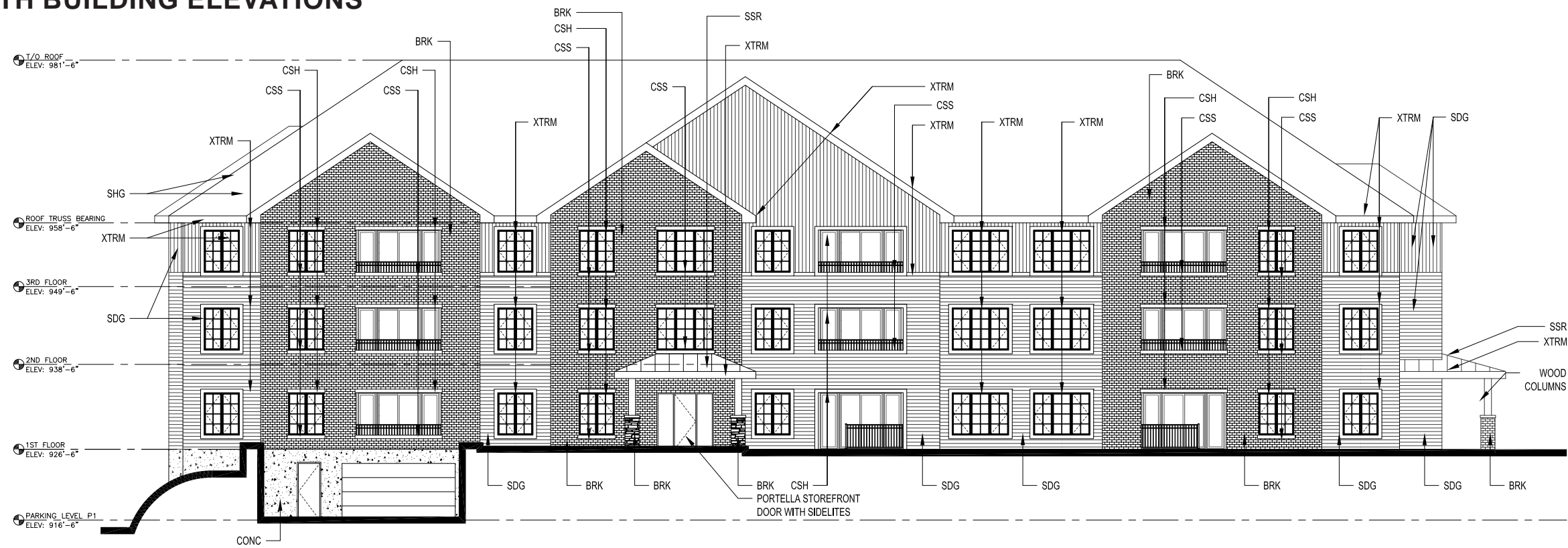
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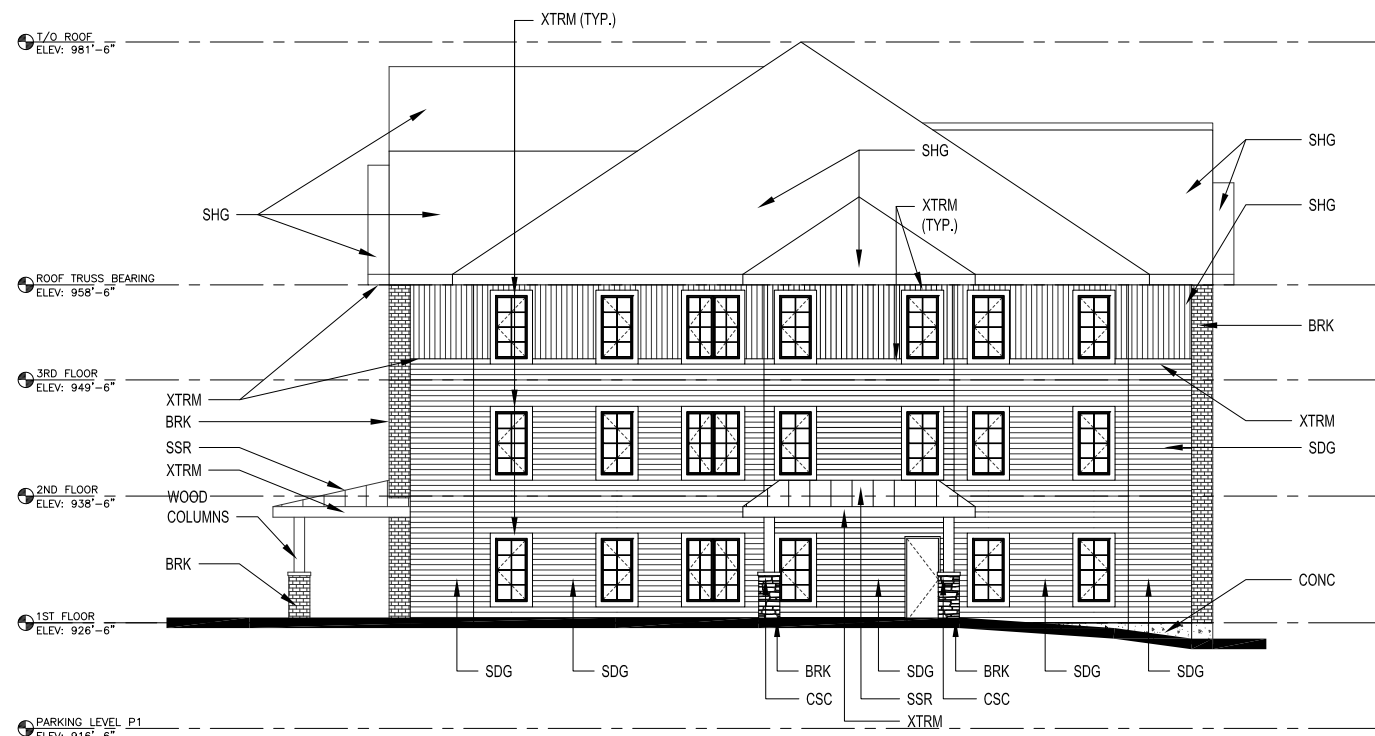
2 WEST BUILDING - EAST ELEVATION
SCALE: 3/32" = 1'-0"

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CONSTRUCTION

SOUTH BUILDING ELEVATIONS



1 SOUTH BUILDING - NORTH ELEVATION
SCALE: 1/8"=1'-0"



2 SOUTH BUILDING - WEST ELEVATION
SCALE: 1/8"=1'-0"

brownhouse
202 West Gorham St.
Madison, WI 53703
Tel: 608.663.5100
Fax: 608.663.5151
www.brownhousedesigns.com

Consultant

No.	Date	Description

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Wisconsin

Signed:	
Name:	SHANE FRY
License No.:	A-10754
Date:	2018-12-05
Drawn By:	BROWNHOUSE
Checked By:	SHANE FRY
Document Phase:	PRICING SET
Project No.:	

Project Title
THE LAUREL AT KILKENNY

Address
1102 SIMON CRESTWAY
WAUNAKEE, WI 53597

Release
2019-01-16 1:39:50 PM

Sheet Title
ELEVATIONS

Sheet Number

EXTERIOR MATERIAL PRODUCT LIST	
CODE	ITEM
BRK	BRICK
CSB	CAST STONE BANDING
CSH	CAST STONE HEADER
CSS	CAST STONE SILL
CSC	CAST STONE CAP
EIFS-01	EXTERIOR INSULATION FINISHING SYSTEM
GTR	PREFINISHED METAL GUTTER & DOWNSPOUTS
MCC	PREFINISHED METAL COPING CAP
SDG	PREFINISHED COMPOSITE SIDING
SHG	ASPHALT SHINGLES
SSR	STANDING SEAM ROOF
XTRM	EXTERIOR TRIM AND FASCIA

PRELIMINARY
NOT FOR
CONSTRUCTION

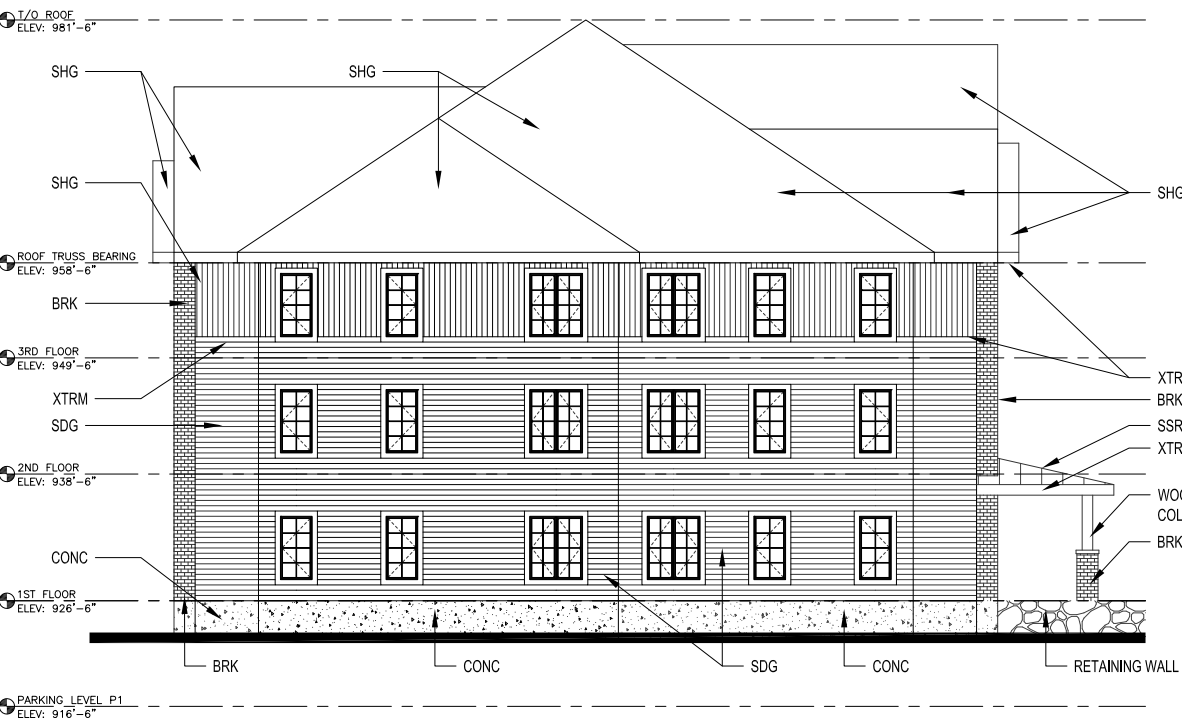
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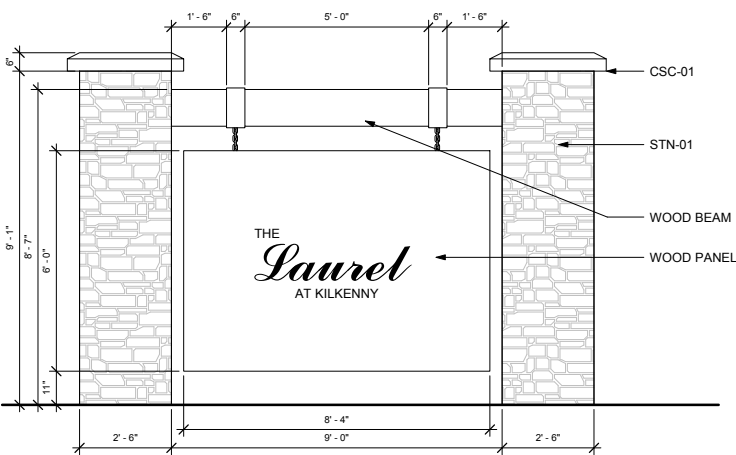
SOUTH BUILDING ELEVATIONS & SIGNAGE ELEVATION



1 SOUTH BUILDING - SOUTH ELEVATION
SCALE: 1/8"=1'-0"



2 SOUTH BUILDING - EAST ELEVATION
SCALE: 1/8"=1'-0"



3 SIGNAGE ELEVATION
1/2" = 1'-0"

EXTERIOR MATERIAL PRODUCT LIST	
CODE	ITEM
BRK	BRICK
CSB	CAST STONE BANDING
CSH	CAST STONE HEADER
CSS	CAST STONE SILL
CSC	CAST STONE CAP
EIFS-01	EXTERIOR INSULATION FINISHING SYSTEM
GTR	PREFINISHED METAL GUTTER & DOWNSPOUTS
MCC	PREFINISHED METAL COPING CAP
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PRELIMINARY
NOT FOR
CONSTRUCTION

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Tel: 608.663.5100
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Date:	2018-12-05
Drawn By:	BROWNHOUSE
Checked By:	SHANE FRY
Document Phase:	PRICING SET
Project No.:	

Project Title
THE LAUREL AT KILKENNY

Address
1102 SIMON CRESTWAY
WAUNAKEE, WI 53597

Release
2019-01-16 1:40:14 PM

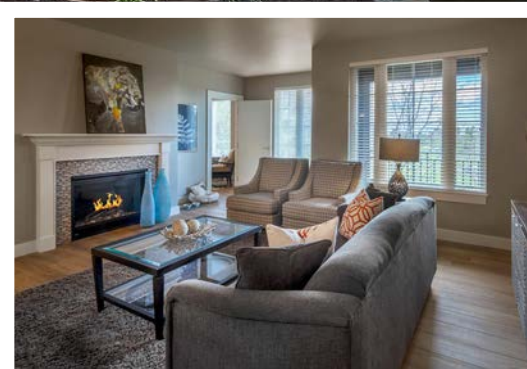
Sheet Title
ELEVATIONS

Sheet Number

A205

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PREVIOUS PROJECTS



BROWNPOINT RESERVE (Blackhawk Rd, Middleton)

PREVIOUS PROJECTS



BROWNSTONE ON OLD SAUK (Old Sauk Rd, Middleton)

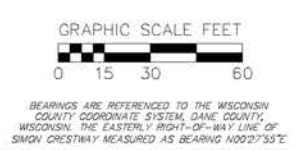
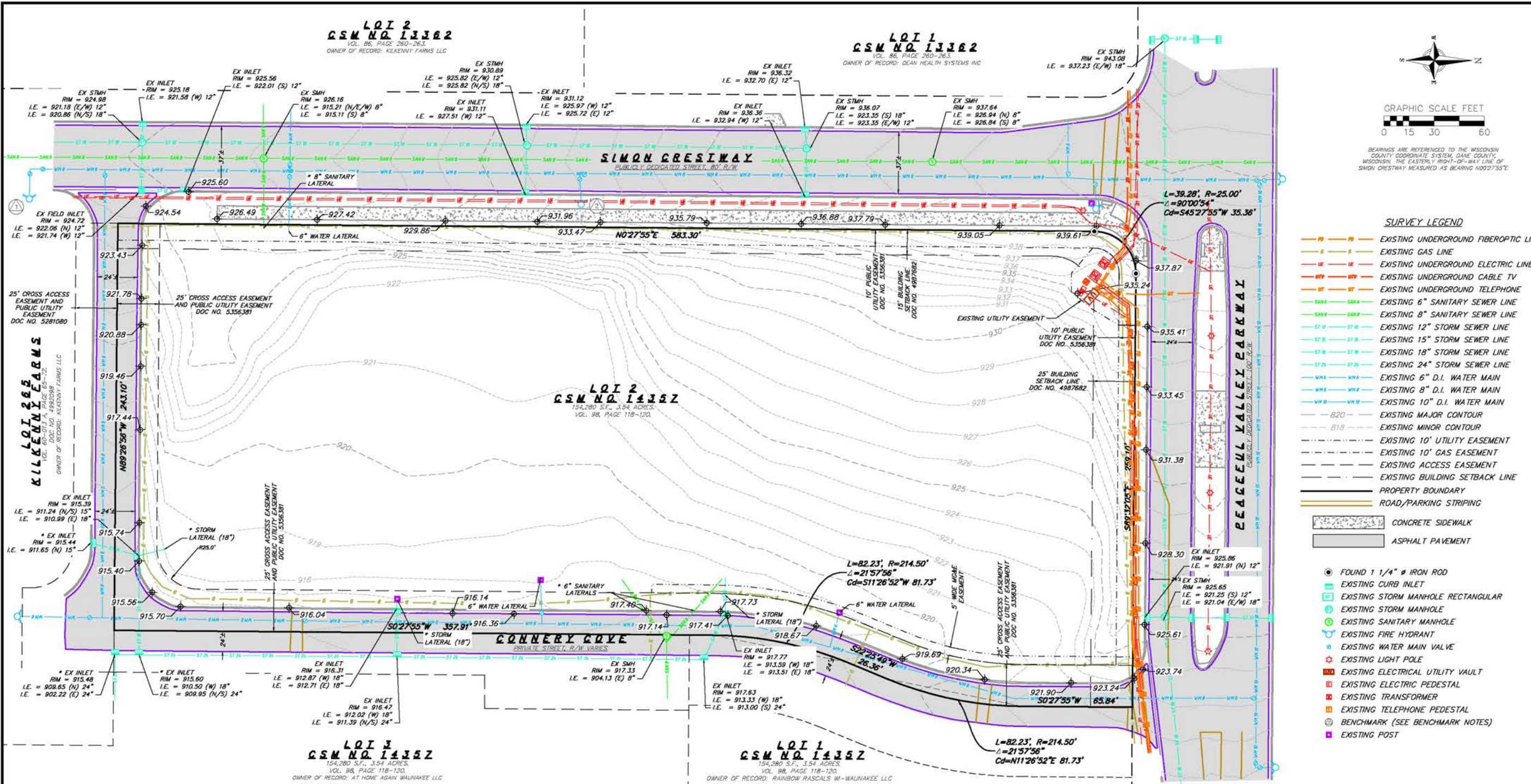


BROWNRIDGE TERRACE (Pleasant View Rd, Middleton)



KEYSTONE (University Ave, Madison)

LUCKY (University Ave, Madison)



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, WISCONSIN, THE EASTERN RIGHT-OF-WAY LINE OF SIMON CRESTWAY MEASURED AS BEARING N002°35'E

SURVEY LEGEND

- EXISTING UNDERGROUND FIBEROPTIC LINE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING UNDERGROUND CABLE TV
- EXISTING UNDERGROUND TELEPHONE
- EXISTING 6" SANITARY SEWER LINE
- EXISTING 8" SANITARY SEWER LINE
- EXISTING 12" STORM SEWER LINE
- EXISTING 15" STORM SEWER LINE
- EXISTING 18" STORM SEWER LINE
- EXISTING 24" STORM SEWER LINE
- EXISTING 6" D.I. WATER MAIN
- EXISTING 8" D.I. WATER MAIN
- EXISTING 10" D.I. WATER MAIN
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING 10' UTILITY EASEMENT
- EXISTING 10' GAS EASEMENT
- EXISTING ACCESS EASEMENT
- EXISTING BUILDING SETBACK LINE
- PROPERTY BOUNDARY
- ROAD/PARKING STRIPING
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT

- FOUND 1 1/4" Ø IRON ROD
- EXISTING CURB INLET
- EXISTING STORM MANHOLE RECTANGULAR
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING LIGHT POLE
- EXISTING ELECTRICAL UTILITY VAULT
- EXISTING ELECTRIC PEDESTAL
- EXISTING TRANSFORMER
- EXISTING TELEPHONE PEDESTAL
- BENCHMARK (SEE BENCHMARK NOTES)
- EXISTING POST

- NOTES:**
- Information provided from asbuilt constructions plans obtained from MSA Professional Services, Project No. 00877008, April 2013.
 - Field survey work performed between August 4 and August 6, 2018. Any changes in site conditions after August 6, 2018 are not reflected by this survey.
 - No attempt has been made as a part of this survey to obtain or show data concerning condition, or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
 - The location of existing underground utilities as shown on the plans has been determined from the best available information and is given for the convenience of the contractor. The owner and the engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.

SURVEYED FOR:
STEEVE BROWN APARTMENTS
ATTN: DAN SEELEY
120 W. GORHAM ST.
MADISON, WI 53703

SURVEYED BY:
VIERBICHER ASSOCIATES, INC.
BY: DAVID N. GULLICKSON
999 FOURIER DRIVE,
SUITE 201
MADISON, WI 53717
(608)-821-3966
dgul@vierbicher.com

PROJECT BENCHMARKS:

BENCHMARK 1 - ELEV=927.22'
TOP NUT OF FIRE HYDRANT.

BENCHMARK 2 - ELEV=934.89'
TOP NUT OF FIRE HYDRANT.

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

EXISTING CONDITIONS PLAN
THE LAUREL AT KILKENNY FARMS
LOT 2 CSM 14357
VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS
	1	07/15/19	VILLAGE SUBMITTAL
	2		
	3		
	4		
	5		
	6		
	7		
	8		
	9		
	10		

SCALE
1"=30' (22"x34")
1"=60' (11"x17")

DATE
October 4, 2018

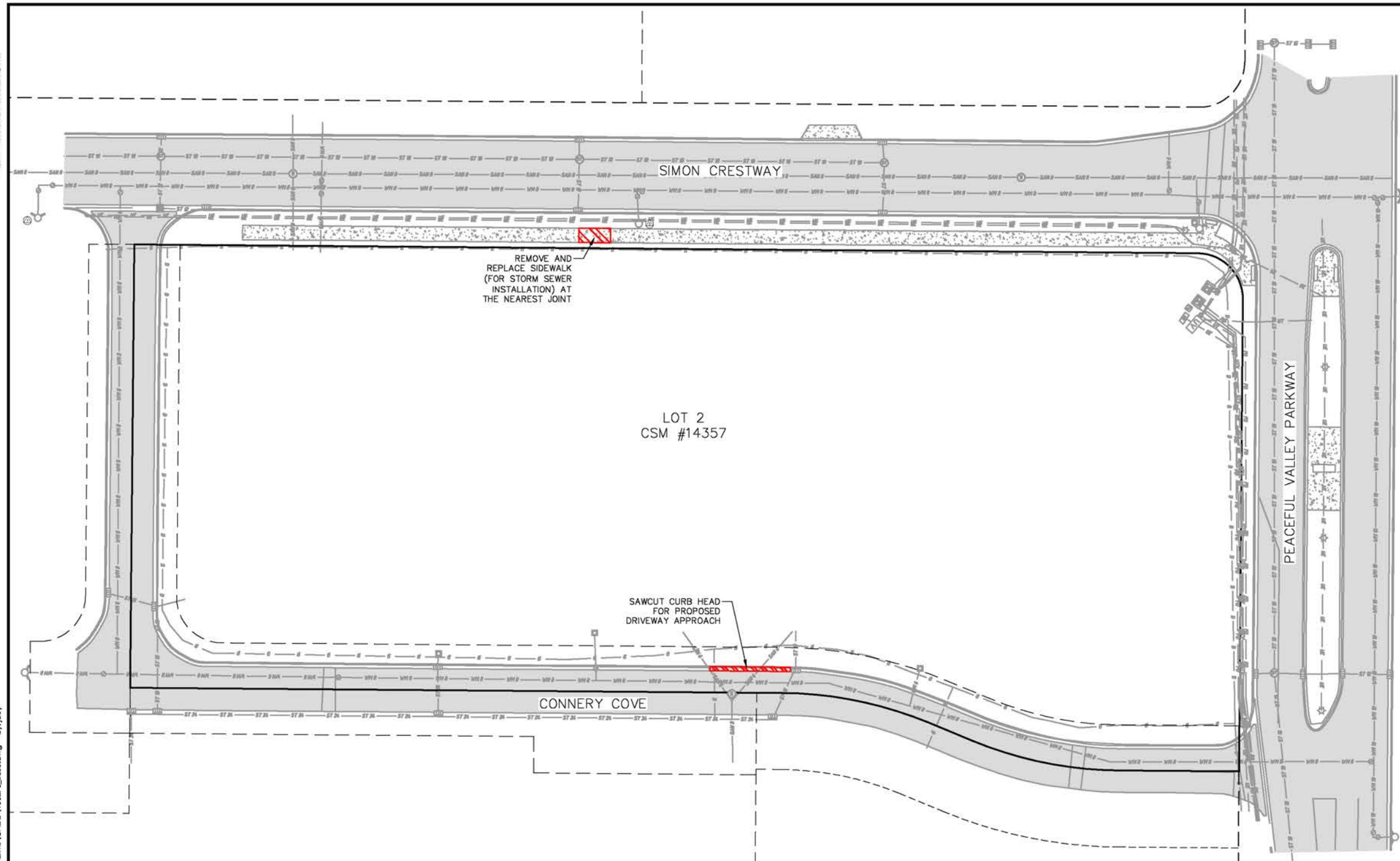
DRAWN
J.DY

CHECKED
DGLU

PROJECT NO.
180276

SHEET
1 OF 11

DWG. NO.
C-0.1



GENERAL NOTES:

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
3. CONTRACTOR SHALL REMOVE AND REPLACE ANY PUBLIC IMPROVEMENTS THAT ARE DAMAGED DURING CONSTRUCTION AT THE CONTRACTOR'S EXPENSE

PROJECT BENCHMARKS:

Ⓢ BENCHMARK 1 - ELEV.=927.22':
TOP NUT OF FIRE HYDRANT.

⑫ BENCHMARK 2 - ELEV.=934.89'
TOP NUT OF FIRE HYDRANT.



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CALL DIGGER'S HOTLINE
1-800-242-8511




GRAPHIC SCALE FEET



0 15 30 60

DEMOLITION PLAN LEGEND

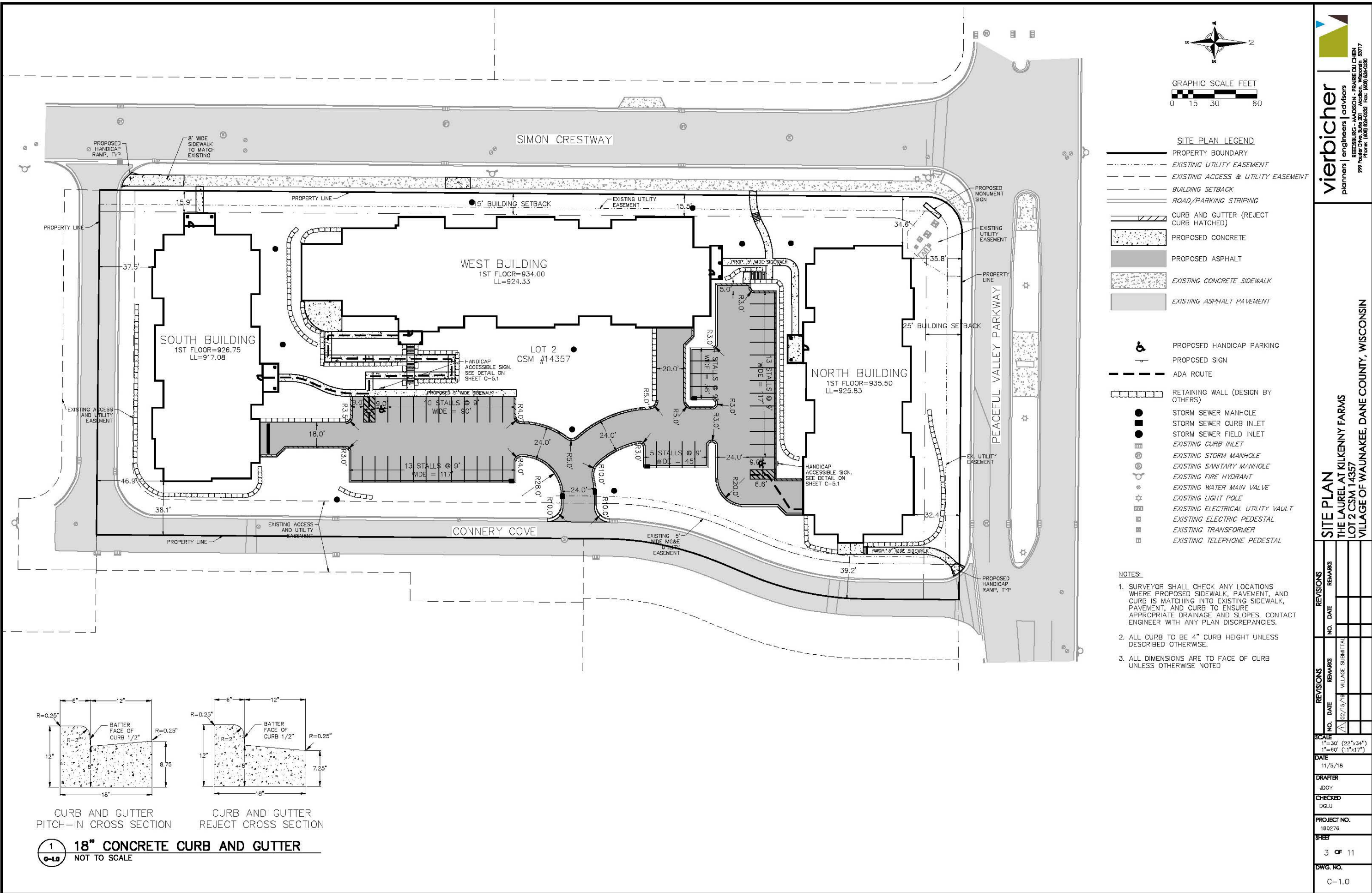
 PROPOSED LIMITS OF REMOVAL FOR
SIDEWALK / CURB HEAD

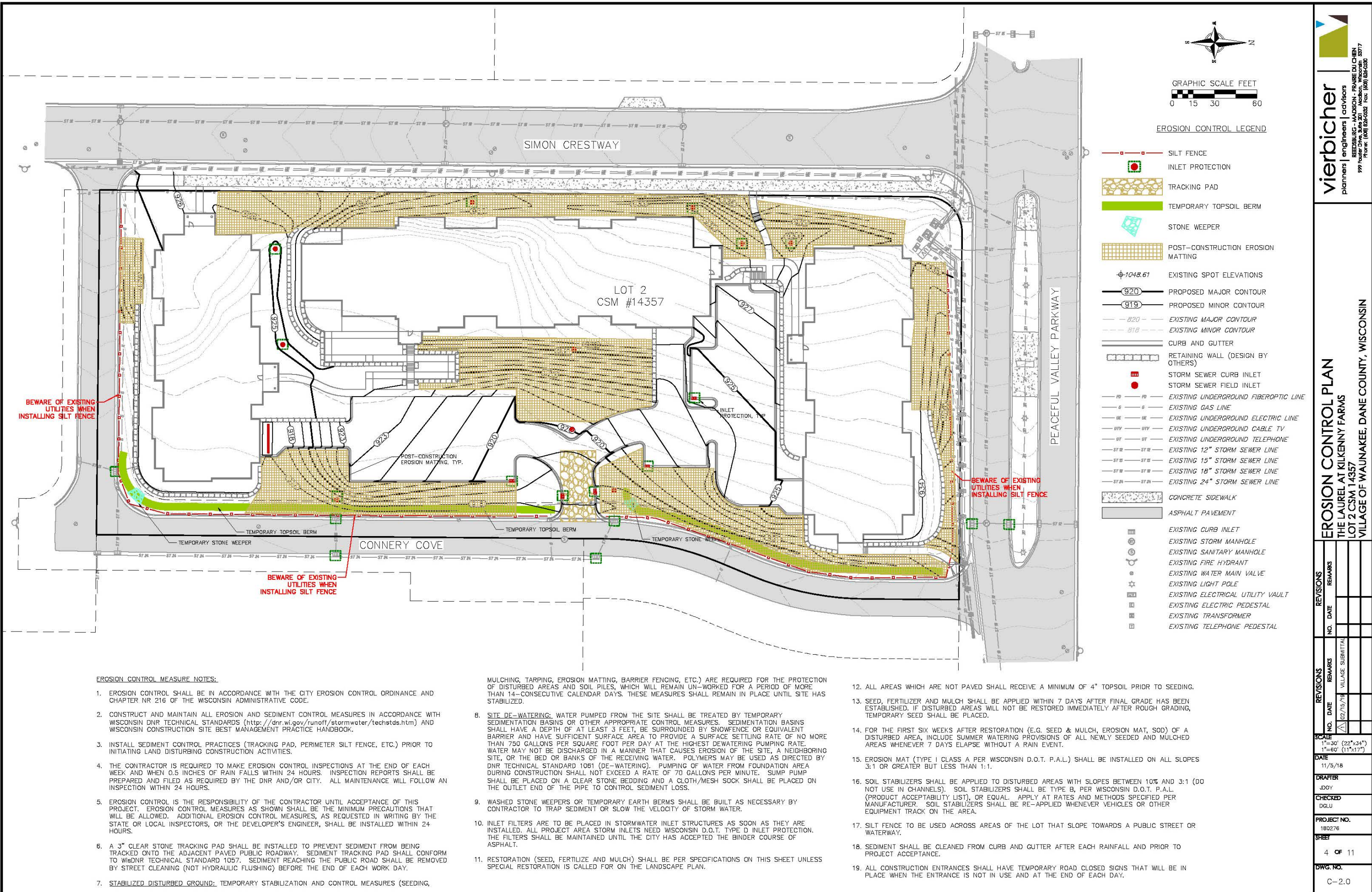
vierbicher
planners | engineers | advisors
REEDSBURG • MADISON • PRAIRIE DU CHIEN
999 Foster Drive, Suite 201 Madison, Wisconsin 53717
Phone: (608) 828-0332 Fax: (608) 828-0530

DEMOLITION PLAN
THE LAUREL AT KILKENNY FARMS
LOT 2 CSM 14357
VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN

NO.	DATE	REMARKS	NO.	DATE	REMARKS
1	02/15/19	VILLAGE SUBMITTAL			

DATE	11-30' (22"x34") 1"=60' (11"x17")
DATE	October 4, 2018
BEFORE	
AFTER	
DOY	
CHECKED	
GLU	
PROJECT NO.	180276
SHEET	2 OF 11
WG. NO.	C-0.2







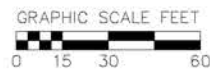
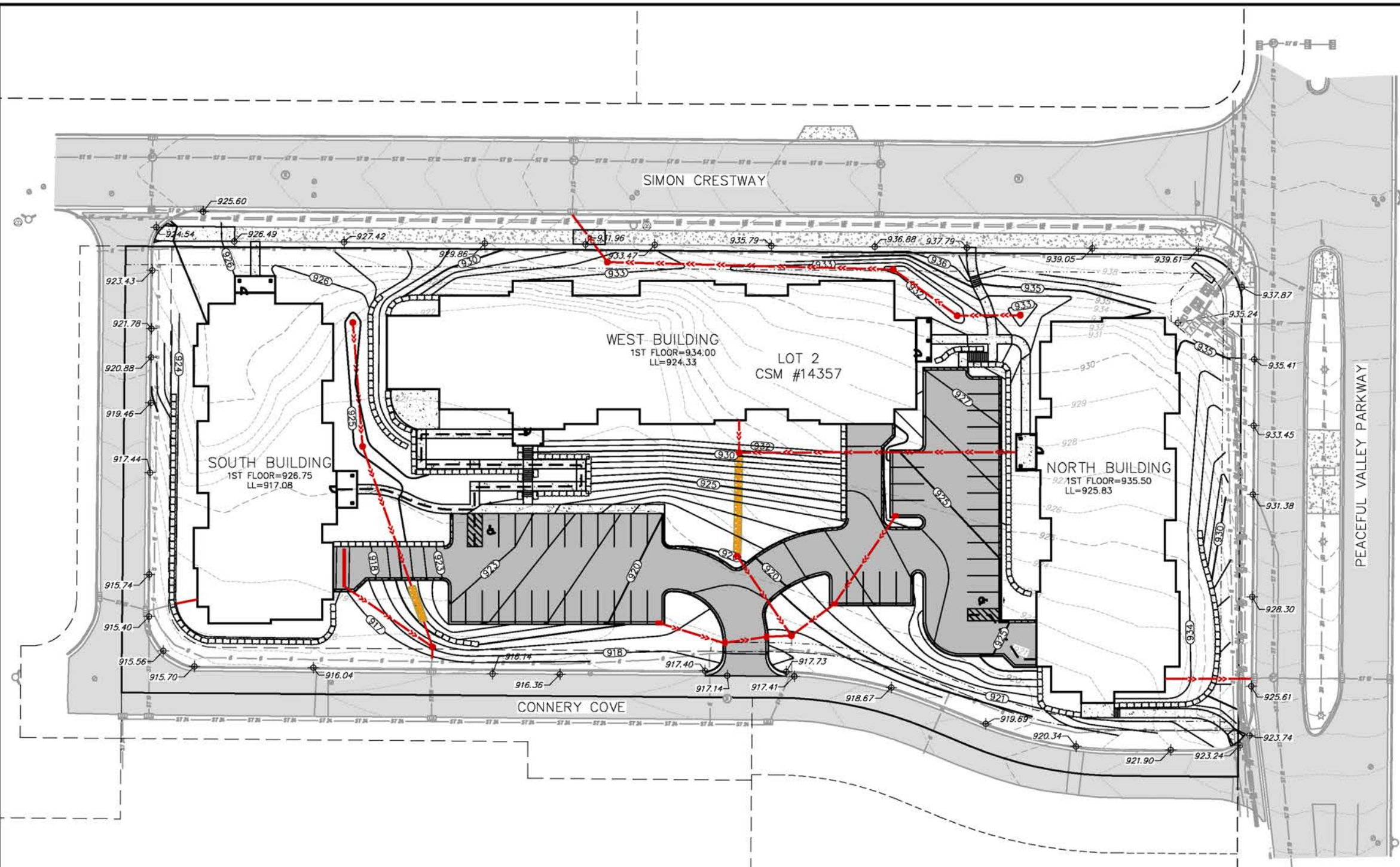
Dial 811 or (800) 242-8511
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CALL DIGGER'S HOTLINE
1-800-242-8511

NOTES:

1. SURVEYOR SHALL CHECK ANY LOCATIONS WHERE PROPOSED SIDEWALK, PAVEMENT, AND CURB IS MATCHING INTO EXISTING SIDEWALK, PAVEMENT, AND CURB TO ENSURE APPROPRIATE DRAINAGE AND SLOPES. CONTACT ENGINEER WITH ANY PLAN DISCREPANCIES.
2. ALL CURB TO BE 4" UNLESS DESCRIBED OTHERWISE.



PROJECT BENCHMARKS:

- BENCHMARK 1 - ELEV=927.22'; TOP NUT OF FIRE HYDRANT.
- BENCHMARK 2 - ELEV=934.89'; TOP NUT OF FIRE HYDRANT.

GRADING PLAN LEGEND

- 2.92% PROPOSED SLOPE ARROWS
- 1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS

ABBREVIATIONS

- TC - TOP OF CURB
- P - PAVEMENT
- R - RM
- FF - FIRST FLOOR
- W - SIDEWALK
- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- G - GROUND

- 920 PROPOSED MAJOR CONTOUR
- 919 PROPOSED MINOR CONTOUR
- ADA ROUTE
- PROPERTY BOUNDARY
- CURB AND GUTTER (REJECT CURB HATCHED)
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED UTILITY EASEMENTS
- PROPOSED HANDICAP PARKING
- RETAINING WALL (DESIGN BY OTHERS)
- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER CURB INLET
- STORM SEWER FIELD INLET
- EXISTING UNDERGROUND FIBEROPTIC LINE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING UNDERGROUND CABLE TV
- EXISTING UNDERGROUND TELEPHONE
- EXISTING 12" STORM SEWER LINE
- EXISTING 15" STORM SEWER LINE
- EXISTING 18" STORM SEWER LINE
- EXISTING 24" STORM SEWER LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING 10' UTILITY EASEMENT
- EXISTING 10' GAS EASEMENT
- EXISTING ACCESS EASEMENT
- PROPERTY BOUNDARY
- ROAD/PARKING STRIPING

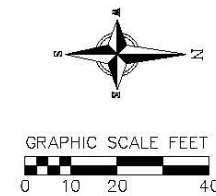
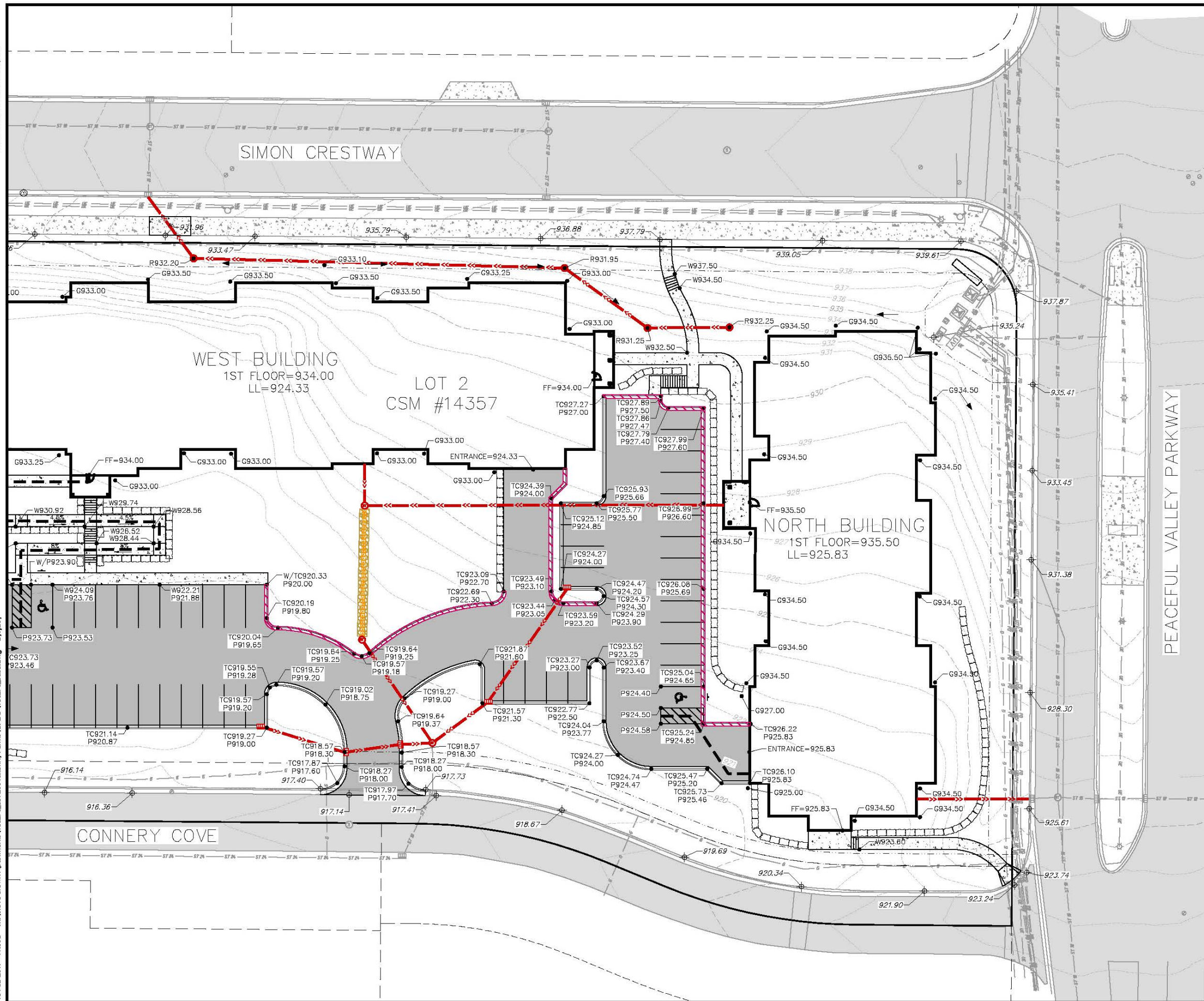
- EXISTING CONCRETE SIDEWALK
- EXISTING ASPHALT PAVEMENT

- EXISTING CURB INLET
- EXISTING STORM MANHOLE RECTANGULAR
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING LIGHT POLE
- EXISTING ELECTRICAL UTILITY VAULT
- EXISTING ELECTRIC PEDESTAL
- EXISTING TRANSFORMER
- EXISTING TELEPHONE PEDESTAL
- BENCHMARK (SEE BENCHMARK NOTES)
- EXISTING POST

GRADING PLAN
THE LAUREL AT KILKENNY FARMS
LOT 2 CSM 14357
VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS

SCALE	1"=30' (22"x34") 1"=60' (11"x17")
DATE	11/5/18
DRAWN	J.DDY
CHECKED	DGLU
PROJECT NO.	180276
SHEET	5 OF 11
DWG. NO.	C-3.0



PROJECT BENCHMARKS:
BENCHMARK 1 - ELEV.=927.22'
TOP NUT OF FIRE HYDRANT.
BENCHMARK 2 - ELEV.=934.89'
TOP NUT OF FIRE HYDRANT.

GRADING PLAN LEGEND
2.92% PROPOSED SLOPE ARROWS
1048.61 EXISTING SPOT ELEVATIONS
1048.61 PROPOSED SPOT ELEVATIONS

ABBREVIATIONS
TC - TOP OF CURB
P - PAVEMENT
R - RIM
FF - FIRST FLOOR
W - SIDEWALK
TW - TOP OF WALL
BW - BOTTOM OF WALL
G - GROUND

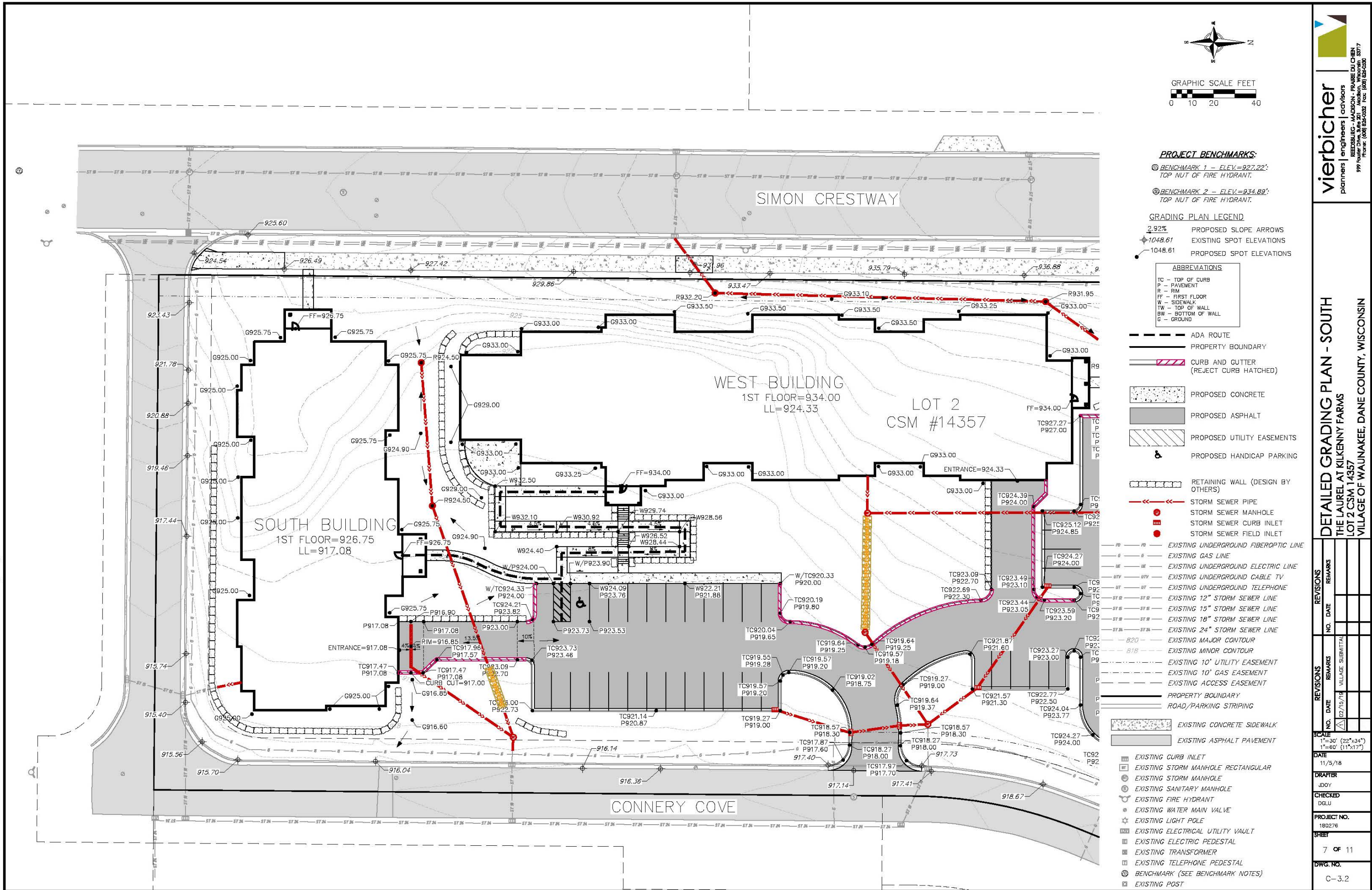
--- ADA ROUTE
--- PROPERTY BOUNDARY
--- CURB AND GUTTER (REJECT CURB HATCHED)
--- PROPOSED CONCRETE
--- PROPOSED ASPHALT
--- PROPOSED UTILITY EASEMENTS
--- PROPOSED HANDICAP PARKING
--- RETAINING WALL (DESIGN BY OTHERS)
--- STORM SEWER PIPE
--- STORM SEWER MANHOLE
--- STORM SEWER CURB INLET
--- STORM SEWER FIELD INLET

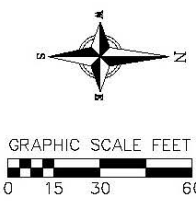
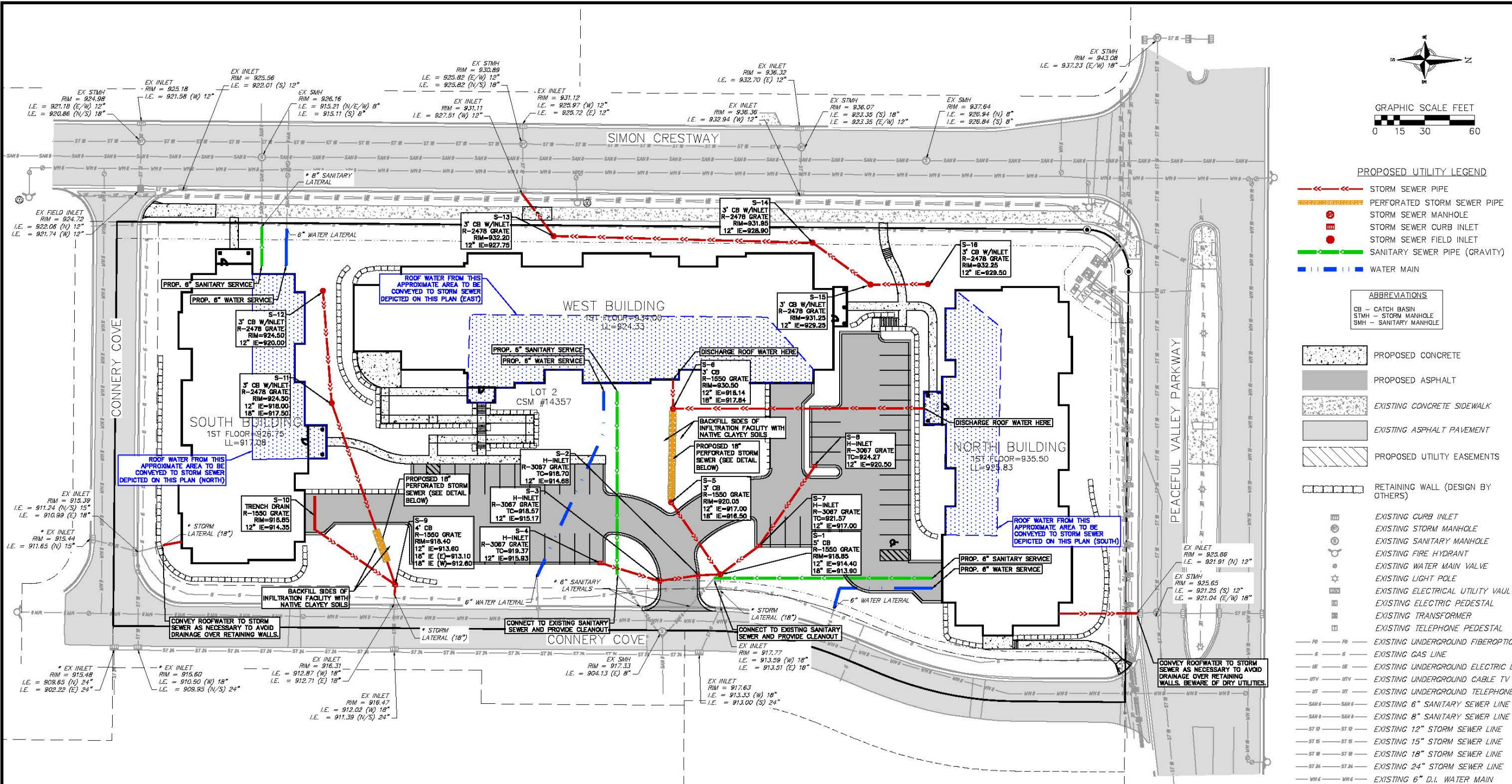
--- EXISTING UNDERGROUND FIBEROPTIC LINE
--- EXISTING GAS LINE
--- EXISTING UNDERGROUND ELECTRIC LINE
--- EXISTING UNDERGROUND CABLE TV
--- EXISTING UNDERGROUND TELEPHONE
--- EXISTING 12" STORM SEWER LINE
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--- EXISTING 24" STORM SEWER LINE
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--- EXISTING 10' GAS EASEMENT
--- EXISTING ACCESS EASEMENT
--- PROPERTY BOUNDARY
--- ROAD/PARKING STRIPING

--- EXISTING CONCRETE SIDEWALK
--- EXISTING ASPHALT PAVEMENT

--- EXISTING CURB INLET
--- EXISTING STORM MANHOLE RECTANGULAR
--- EXISTING STORM MANHOLE
--- EXISTING SANITARY MANHOLE
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--- EXISTING WATER MAIN VALVE
--- EXISTING LIGHT POLE
--- EXISTING ELECTRICAL UTILITY VAULT
--- EXISTING ELECTRIC PEDESTAL
--- EXISTING TRANSFORMER
--- EXISTING TELEPHONE PEDESTAL
--- BENCHMARK (SEE BENCHMARK NOTES)
--- EXISTING POST

REVISIONS		NO.	DATE	REMARKS
1		02/15/19	VILLAGE SUBMITTAL	
2		02/15/19	VILLAGE SUBMITTAL	
3		02/15/19	VILLAGE SUBMITTAL	
4		02/15/19	VILLAGE SUBMITTAL	
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92		02/15/19	VILLAGE SUBMITTAL	
93		02/15/19	VILLAGE SUBMITTAL	
94		02/15/19	VILLAGE SUBMITTAL	
95		02/15/19	VILLAGE SUBMITTAL	
96		02/15/19	VILLAGE SUBMITTAL	
97		02/15/19	VILLAGE SUBMITTAL	
98		02/15/19	VILLAGE SUBMITTAL	
99		02/15/19	VILLAGE SUBMITTAL	
100		02/15/19	VILLAGE SUBMITTAL	





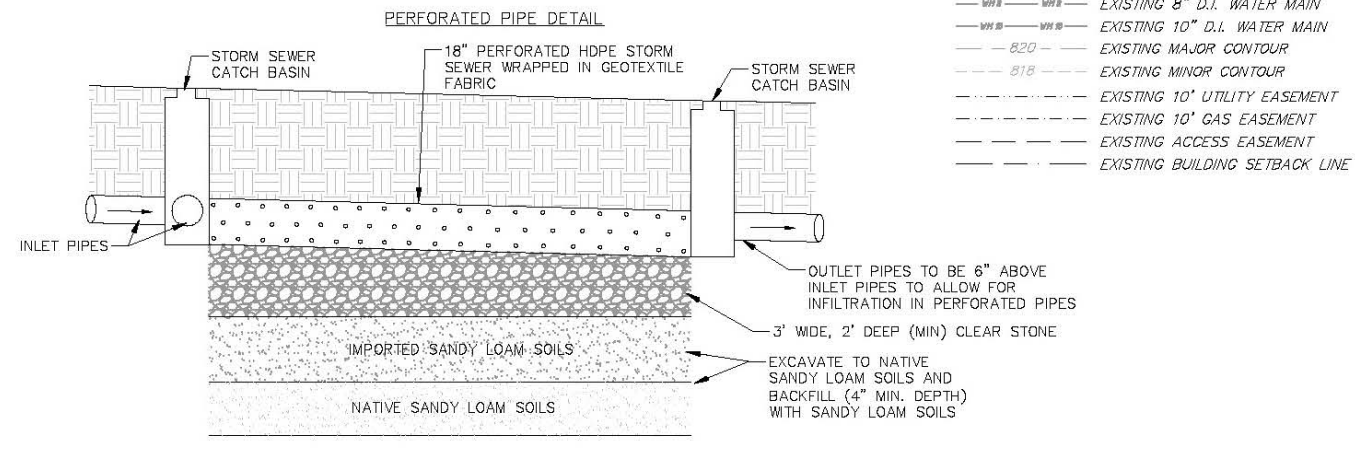
- PROPOSED UTILITY LEGEND**
- STORM SEWER PIPE
 - PERFORATED STORM SEWER PIPE
 - STORM SEWER MANHOLE
 - STORM SEWER CURB INLET
 - STORM SEWER FIELD INLET
 - SANITARY SEWER PIPE (GRAVITY)
 - WATER MAIN
- ABBREVIATIONS**
- CB - CATCH BASIN
 - STMH - STORM MANHOLE
 - SMH - SANITARY MANHOLE
- EXISTING UTILITY LEGEND**
- EXISTING CONCRETE
 - EXISTING ASPHALT
 - EXISTING CONCRETE SIDEWALK
 - EXISTING ASPHALT PAVEMENT
 - PROPOSED UTILITY EASEMENTS
 - RETAINING WALL (DESIGN BY OTHERS)
 - EXISTING CURB INLET
 - EXISTING STORM MANHOLE
 - EXISTING SANITARY MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER MAIN VALVE
 - EXISTING LIGHT POLE
 - EXISTING ELECTRICAL UTILITY VAULT
 - EXISTING ELECTRIC PEDESTAL
 - EXISTING TRANSFORMER
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING UNDERGROUND FIBEROPTIC LINE
 - EXISTING GAS LINE
 - EXISTING UNDERGROUND ELECTRIC LINE
 - EXISTING UNDERGROUND CABLE TV
 - EXISTING UNDERGROUND TELEPHONE
 - EXISTING 6" SANITARY SEWER LINE
 - EXISTING 8" SANITARY SEWER LINE
 - EXISTING 12" STORM SEWER LINE
 - EXISTING 15" STORM SEWER LINE
 - EXISTING 18" STORM SEWER LINE
 - EXISTING 24" STORM SEWER LINE
 - EXISTING 6" D.I. WATER MAIN
 - EXISTING 8" D.I. WATER MAIN
 - EXISTING 10" D.I. WATER MAIN
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING 10' UTILITY EASEMENT
 - EXISTING 10' GAS EASEMENT
 - EXISTING ACCESS EASEMENT
 - EXISTING BUILDING SETBACK LINE

UTILITY NOTES:

- PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO SPS 384.30(4).
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO SPS 384.30(2).
- A MEANS TO LOCATE BURIED UNDERGROUND EXISTING NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.30(11)(h) AND SPS 382.40(6)(k).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
- NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
- CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
- PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO

INSTALLATION OF ANY NEW UTILITIES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- ALL CONNECTIONS TO EXISTING INLETS SHALL BE MADE IN ACCORDANCE WITH CITY STANDARDS AND REQUIRE A CONCRETE COLLAR (SEE DETAIL) AROUND THE NEW CONNECTION.
- ALL WATER MAIN CHANGES IN DIRECTION OF 22.5° OR LARGER SHALL HAVE CONCRETE THRUST BLOCKING INSTALLED.
- CONTRACTOR IS TO COMPLETE TEST HOLES TO OBTAIN CROSSING ELEVATIONS AT ALL UTILITY CROSSING LOCATIONS TO VERIFY ELEVATIONS ARE NOT IN CONFLICT.
- CONTRACTOR SHALL USE CAUTION WHEN EXCAVATING FOR BUILDING NEAR WATERMAIN. BUILDING SHALL NOT BE CONSTRUCTED IN THE EASEMENT. CONTRACTOR TO COORDINATE EXCAVATION WITHIN EASEMENT WITH CITY.
- SURVEYOR SHALL CHECK ANY LOCATIONS WHERE PROPOSED SANITARY AND STORM SEWER IS CONNECTING INTO EXISTING SANITARY AND STORM SEWER TO VERIFY EXISTING INVERT ELEVATIONS. CONTACT ENGINEER WITH ANY PLAN DISCREPANCIES.



vierbicher

engineers | architects

1999 Fuller Drive, Suite 201, Madison, Wisconsin 53717

Phone: (608) 658-0332 Fax: (608) 658-0336

UTILITY PLAN

THE LAUREL AT KILKENNY FARMS

LOT 2 CSM #14357

VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	02/15/19		
VILLAGE SUBMITTAL			

DATE: October 4, 2018

DRAWN: JDOJ

CHECKED: DGLU

PROJECT NO.: 180276

SHEET: 8 OF 11

DWG. NO.: C-4.0

SCALE: 1"=30' (22"x34")

1"=60' (11"x17")

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD.
2. INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
3. PERFORM CURB CUT.
4. STRIP SITE TOPSOIL, CREATE BERM/WEEDER AND REMOVE EXCESS.
5. ROUGH GRADE FOR BUILDING PADS AND WALKS.
6. CONSTRUCT UNDERGROUND UTILITIES.
7. INSTALL INLET PROTECTION ON NEW INLETS.
8. CONSTRUCT WALKS, DRIVE, AND CURB AND GUTTER.
9. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH.
10. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED.

SEEDING RATES:

TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

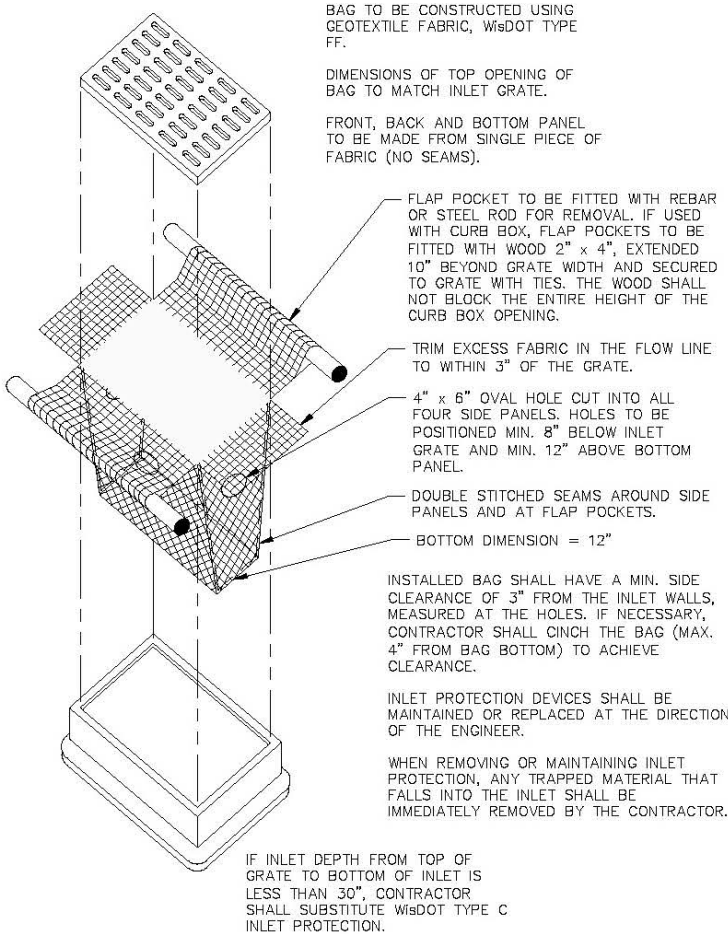
TEMPORARY AND PERMANENT:

- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

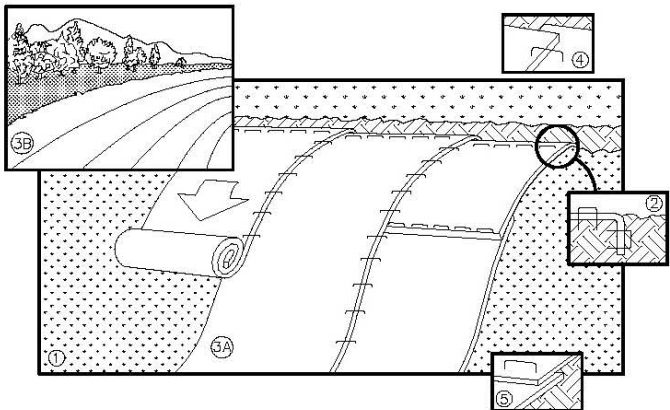
MULCHING RATES:

TEMPORARY AND PERMANENT:

- USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



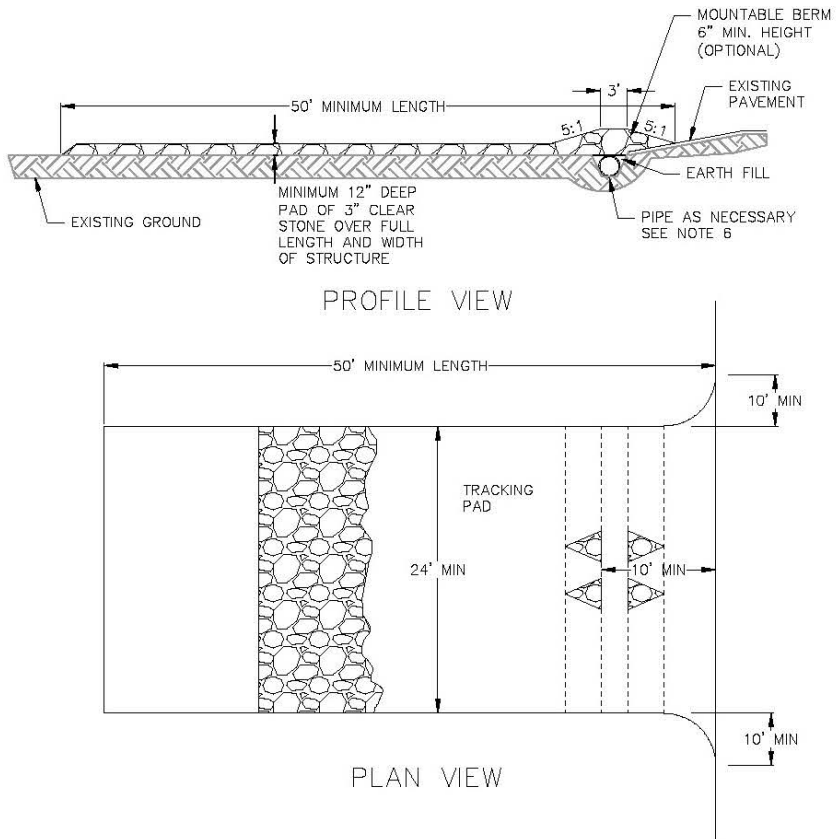
1 INLET PROTECTION TYPE D
C-5.0 NOT TO SCALE



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

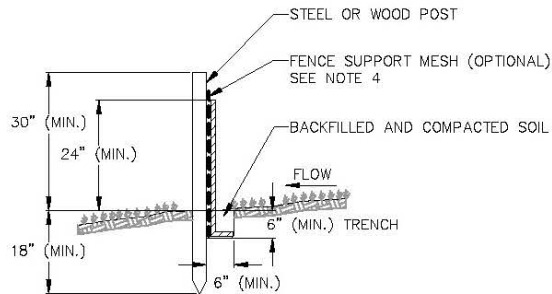
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
7. TYPE A, URBAN E-MAT SHALL BE USED WITHIN THE PUBLIC ROAD RIGHT OF WAY ON WEST END CIRCLE AND WALL STREET FOR RESTORATION. MULCH SHALL NOT BE USED WITHIN THE PUBLIC ROAD RIGHT OF WAY.

2 EROSION MAT
C-5.0 NOT TO SCALE



1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'.
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUNDWATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

3 TRACKING PAD
C-5.0 NOT TO SCALE

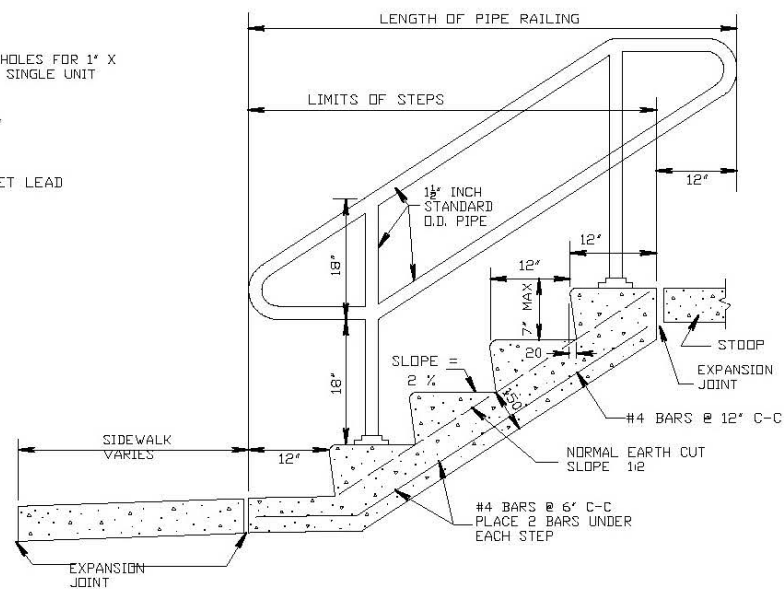
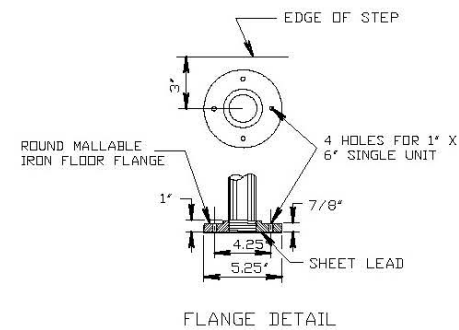
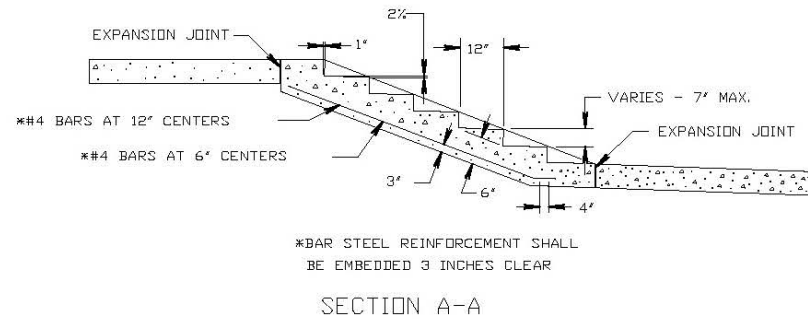


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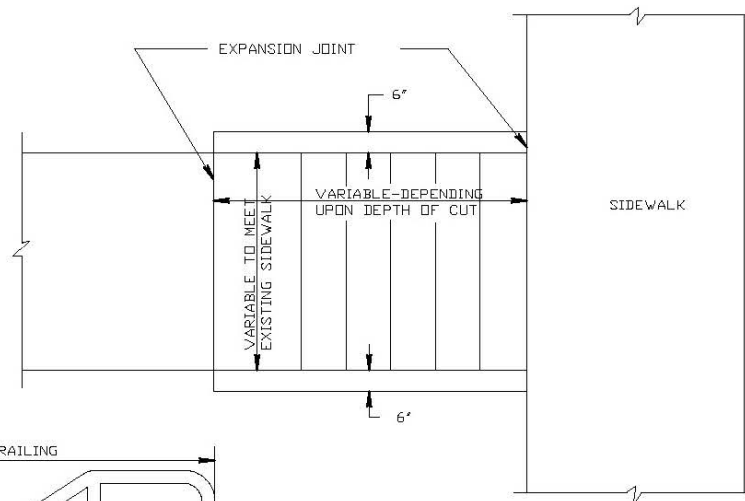
1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

4 SILT FENCE
C-5.0 NOT TO SCALE

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
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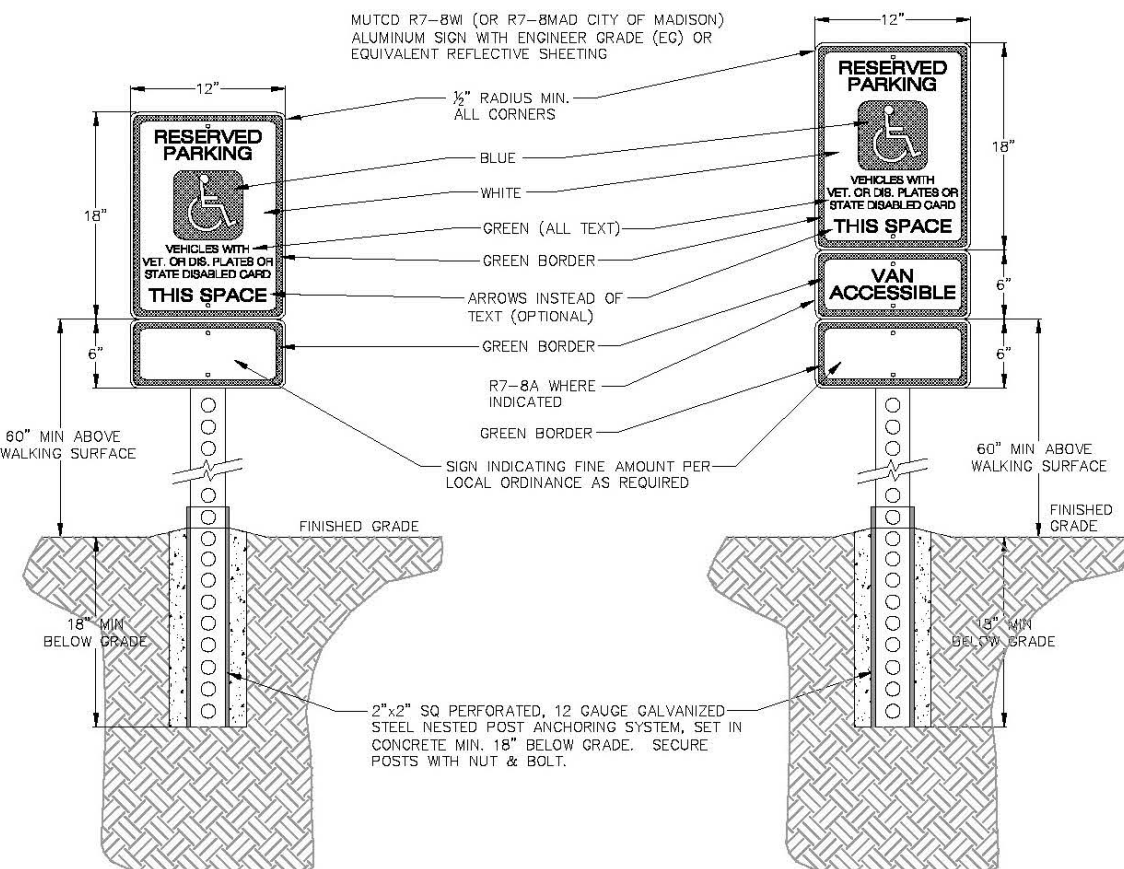


1 CONCRETE STAIRS
C-5.1 NOT TO SCALE



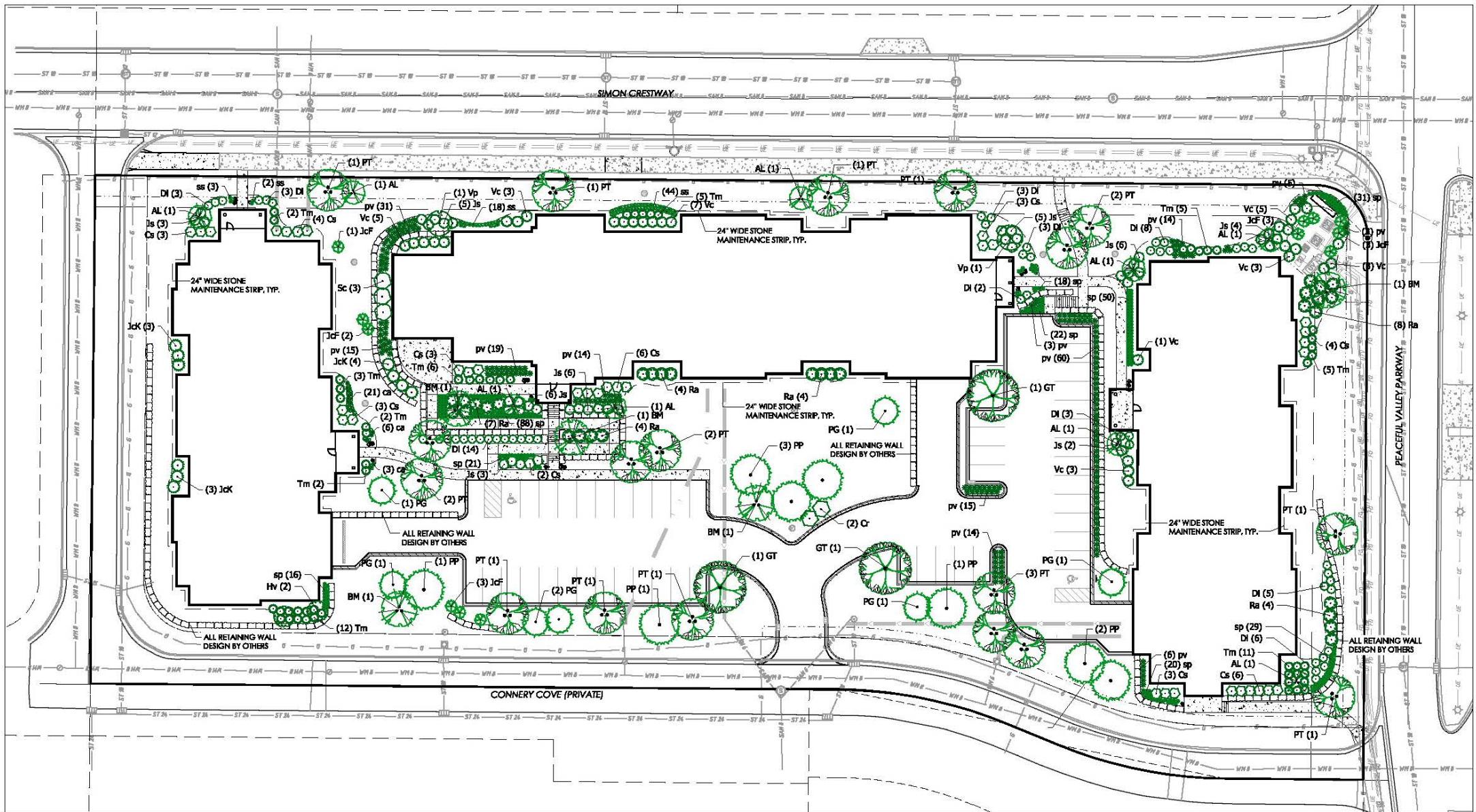
NOTE: THE EXACT LOCATION, WIDTHS, & NUMBER OF STEPS TO BE DETERMINED BY THE ENGINEER IN THE FIELD. STEEL REINFORCEMENT AND PIPE RAILING NOT REQUIRED ON STEPS WITH 2 RISERS OR LESS. MINIMUM WIDTH OF STEP EQUALS 12" RAILING TO BE PLACED ON LEFT ASCENDING SIDE OF STEPS ONLY.

NOTE: SIGN TO BE CENTERED AT THE INTERIOR END OF PARKING SPACE



2 HANDICAP SIGN DETAIL
C-5.1 NOT TO SCALE

REVISIONS		NO.	DATE	REMARKS
REVISIONS		NO.	DATE	REMARKS
SCALE		1"=30' (22"x34") 1"=60' (11"x17")		
DATE		October 4, 2018		
DRAFTER		JDOY		
CHECKED		DGLU		
PROJECT NO.		180276		
SHEET		10 OF 11		
DWG. NO.		C-5.1		



PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
AL	Ampelopsis leaves / Allegheny Serviceberry	B & B		6" ht. multi stem	9
BM	Betula x "Madison" / White Satin Birch	B & B		7" ht. multi stem	5
GT	Gleditsia triacanthos "Skyline" / Skyline Honey Locust	B & B	3" Cal		3
JcF	Juniperus chinensis "Fairview" / Fairview Juniper	B & B		5' ht.	12
PG	Picea glauca / White Spruce	B & B		7' ht.	7
PP	Picea pungens / Colorado Spruce	B & B		7' ht.	8
PT	Populus tremuloides / Quaking Aspen	10 gal		7' ht.	18
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
Cr	Cornus racemosa / Gray Dogwood	5 gal	Cont.		2
Cs	Cornus sericea "Alleman's Compact" / Dwarf Red Twig Dogwood	5 gal	Cont.		37
DI	Diervilla lonicera / Dwarf Bush Honeysuckle	5 gal	Cont.		50
Hv	Hamelis virginiana / Common Witch Hazel	10 gal	Cont.		2
Ra	Rhus aromatica "Gro-Low" / Gro-Low Fragrant Sumac	5 gal	Cont.		31
Sc	Sambucus canadensis / Elderberry	7 gal	Cont.		3
Vc	Viburnum cassinoides / Viburnum	5 gal	Cont.		30
Vp	Viburnum prunifolium / Blackhaw Viburnum	7 gal	Cont.		2
EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
JcK	Juniperus chinensis "Pfitzeriana Kallays Compacta" / Kally Pfitzer Compact Juniper	5 gal	Cont.		10
Js	Juniperus sabina "Buffalo" / Buffalo Juniper	5 gal	Cont.		40
Tm	Taxus x media "Everlow" / Everlow Yew	5 gal	Cont.		53
PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
ca	Carex grayi / Morning Star Sedge	4" pot	Cont.		30
pv	Panicum virgatum "Heavy Metal" / Blue Switch Grass	1 gal			199
ss	Schizachyrium scoparium / Little Bluestem Grass	1 gal			67
sp	Sporobolus heterolepis / Prairie Dropseed	1 gal			295

GENERAL NOTES:

1. All plantings shall conform to quality requirements as per ANSI Z60.1.
2. All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
3. Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
4. All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by LaCrosse Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
5. All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
6. Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
7. Landscape beds along building foundations to be mulched with 1.5" purple quartz stone to 3" depth over weed barrier fabric. Provide 24" wide stone maintenance strip with same stone/fabric where no landscaping is shown adjacent to building foundation. Site landscape beds to be mulched with undyed shredded hardwood bark to 3" depth min. Edge all unenclosed beds with commercial grade aluminum landscape edging, Permaloc ClearLine 3/8" x 4" or equal, color black anodized.
8. Provide 18-24" high purple quartz boulders at entrances as shown on plan. Arrange for natural appearance.



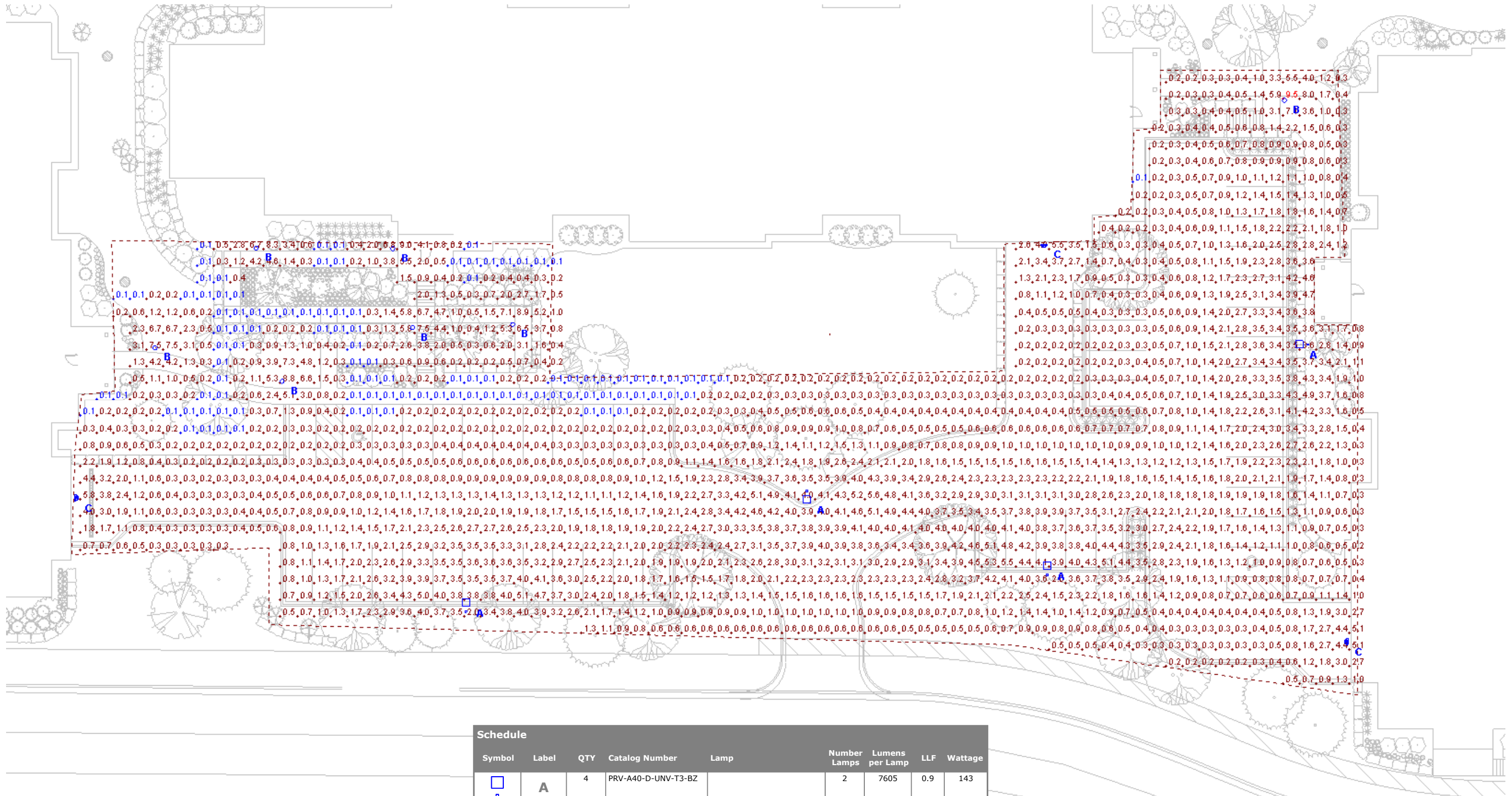
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viorbicher
planners | engineers | advisors
Phone: (608) 261-3898

LANDSCAPE PLAN
THE LAUREL AT KILKENNY FARMS
VILLAGE OF WAUNAKEE
DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	REMARKS
NO.	DATE	NO.	DATE
1	02/15/18		Village Submitted
DATE		February 4, 2019	
DRAFTER		SVIN	
CHECKED		JDOY	
PROJECT NO.		180276	
SHEET		11 OF 11	
DWG. NO.		L-1.0	



Schedule								
Symbol	Label	QTY	Catalog Number	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	A	4	PRV-A40-D-UNV-T3-BZ		2	7605	0.9	143
	B	7	PWY-EDG-5M-xx-02-E-UL-350-40K / BXBpx518E-UH7	Eighteen type XP-G2 LEDs	1	1779	0.9	21.3
	C	3	XTOR2B-W	EATON LED 4000K	1	2102	0.9	18.2

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.5 fc	9.5 fc	0.1 fc	95.0:1	15.0:1

DESCRIPTION

The Prevail LED area, site luminaire combines optical performance, energy efficiency and long term reliability in an advanced, patent pending modern design. Utilizing the latest LED technology, the Prevail luminaire delivers unparalleled uniformity resulting in greater pole spacing. A versatile mount standard arm facilitates ease of installation for both retrofit and new installations. With energy savings greater than 62%, the Prevail fixture replaces 150-450W metal halide fixtures in general area lighting applications such as parking lots, walkways, roadways and building areas.

SPECIFICATION FEATURES

Construction
Construction is comprised of a heavy-duty, single-piece die-cast aluminum housing. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. The die-cast aluminum door is tethered to provide easy access to the driver if replacement is required. A one-piece silicone gasket seals the door to the fixture housing. The optics is mounted on a versatile, aluminum plate that dissipates heat from the LEDs resulting in longer life of the fixture. The fixture is IP66 and 3G vibration rated (ANSI C136.31) to insure strength of construction and longevity in the selected application.

Optics
Precision molded, high efficiency optics are precisely designed to shape the distribution, maximizing efficiency and application spacing. Available in Type II, III, IV and V distributions with lumen packages ranging from 6,100 to 18,900 nominal lumens. Light engine configurations consist of 1 or 2 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L92/60,000 hours at 25°C) per IESNA TM-21. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed.

Electrical
LED drivers are mounted to the fixture for optimal heat sinking and ease of maintenance. Thermal management incorporates both conduction and convection to transfer heat rapidly away from the LED source for optimal efficiency and light output. Class 1 electronic drivers have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Available in 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. 10KV/10 KA surge protection standard. 0-10V dimming driver is standard with leads external to the fixture to accommodate controls capability such as dimming and occupancy. Suitable for ambient temperatures from -40°C to 40°C. Optional 50°C HA (high ambient) available. Standard NEMA 3-PIN twistlock photocontrol receptacle and NEMA 7-PIN twistlock photocontrol receptacles are available as options.

Controls
The Prevail LED luminaire control options are designed to be simple and cost-effective ASHRAE and California Title 24 compliant solutions. The ANSI C136.41 compliant NEMA 7-PIN receptacle enables wireless dimming when used with compatible photocontrol. An integrated dimming and occupancy sensor is a standalone control option available in on/off (MSP) and bi-level dimming

(MSP/DIM) operation. The optional LumaWatt Pro system is best described as a peer-to-peer wireless network of luminaire-integral sensors that operate in accordance with programmable profiles. Each sensor is capable of motion and photo sensing, metering power consumption and wireless communication.

Mounting
Standard pole mount arm is bolted directly to the pole and the fixture slides onto the arm and locks in place with a bolt facilitating quick and easy installation. The versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the standard mounting arm enables wiring of the fixture without having to access the driver compartment. A knock-out on the standard mounting arm enables round pole mounting. Wall mount and mast arm mounting options are available. Mast arm adapter fits 2-3/8" O.D. tenon.

Finish
Housing and cast parts finished in five-stage super TGIC polyester powder coat paint. 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Additional colors available in white, grey, black, dark platinum and graphite metallic.

Warranty
Five-year warranty.



PRV PREVAIL

LED

AREA / SITE / ROADWAY LUMINAIRE



CERTIFICATION DATA
UL and cUL Wet Location Listed
IP66-Rated
ISO 9001
DesignLights Consortium® Qualified*

ENERGY DATA
Electronic LED Driver
0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 and 60Hz
347V/60Hz, 480V/50Hz
-40°C Minimum Temperature Rating
+40°C Ambient Temperature Rating

EPA
Effective Projected Area (Sq. Ft.): 0.75

SHIPPING DATA
Approximate Net Weight:
20 lbs. (9.09 kgs.)

*www.designlights.org



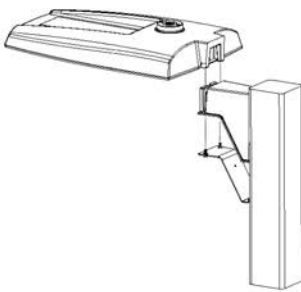
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Lumark

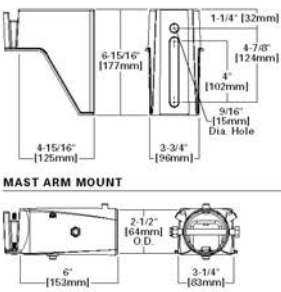
Catalog #	Type
Project	
Comments	Date
Prepared by	

page 2

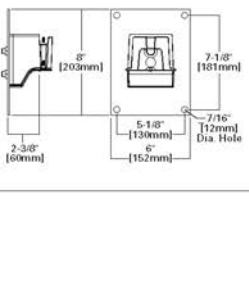
VERSATILE MOUNT SYSTEM



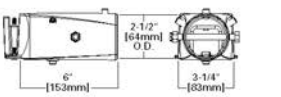
POLE MOUNT ARM



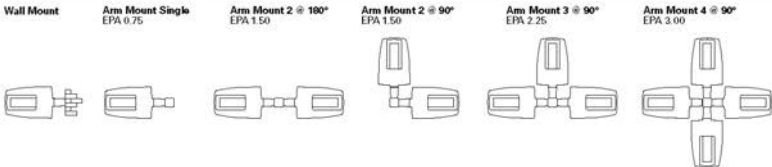
WALL MOUNT



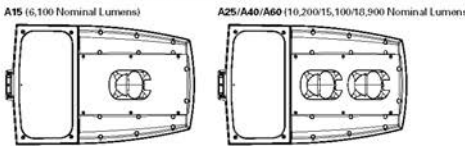
MAST ARM MOUNT



MOUNTING CONFIGURATIONS AND EPAS



OPTICAL CONFIGURATIONS



POWER AND LUMENS

Light Engine	A15	A25	A40	A60
Nominal Power (Watts)	57W	87W	143W	163W
Input Current @ 120V (A)	0.49	0.76	1.23	1.34
Input Current @ 277V (A)	0.22	0.35	0.54	0.60
Input Current @ 347V (A)	0.18	0.28	0.45	0.49
Input Current @ 480V (A)	0.13	0.21	0.33	0.35
Type II	Lumens: 6,129 BUG Rating: B1-U0-G1	Lumens: 10,204 BUG Rating: B2-U0-G2	Lumens: 15,073 BUG Rating: B3-U0-G3	Lumens: 18,830 BUG Rating: B3-U0-G3
Type III	Lumens: 6,192 BUG Rating: B1-U0-G2	Lumens: 10,292 BUG Rating: B2-U0-G3	Lumens: 15,203 BUG Rating: B2-U0-G3	Lumens: 18,992 BUG Rating: B3-U0-G4
Type IV	Lumens: 6,173 BUG Rating: B1-U0-G3	Lumens: 10,261 BUG Rating: B2-U0-G3	Lumens: 15,157 BUG Rating: B2-U0-G4	Lumens: 18,935 BUG Rating: B2-U0-G5
Type V	Lumens: 6,393 BUG Rating: B3-U0-G3	Lumens: 10,627 BUG Rating: B4-U0-G3	Lumens: 15,697 BUG Rating: B4-U0-G4	Lumens: 19,610 BUG Rating: B5-U0-G4

NOTE: Lumen output for standard bronze fixture color. Different housing colors impact lumen output. IES files for the non-standard colors are available upon request.



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page 3

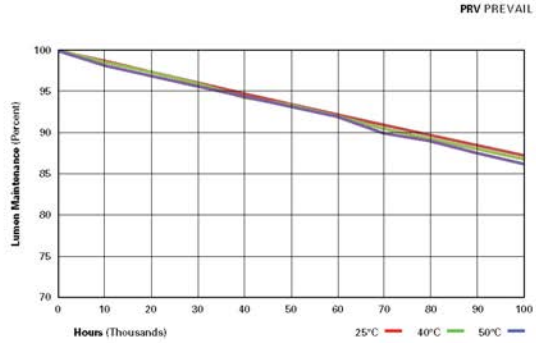
LUMEN MAINTENANCE

Ambient Temperature	25,000 Hours*	50,000 Hours*	60,000 Hours*	Theoretical 100,000 Hours	Theoretical L70 (Hours)*
25°C	> 96%	> 93%	> 92%	> 87%	> 260,000
40°C	> 96%	> 93%	> 92%	> 87%	> 255,000
50°C	> 95%	> 92%	> 91%	> 86%	> 250,000

*Per IESNA TM-21 data

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99



ORDERING INFORMATION

Product Family 1,2	Light Engine 3	Driver 4	Voltage	Distribution	Mounting	Color 6
PRV-Prevail	A15-(1 LED) 6,100 Nominal Lumens A25-(2 LEDs) 10,200 Nominal Lumens A40-(2 LEDs) 15,100 Nominal Lumens A60-(2 LEDs) 18,900 Nominal Lumens	D-Dimming (0-10V)	UNV-Universal (120-277V) 347-347V 480-480V *	T2-Type II T3-Type III T4-Type IV T5-Type V	SA-Standard Versatile Arm MA-Mast Arm WM-Wall Mount Arm	AP-Grey BZ-Bronze (Standard) BK-Black DP-Dark Platinum GM-Graphite Metallic WH-White
Options (Add as Suffix)			Accessories (Order Separately) **			
7030-70 CRI / 2000K CCT * 7050-70 CRI / 5000K CCT * 10K-10K/10KA UL 1449 Fused Surge Protective Device LWR-LW-LumaWatt Pro Wireless Sensor, Wide Lens for 8' - 16' Mounting Height *** LWR-LH-LumaWatt Pro Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height *** MSP/DIM-L12-Integrated Sensor for Dimming Operation, 8' - 12' Mounting Height MSP/DIM-L30-Integrated Sensor for Dimming Operation, 12' - 30' Mounting Height MSP-L12-Integrated Sensor for ON/OFF Operation, 8' - 12' Mounting Height MSP-L30-Integrated Sensor for ON/OFF Operation, 12' - 30' Mounting Height PER-NEMA 3-PIN Twistlock Photocontrol Receptacle ** HSS-House Side Shield HA-50°C High Ambient Temperature L90-Optics Rotated 90° Left R90-Optics Rotated 90° Right			PRVWM-XX-Wall Mount Kit PRVMA-XX-Mast Arm Mounting Kit PRVSA-XX-Standard Arm Mounting Kit HS-VERD-House Side Shield MA1010-XX-Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX-2 @120° Tenon Adapter for 3-1/2" O.D. Tenon MA1012-XX-3 @120° Tenon Adapter for 3-1/2" O.D. Tenon MA1013-XX-4 @90° Tenon Adapter for 3-1/2" O.D. Tenon MA1014-XX-2 @90° Tenon Adapter for 3-1/2" O.D. Tenon MA1015-XX-2 @120° Tenon Adapter for 3-1/2" O.D. Tenon MA1016-XX-3 @90° Tenon Adapter for 3-1/2" O.D. Tenon MA1017-XX-Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX-2 @180° Tenon Adapter for 2-3/8" O.D. Tenon MA1019-XX-3 @120° Tenon Adapter for 2-3/8" O.D. Tenon MA1045-XX-4 @90° Tenon Adapter for 2-3/8" O.D. Tenon MA1046-XX-2 @90° Tenon Adapter for 2-3/8" O.D. Tenon MA1049-XX-3 @90° Tenon Adapter for 2-3/8" O.D. Tenon MA1019-XX-2 @120° Tenon Adapter for 2-3/8" O.D. Tenon OA/RA1013-Photocontrol Shorting Cap OA/RA1014-NEMA Photocontrol - 120V OA/RA1027-NEMA Photocontrol - 480V OA/RA1201-NEMA Photocontrol - 347V ISHW-01-Integrated Sensor Programming Remote			

- NOTES:
- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to installation instructions (B500002EN and pole white paper WPS13001EN for additional support information.
 - DesignLights Consortium® Qualified and classified for DLC Standard, refer to www.designlights.org for details.
 - Standard 4000K CCT and 70 CRI.
 - Consult factory for driver surge protection values.
 - Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Deltas, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
 - Different housing colors impact lumen output. IES files for the non-standard colors are available upon request.
 - Extended lead times apply. Use dedicated IES files for 3000K and 5000K when performing layouts. These files are published on the Prevail luminaire product page on the website.
 - LumaWatt Pro wireless sensors are factory installed and require network components LWRM-1, LWRGW-1, and LWRP-01 in appropriate quantities. See website for LumaWatt Pro application information.
 - LumaWatt Pro wireless system is not available with photocontrol receptacle (Not needed).
 - Not available in conjunction with A60 lumen package at HA (High Ambient).
 - Not available with MSP or LWR options.
 - Replace 'X' with paint color.

STOCK ORDERING INFORMATION

Product Family	Light Engine	Voltage	Distribution	Options (Add as Suffix)
PRVS-Prevail	A15-(1 LED) 6,100 Nominal Lumens A25-(2 LEDs) 10,200 Nominal Lumens A40-(2 LEDs) 15,100 Nominal Lumens A60-(2 LEDs) 18,900 Nominal Lumens	UNV-Universal (120-277V) 347-347V	T3-Type III T4-Type IV	MSP/DIM-L30-Integrated Sensor for Dimming Operation, Maximum 30' Mounting Height

NOTE: Bronze only, 4000K CCT, 120-277V, 347V, standard mounting arm, standard non-fused 10KV MOV and 0-10V dimming.



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Powering Business Worldwide



Designer

Date

2/5/2019

Scale

Not to Scale

Drawing No.

Summary

Stormwater Management Summary

The Laurel at Kilkeny Farms

Lot 2, CSM#14357

Village of Waunakee, Wisconsin

Prepared For:
Steve Brown Apartments
120 W. Gorham St.
Madison, WI 53703

Prepared By:
Vierbicher
999 Fourier Drive, Suite 201
Madison, WI 53717

Prepared On:
February 13, 2019

Project #180276

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Narrative

1.1 Introduction

The purpose of this stormwater management summary is to evaluate the impacts of the stormwater runoff leaving the site, to verify assumptions, and to ensure that the stormwater requirements are being met. A full stormwater report, including erosion control calculations, shall be provided with the land disturbing and stormwater management permit applications.

The site is located at the southeast corner of the intersection of Simon Crestway and Peaceful Valley Parkway in the Village of Waunakee (Village). The area of the project is approximately 3.5 acres. The project involves construction of three apartment buildings and associated parking.

The stormwater runoff from the site currently is conveyed by storm sewer to regional stormwater management facilities southeast of the site. These regional stormwater management facilities will be utilized after construction to address some of the stormwater requirements for the site. Stormwater infiltration facilities shall be provided onsite to address an additional Village stormwater management requirement. These infiltration facilities shall have maintenance provisions, which shall be outlined in a stormwater management maintenance agreement. This agreement shall be recorded prior to obtaining building occupancy.

1.2 Soils Description

A Geotechnical Report is included in Section 2. According the report, there are underlying sandy soils suitable for infiltration. Soil Borings B-4, B-5, and B-6 are located in the proximity of the proposed infiltration facilities. The existing topsoil, fill, and clay material will be removed and backfilled with native sandy material to the bottom of the infiltration facility. An infiltration rate of 0.5"/hr was assumed in the design calculations.

1.3 Design Criteria


Stormwater quality and rate control requirements are being met at the regional stormwater management facilities southeast of the site. According to the Village, each commercial site within the Kilkeny Farms plat is required to infiltrate the volume of 0.5" of runoff from the proposed driveways, parking areas, and sidewalks. Although this project is a multifamily use, it is understood that it is considered a commercial site for this infiltration requirement.

1.4 Summary of Results

The required infiltration volume was determined by taking the areas of the proposed driveways, parking areas, and sidewalks and multiplying this area by the average annual rainfalls that are 0.5" or less. The areas of proposed driveways , parking areas, and sidewalks adds up to 25,200 square feet (SF). The total average annual rainfall for this region is 28.81", however 10.52" are from events that exceed 0.5" in depth. The resulting rainfall total (only including the 0.5" or less) is 18.29".

The required infiltration volume is 25,200 SF X 18.29" = 38,405 cubic feet (CF)





vierbicher
planners | engineers | advisors
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999 Fourier Drive, Suite 201, Waunakee, Wisconsin 53717
Phone: (608) 622-0332 Fax: (608) 622-0336

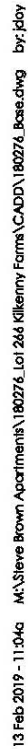
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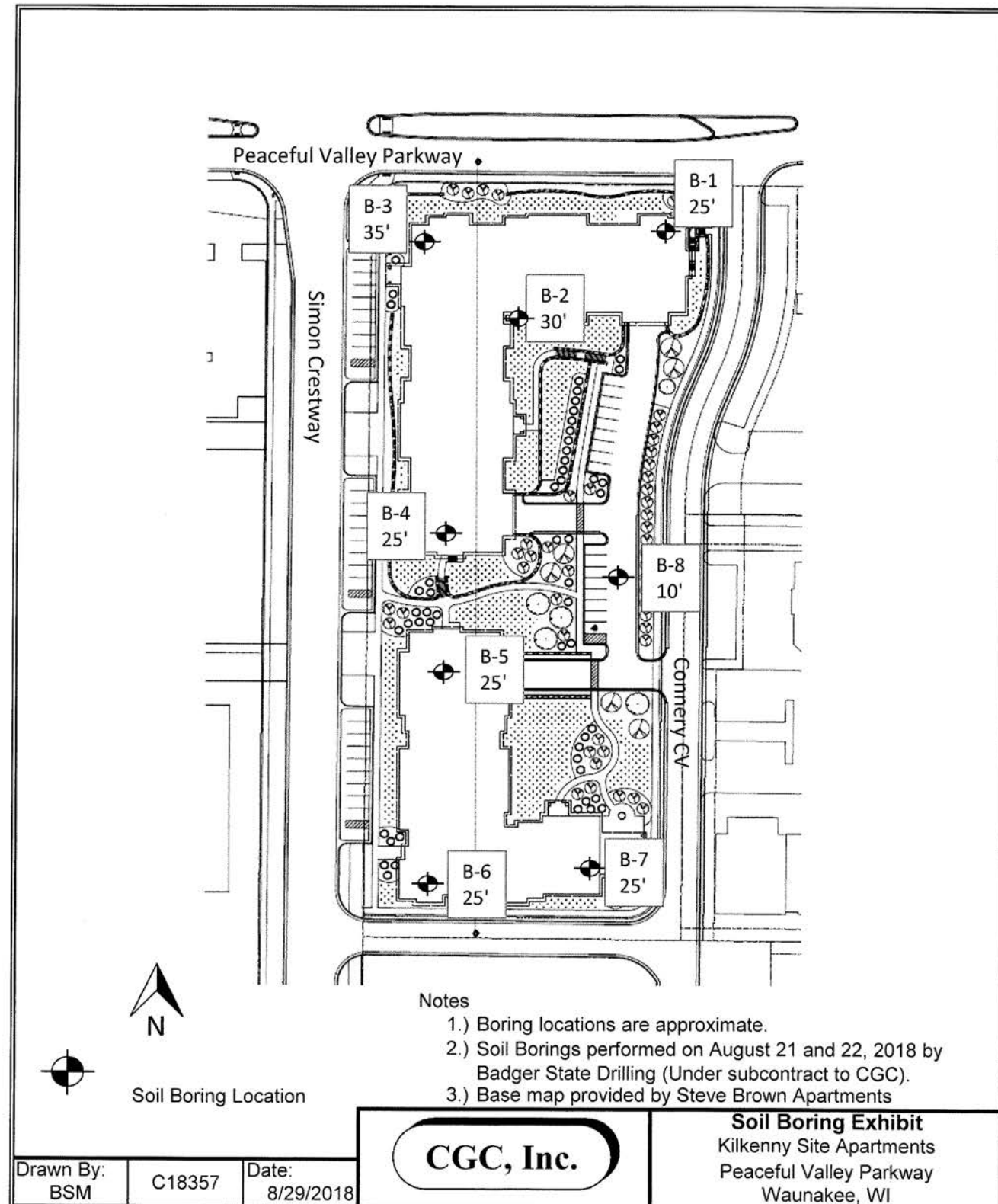
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SECTION 2

Geotechnical Report

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		LOG OF TEST BORING		Boring No. 5					
Project Kilkenny Site Apartments		Surface Elevation (ft) 921 +/-		Job No. C18357					
Location Waunakee, Wisconsin		Sheet 1 of 1							
2921 Perry Street, Madison, WI 53713 (608) 288-4100, FAX (608) 288-7887									
SAMPLE		VISUAL CLASSIFICATION and Remarks		SOIL PROPERTIES					
No.	Rec (in.)	Moist	N	Depth (ft)	qu (qa) (tsf)	W	LL	PL	LI
1	10	M	10	0	6 in. TOPSOIL (OL)				
2	12	M	9	1	Very Stiff to Hard, Brown Lean CLAY (CL)	(3.75)			
3	14	M	8	2		(4.5+)			
4	14	M	20	3		(2.25)			
5	16	M	21	4	Medium Dense, Brown Fine to Medium SAND, Some Silt and Gravel, Scattered Cobbles/Boulders (SM)				
6	18	M	23	5					
7	18	W	13	6					
				7	More Silty below 23.5 ft				
				8	End of Boring at 25 ft				
				9	Borehole Backfilled with Bentonite Chips				
				10					
				11					
				12					
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				30					
				31					
				32					
				33					
				34					
				35					
WATER LEVEL OBSERVATIONS				GENERAL NOTES					
While Drilling <input checked="" type="checkbox"/> 22.8' Upon Completion of Drilling <input type="checkbox"/>				Start 8/22/18 End 8/22/18					
Time After Drilling <input type="checkbox"/> 0.5 hr				Driller BSD Chief MC Rig D-50					
Depth to Water <input type="checkbox"/> 21'				Logger MG Editor BSM					
Depth to Cave in <input type="checkbox"/>				Drill Method 2.25" HSA; Autohammer					
The stratification lines represent the approximate boundary between soil types and the transition may be gradual.									

		LOG OF TEST BORING		Boring No. 6					
Project Kilkenny Site Apartments		Surface Elevation (ft) 925 +/-		Job No. C18357					
Location Waunakee, Wisconsin		Sheet 1 of 1							
2921 Perry Street, Madison, WI 53713 (608) 288-4100, FAX (608) 288-7887									
SAMPLE		VISUAL CLASSIFICATION and Remarks		SOIL PROPERTIES					
No.	Rec (in.)	Moist	N	Depth (ft)	qu (qa) (tsf)	W	LL	PL	LI
1	18	M	6	0	3.5 in. TOPSOIL FILL (OL)				
2	14	M	17	1					
3	16	M	9	2	FILL: Medium Dense, Brown Fine to Medium Sand, Some Silt and Gravel				
4	10	M	6	3	Very Stiff, Brown Lean CLAY (CL)	(3.0)			
5	14	M	22	4		(2.5)			
6	16	M	17	5	Medium Dense, Brown Fine to Medium SAND, Some Silt and Gravel, Scattered Cobbles/Boulders (SM)				
7	18	M	25	6					
				7					
				8					
				9					
				10					
				11					
				12					
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WATER LEVEL OBSERVATIONS				GENERAL NOTES					
While Drilling <input checked="" type="checkbox"/> NW Upon Completion of Drilling <input type="checkbox"/>				Start 8/22/18 End 8/22/18					
Time After Drilling <input type="checkbox"/>				Driller BSD Chief MC Rig D-50					
Depth to Water <input type="checkbox"/>				Logger MG Editor BSM					
Depth to Cave in <input type="checkbox"/>				Drill Method 2.25" HSA; Autohammer					
The stratification lines represent the approximate boundary between soil types and the transition may be gradual.									



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