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**VILLAGE OF WAUNAKEE / TOWN OF WESTPORT  
JOINT PLAN COMMISSION  
Town of Westport Community Room  
5387 Mary Lake Road  
April 9, 2019 6:00 PM**

Agendas may change prior to the commencement of the meeting.  
Please check the posting board at the Village Hall, 500 W. Main Street,  
Waunakee, Wisconsin for the current agenda.

**AGENDA**

**CALL TO ORDER**

**ROLL CALL: Ken Sipsma, Dean Grosskopf, Eileen Bruskewitz, Brad Zeman, Brian Malich, Tim Black**

**MINUTES**

**1 March 12, 2019**

**PUBLIC COMMENT ON ITEMS NOT ON THE AGENDA**

**NEW BUSINESS**

- 1 Initial Consultation, Lot Line Adjustment and Rezone (Continue Current Use), Meffert/Pineview, CTH K, Town of Westport**
- 2 Conceptual Review, Festival Foods, to be Located in the Kilkenny Farms West Commercial Center at the Southwest Corner of Woodland Drive and County Highway Q**
- 3 Public Hearing and Discussion/Action on a request from Kilkenny Farms West, LLC to approve a General Development Plan (GDP) for Kilkenny Farms West Commercial Center at the southwest corner of Woodland Drive and County Highway Q**
- 4 Discuss and take action on a Certified Survey Map for Kilkenny Farms West Commercial Center at the southwest corner of Woodland Drive and County Highway Q**



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- 5      **Public Hearing and Discussion/Action on Request by The Laurel Apartment Complex, Kilkenny Commons, for a Conditional Use Permit to Exceed the Maximum Height Limit for Portions of the Gabled Roof**
  - 6      **Discuss and Take Action on Site Plan/Specific Implementation Plan for The Laurel Apartment Complex, Kilkenny Commons**
  - 7      **Discussion of HyVee Specific Implementation Plan and Request for Conditional Use Permit**

## **ADJOURN**

Any person who has a qualifying disability as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format should contact the municipal clerk at (608) 850-8500, 500 West Main Street, Waunakee, Wisconsin, at least twenty-four hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

### **VILLAGE OF WAUNAKEE BOARD AND PLAN COMMISSION MEETING TOWN OF WESTPORT BOARD AND PLAN COMMISSION MEETING**

Notice is hereby given that the Village or Town Board or Village or Town Plan Commission may attend this meeting. No action will be taken by the Village or Town Board or Village or Town Plan Commission at this meeting.

*Next scheduled meeting is 5/14/2019 6:00:00 PM.*

**VILLAGE OF WAUNAKEE/TOWN OF WESTPORT  
JOINT PLAN COMMISSION MEETING  
Town of Westport Community Room  
5387 Mary Lake Road, Town of Westport  
March 12, 2019 6:00 PM**

**Meeting Minutes**

**CALL TO ORDER**

The meeting was called to order at 6:04 p.m.

**ROLL CALL:**

**Present:** Ken Sipsma, Eileen Bruskewitz, Brad Zeman, Brian Malich,

**Absent:** Tim Black, Dean Grosskopf

**Also Present:** Tom Wilson, Kevin Even, Tracy Meinholz, Bryan Kleinmaier, Ed Freer, Dennis Steinkraus, Bill & Cyndi Kennedy, Karen Wilke, John Drury, Madison Graf, Dave Gulsick, David Korb, Hannah Korb, Steve Jacquot, Keenan Korb, Melanie Lee, Pat Teslaw, Kyle Adams, Arnold & Jean Bye, Mark & Mary Ripp, Joanne Koster, Jason Ford, Bree Cooper, Max Jacobson, Pete Hebsch, Jerry & Monica Paffenroth, Dan O'Callighan.

**MINUTES**

**1 September 11, 2018**

**2 December 11, 2018**

Motion Zeman, second by Bruskewitz, to approve the minutes of the September and December 2018 meetings. Motion carried 4-0.

**PUBLIC COMMENT:** None

**OLD BUSINESS**

**1 Public Hearing and Discussion/Action on a Request by Drumlin Ridge Farm Vineyards LLC to Amend the Existing Conditional Use Permit for 6000 River Road**

Mr. Wilson presented the proposed changes to the CUP documents and went over some of the concerns raised by the neighbors. The public hearing was opened at 6:15 p.m. Pat Teslaw, Mark & Mary Ripp, Arnold Bye, Joanne Koster, and Jerry Paffenroth registered as opposed to the changes. Karen Wilke, Hannah Korb, Steve Jacquot, Keenan Korb registered in support. There were also several emails and letters submitted in support of the proposal and some opposed that were noted for the record. The public hearing was closed at 6:27 p.m. Motion Bruskewitz, second Zeman, to approve the amendment to the CUP based on findings noted in the proposed revised agreement that shows the proposal meets the Village Code CUP standards, and subject to 1) meeting all Village Codes 2) the 5 year review period stays in place 3) staff to further investigate neighbor complaints, make recommendations for mitigation, and to report back to the JPC if further action is needed to compel action. Motion carried 4-0.

**2 Public Hearing and Discussion/Action on a Request by Wisconsin Scaryland to Extend the Original Conditional Use Permit for 5305 County Highway M for an Additional Two Years**

Mr. Wilson presented the proposal to extend the CUP for an additional two years. The public hearing was opened at 6:51 p.m. No one present wished to speak. The public hearing was closed at 6:53 p.m. Motion Zeman, second Bruskewitz, to approve the 2 year extension based on

meeting the standards for an extension contained in the current CUP document. Motion carried 4-0.

- 3 **Westport Commercial Development Design Guidelines Discussion/Recommendation**  
Motion Bruskewitz, second Malich, to acknowledge the use of and recommend approval subject to minor revisions as may be necessary to correct errors. Motion carried 4-0.

## **NEW BUSINESS**

- 1 **Public Hearing and Discussion/Action on Woodland Crest General Development Plan and Zoning Related to the Annexation Petition**  
Village Attorney, Bryan Kleinmaier, presented the proposed GDP and zoning related to the development. The public hearing was opened at 7:01 p.m. Bill Kennedy asked for clarification on the convenience store component. The public hearing was closed at 7:03 p.m. Motion Zeman, second Bruskewitz, to recommend Village Board approval of the rezone and GDP, subject to any changes by the Village Attorney and Village Engineer including the limit of uses for Lot 1 to a grocery store and convenience store. Motion carried 4-0.
- 2 **Discuss and Take Action on Annexation Petition, Preliminary Plat, and Final Plat for Woodland Crest**  
Bryan Kleinmaier presented the proposal for development of phase 1 to include the extension of Simon Crestway, pedestrian paths, Sara Lane improvements, water main extension across CTH Q, and a signalized intersection at Simon Crestway and Woodland Drive. Motion Malich, second Bruskewitz, to recommend approval of the annexation petition, preliminary plat and final plat, to Village Board, subject to all staff concerns resolved to the satisfaction of the Village Engineer. Motion carried 4-0.
- 3 **Public Hearing and Discussion/Action on an Amendment to the Kilkenny Commons General Development Plan for Setbacks**  
Staff explained that this GDP amendment will only reduce the setback on one lot and will allow staff to work with the applicant on sidewalk issues requested by the Village Plan Commission. The public hearing was opened at 7:14 p.m. No one present wished to speak. The public hearing was closed at 7:16 p.m. Motion Malich, second Bruskewitz, to recommend approval of the GDP amendment to the Village Board subject to final adjustments approved by the Utility Manager, Village Attorney, and Village Engineer. Motion carried 4-0.
- 4 **Discuss and Take Action on Specific Implementation Plan for The Laurel at Kilkenny Multi-Family Development**  
Staff stated that the Village PC deferred action till April to allow the applicant to apply for the required CUP for a height exception and work with staff on outstanding issues with the SIP. No action taken.
- 5 **Initial Consultation, Rezone to Allow Duplex Condominium on single Family Lot, Lot 15 Rankin Lane, Town of Westport**  
Mr. Wilson stated that the Town PC had directed the applicant to meet with the neighbors prior to making a submittal. No action taken.

## **ADJOURN**

Motion Malich, second Bruskewitz, to adjourn the meeting at 7:25 p.m. Motion carried.



**Respectfully Submitted:**

Tracy Meinholz, Joint Plan Commission Secretary



**JOINT PLAN COMMISSION SUMMARY SHEET**

**MEETING DATE:** 04/09/2019

**ITEM:** NEW BUSINESS

**TITLE:** Initial Consultation, Lot Line Adjustment and Rezone (Continue Current Use), Meffert/Pineview, CTH K, Town of Westport

**PREVIOUS ACTION:** None

**ISSUE SUMMARY:** The applicant would like to adjust the size of three adjacent lots located on CTH K for estate planning purposes. Staff will need to review the lots and determine the appropriate zoning for each.

**BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:** None

**STAFF RECOMMENDATION:** None

**RECOMMENDED MOTION:** None. This is for consult only.

**STAFF AGENDA MEMORANDUM**  
**TOWN OF WESTPORT**  
REGULAR PLAN COMMISSION MEETING  
Kennedy Administration Building  
Community Meeting Room  
5387 Mary Lake Road  
Town of Westport, Wisconsin

Monday, April 8, 2019 7:00 p.m.

1. Call to Order
2. Public Comment On Matters Not On the Agenda
3. Approve Minutes.

*For the 3/11/19 meeting minutes.*

4. Initial Consultation, Lot Line Adjustment and Rezone (Continue Current Uses),  
Meffert/Pineview, 5964 and 6000 CTH K

*The Mefferts would like to take the three parcels they have along CTH K, which include an open parcel, their home, and the Pineview Vet Clinic and Hospital, and recreate them in a size and zoning classification for each which makes sense. They have the appropriate zoning now for all, but would really like to size the vet facility parcel to better fit the use and buildings. This would mean taking land from that parcel and adding it to the smaller parcel which is sandwiched between the home and vet facility. There is a previous land division for the home site which did restrict the property to no further land division, so that is something to take in to consideration. Right now it is arguable whether this sandwiched parcel is buildable based on its size, these previous restrictions, and because it appears it might have been purchased by the owners of the home lot from the neighboring parcel to add land needed to make sure the buildings were legally placed. You could clarify that buildability one way or the other here. All of the land except that on which the vet facility sits is zoned County RH-3 to allow rural homes (8 acres minimum) and located in the Waunakee ETZ area. The land between the clinic and the home is farmed currently.*

*If you do clarify that the middle parcel is buildable, then it should probably share a driveway with the current home to limit access on CTH K, the no further land division or building site creation restriction should carry through, and we may want to them straighten the parcel border to create a more appropriately and even sized lot rather than have two odd shaped lots here.*

*The lands are within the Rural Preservation District of our Comprehensive Plan, which provides that any non-farm development is not to have an adverse impact on adjoining farms. This land division and clarifying zoning would not impact access to the Ken Hellenbrand 220 acre farmed land north and east of these parcels.*

***RECOMMENDATION: This is a consult so no action is to be taken but please advise the owners of concerns.***

5. Park Committee Report/Items for Action  
***Terry, if present, will give a report on recent Committee work.***
6. Historic Preservation Committee Report/Items for Action  
***Joe, if present, will give a report on recent Committee work.***
7. Waunakee/Westport Joint Planning Committee Report/Items for Action  
***An oral report will be provided as necessary.***
8. Middleton/Westport Joint Zoning Committee Report/Items for Action  
***An oral report will be provided as necessary.***
9. Miscellaneous/Forthcoming Events  
***An oral report will be provided as necessary.***
10. Adjourn



# **WILLIAMSON SURVEYING & ASSOCIATES, LLC**

104A WEST MAIN STREET, WAUNAKEE, WI 53597

**NOA T. PRIEVE and CHRIS W. ADAMS**

PHONE: 1-608-255-5705 WEB: WILLIAMSONSURVEYING.COM

## **Letter of Intent**

Randy and Laura Meffert are trying to complete some estate planning for their home property and business that is located on County Trunk Highway "K". They currently own 3 parcels, the veterinary clinic parcel, their home parcel and a small piece of land that was purchased between the 2 parcels. Currently there is the existing veterinary clinic and kennels on the far western part of their land and their existing House and a couple of sheds/garage located toward the far eastern part of their land. There is a large gap of land between the 2 existing structures that the Meffert's had always intended to create an additional residential parcel. As part of the estate planning, they also would like to make the veterinary clinic parcel smaller for when Laura retires and they sell the business.

The proposed rezone and CSM request would modify/solidify the Veterinary Clinic parcel and zoning, square up and give the Meffert's existing home and buildings more room for side and rear yards, and would create 1 new residential lot between the existing structures. It is understood that a new driveway would most likely not be approved by the county and a shared driveway would be necessary for the is new lots access.

The proposed veterinary clinic parcel would be zoned Commercial and would be 3.10 acres. the proposed new residential lot would be zoned A-1 and would be 6.19 acres. The Meffert's existing home site would also be zoned A-1 and would be 7.06 acres.

There are no plans for changes to any of the properties at this time. At a later date, the new residential lot could be sold off and a new owner would need to apply for building permits at that time.



*CERTIFIED SURVEY MAP*

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE & CHRIS W. ADAMS, REGISTERED LAND SURVEYORS  
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

PART OF THE SE ¼ & SW ¼ OF THE SW ¼ OF SECTION 20, T8N R9E,  
TOWN OF WESTPORT, DANE COUNTY, WISCONSIN

**NOTES:**

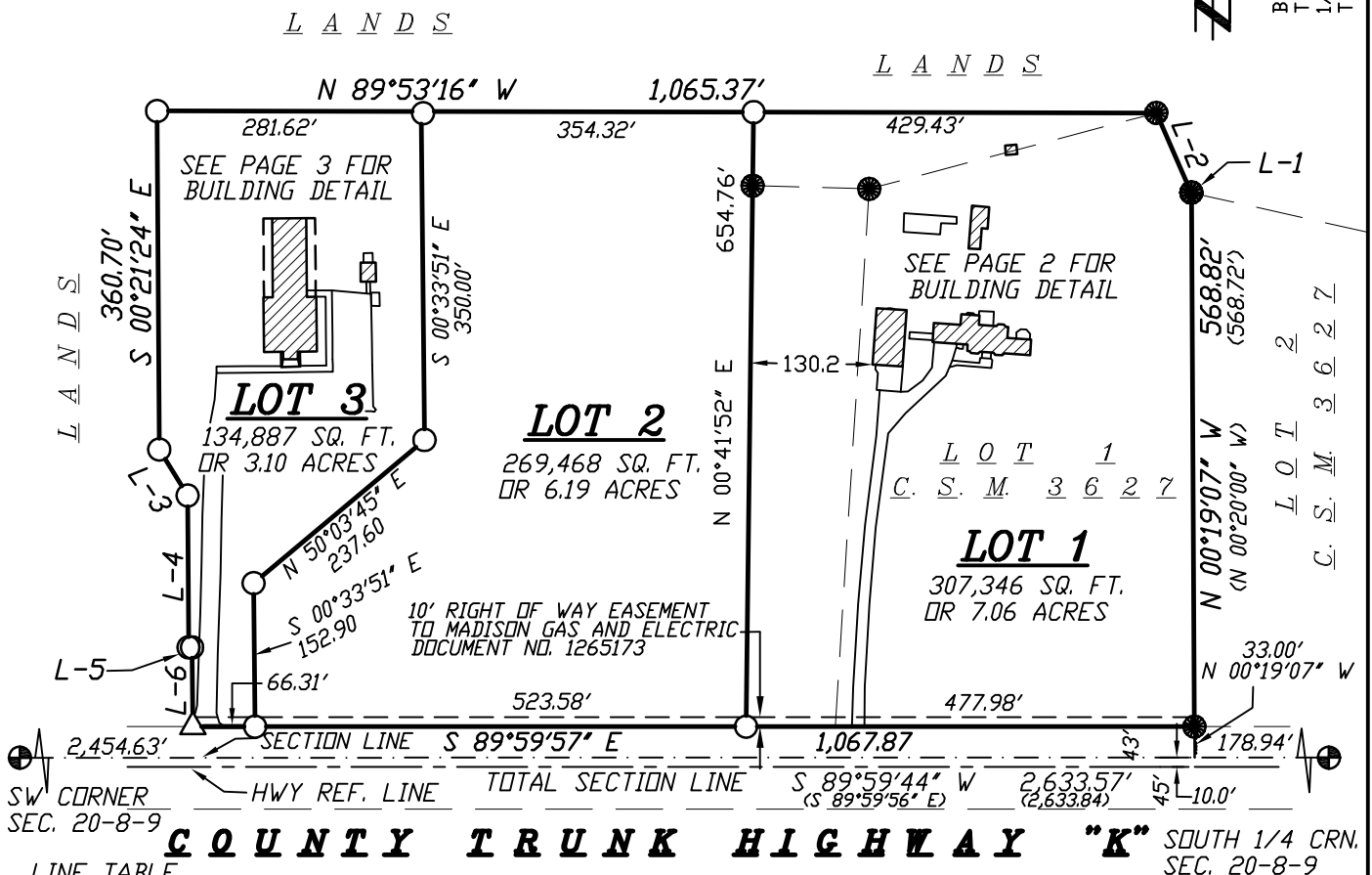
1.) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.

2.) WETLANDS AND FLOOD PLAIN, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.

**PREPARED FOR:**

RANDY MEFFERT  
5964 C.T.H. "K"  
WAUNAKEE, WI 53597

SCALE 1" = 200'



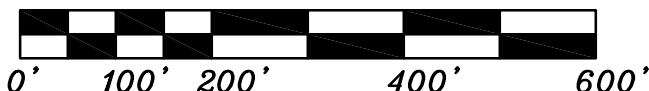
L-#	BEARING	DIST.
L-1	(N 78°19'13" W) N 77°23'09" W	(0.26') 0.28'
L-2	(N 23°27'37" W) N 23°36'19" W	(92.69') 92.77'
L-3	S 31°43'45" E	57.62'
L-4	S 00°21'24" E	161.85'
L-5	N 89°59'44" E	3.69'
L-6	S 00°33'51" E	84.41'

**LEGEND:**

- = SET 3/4"x24" REBAR  
WT 1.5 LB PER LIN FT  
△ = SET STEEL SURVEY SPIKE  
● = FOUND 3/4" REBAR  
⊕ = FOUND DANE COUNTY  
SECTION CORNER  
(##) = RECORDED AS

**SURVEYORS SEAL**

SCALE 1" = 200'



DOCUMENT NO.

CERTIFIED SURVEY MAP NO.

Sheet 1 of 5

19W-53

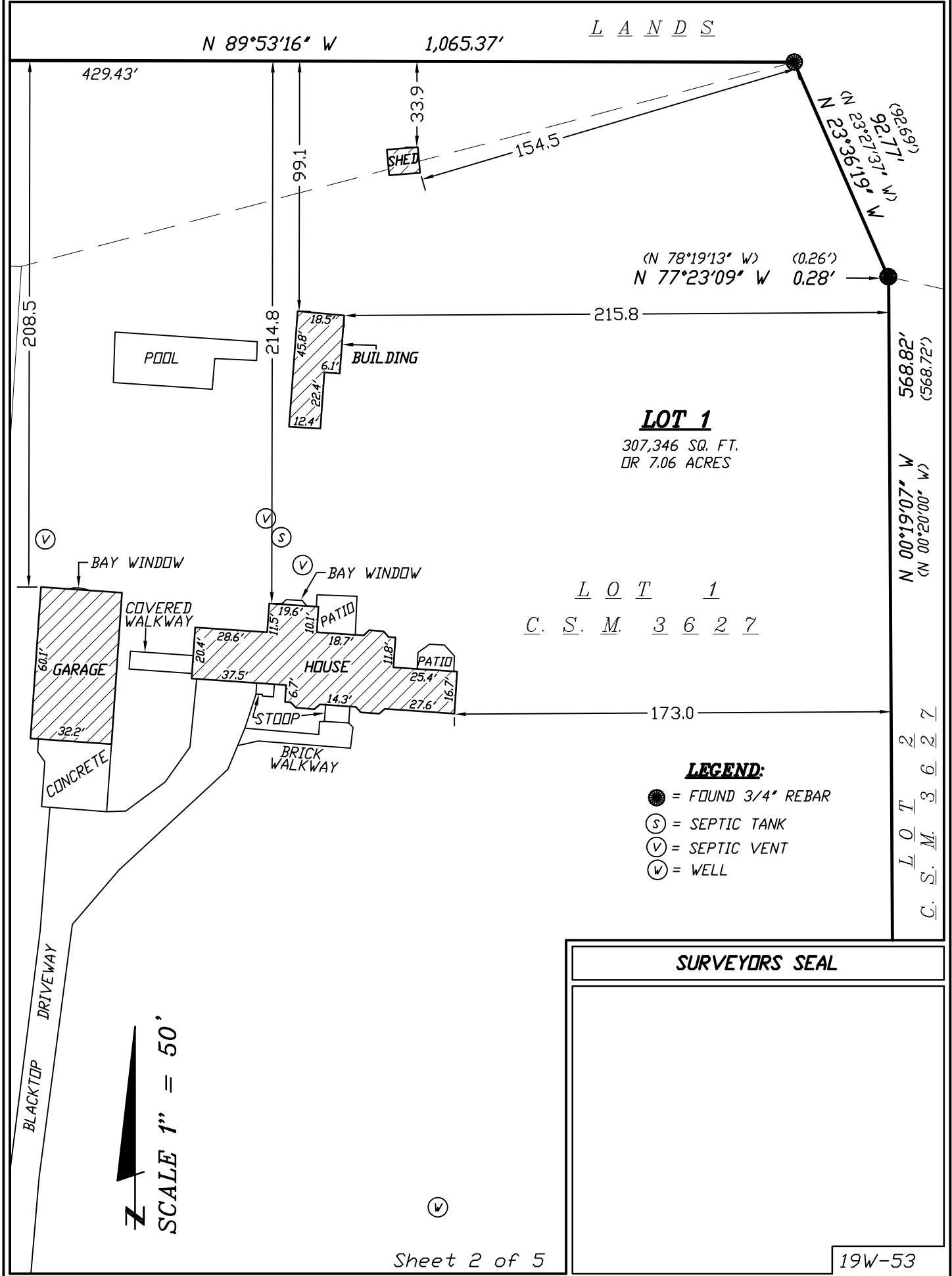


*CERTIFIED SURVEY MAP*

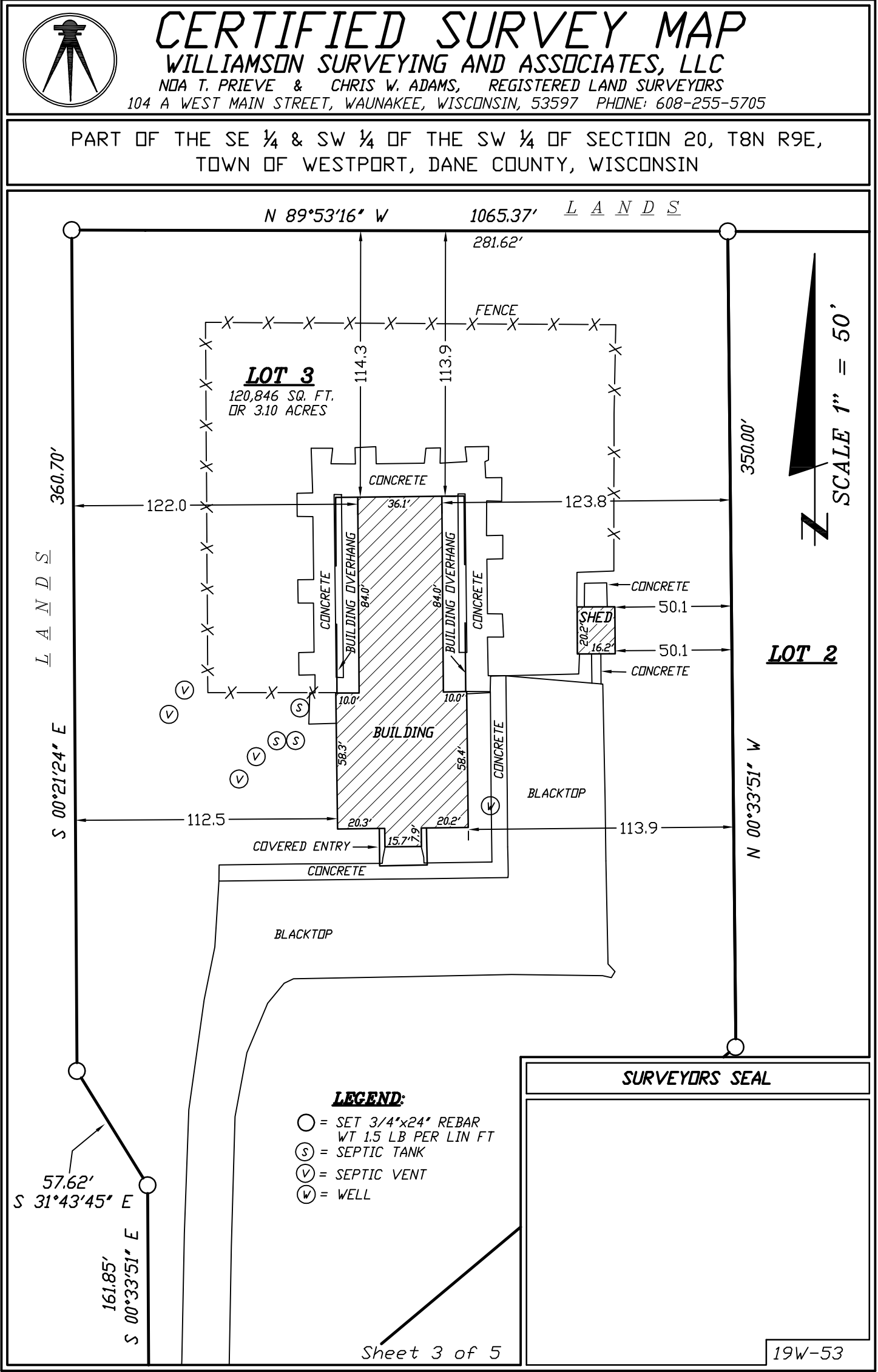
WILLIAMSON SURVEYING AND ASSOCIATES, LLC


NOA T. PRIEVE & CHRIS W. ADAMS, REGISTERED LAND SURVEYORS  
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

PART OF THE SE ¼ & SW ¼ OF THE SW ¼ OF SECTION 20, T8N R9E,  
TOWN OF WESTPORT, DANE COUNTY, WISCONSIN









CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NDA T. PRIEVE & CHRIS W. ADAMS, REGISTERED LAND SURVEYORS

104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

PART OF THE SE ¼ & SW ¼ OF THE SW ¼ OF SECTION 20, T8N R9E,  
TOWN OF WESTPORT, DANE COUNTY, WISCONSIN

OWNERS' CERTIFICATE:

RLM Holdings, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this Certified Survey Map to be surveyed, divided and mapped as represented on the Certified Survey Map.

RLM Holdings, LLC, does further certify that this Certified Survey Map is required to be submitted to the Village of Waunakee and the Town of Westport for approval.

IN WITNESS WHEREOF, the said RLM Holdings, LLC, has caused these present to be signed by \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

RLM Holdings, LLC

STATE OF WISCONSIN) \_\_\_\_\_  
DANE COUNTY) RANDAL J. MEFFERT

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_ the above named Randal J. Meffert, the authorized representative of the above named company, to me know to be the person who executed the foregoing instrument and to me known to be such officer of said company, and acknowledge that they executed the foregoing instrument as such officer as the deed of said company, by its authority.

\_\_\_\_\_ County, Wisconsin. \_\_\_\_\_  
My commission expires \_\_\_\_\_ Notary Public  
\_\_\_\_\_ Print Name

OWNERS' CERTIFICATE:

As owners, we hereby certify that we caused the land described on this certified survey map to be surveyed, divided and mapped as represented on the certified survey map. We also certify that this certified survey map is required to be submitted to the Town of Westport and Village of Waunakee for approval.

WITNESS the hand seal of said owners this \_\_\_\_\_day of \_\_\_\_\_,20\_\_\_\_.

STATE OF WISCONSIN) \_\_\_\_\_  
DANE COUNTY) RANDAL J. MEFFERT LAURA C. MEFFERT

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_ the above named Randal J. and Laura C. Meffert to me known to be the persons who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_ County, Wisconsin.  
My commission expires \_\_\_\_\_


\_\_\_\_\_  
Notary Public  
\_\_\_\_\_  
Print Name

SURVEYORS SEAL

Sheet 4 of 5

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CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE & CHRIS W. ADAMS, REGISTERED LAND SURVEYORS

104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

PART OF THE SE ¼ & SW ¼ OF THE SW ¼ OF SECTION 20, T8N R9E,  
TOWN OF WESTPORT, DANE COUNTY, WISCONSIN

**SURVEYOR'S CERTIFICATE**

I, Chris W. Adams, Registered Land Surveyor hereby certify that in full compliance with the provisions of Chapter 236.34 Wisconsin Statutes, the subdivision regulations of the Town of Westport, and by the direction of the owners listed below, I have surveyed, divided, and mapped a correct representation of the exterior boundaries of the land surveyed and the division of that land, being part of the Southeast ¼ and Southwest ¼ of the Southwest ¼, Section 20, T8N, R9E, Town of Westport, Dane County, Wisconsin, including all of Lot 1, Certified Survey Map No. 3627 recorded in Volume 14, on Pages 294-296 as Document No. 1885817, all being more particularly described as follows:

Commencing at the South ¼ corner of said Section 20; thence S 89°59'44" W, 178.94 feet along the South line of Southwest 1/4 thence N 00°19'07" W, 33.00 feet to the Southwest corner of Lot 2 Certified Survey Map No. 3627 and to the point of beginning.

thence continue N 00°19'07" W, 568.82 feet along the West line of Lot 2 Certified Survey Map No. 3627 to the Northwest corner of Lot 2 Certified Survey Map No. 3627; thence N 77°23'09" W, 0.28 feet along the Northeast line of Lot 1 Certified Survey Map No. 3627; thence N 23°36'19" W, 92.77 feet along the Northeast line of said Lot 1 Certified Survey Map No. 3627; thence N 89°53'16" W, 1,065.37 feet; thence S 00°21'24" E, 360.70 feet; thence S 31°43'45" E, 57.62 feet; thence S 00°21'24" E, 161.85 feet; thence N 89°59'44" E, 3.69 feet; thence S 00°33'51" E, 84.41 feet to the North right of way of County Trunk Highway "K"; thence along North right of way of County Trunk Highway "K" S 89°59'57" E, 1,067.87 feet to the point of beginning. This parcel contains 711,701 sq. ft. or 16.34 acres thereof.

Williamson Surveying and Associates, LLC

by Noa T. Prieve & Chris W. Adams

Date\_\_\_\_\_

Chris W. Adams S-2748

Registered Land Surveyor - Owner

**TOWN BOARD RESOLUTION**

Resolved that this certified survey map is hereby acknowledged and approved by the Town of Westport on this \_\_\_\_\_day of \_\_\_\_\_, 20\_\_.

Thomas G. Wilson

Town Clerk

**VILLAGE OF WAUNAKEE APPROVAL**

Resolved that this certified survey map in the Town of Westport is hereby acknowledged and approved by the Village of Waunakee on this \_\_\_\_\_day of \_\_\_\_\_, 20\_\_.

Caitlin Stene

Village Clerk

**REGISTER OF DEEDS:**

Received for recording this \_\_\_\_ day of \_\_\_\_\_, 20\_\_ at \_\_\_\_ o'clock \_\_\_\_M. and recorded in Volume \_\_\_\_\_ of Dane County Certified Surveys on pages \_\_\_\_\_ through \_\_\_\_\_.

Kristi Chlebowski

Register of Deeds

DOCUMENT NO. \_\_\_\_\_

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Sheet 5 of 5

SURVEYORS SEAL

19W-53

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**JOINT PLAN COMMISSION SUMMARY SHEET**

**MEETING DATE:** 04/08/2019

**ITEM:** NEW BUSINESS

**TITLE:** Conceptual Review, Festival Foods, to be Located in the Kilkenny Farms West Commercial Center at the Southwest Corner of Woodland Drive and County Highway Q

**ISSUE SUMMARY:** Attached is the SIP for the Festival Foods grocery store. No action is required.

**STAFF RECOMMENDATION:** None

**RECOMMENDED MOTION:** None at this time, but the Joint Plan Commission should provide the applicant feedback on the proposed plans.

**ATTACHMENT(S):** Festival Foods narrative and conceptual renderings

**FOR MORE INFORMATION CONTACT:** [kevin@waunakee.com](mailto:kevin@waunakee.com) or (608)849-6276





proposed retaining wall signage





front elevation





store entry





seating / seasonal display





wine & spirits entry









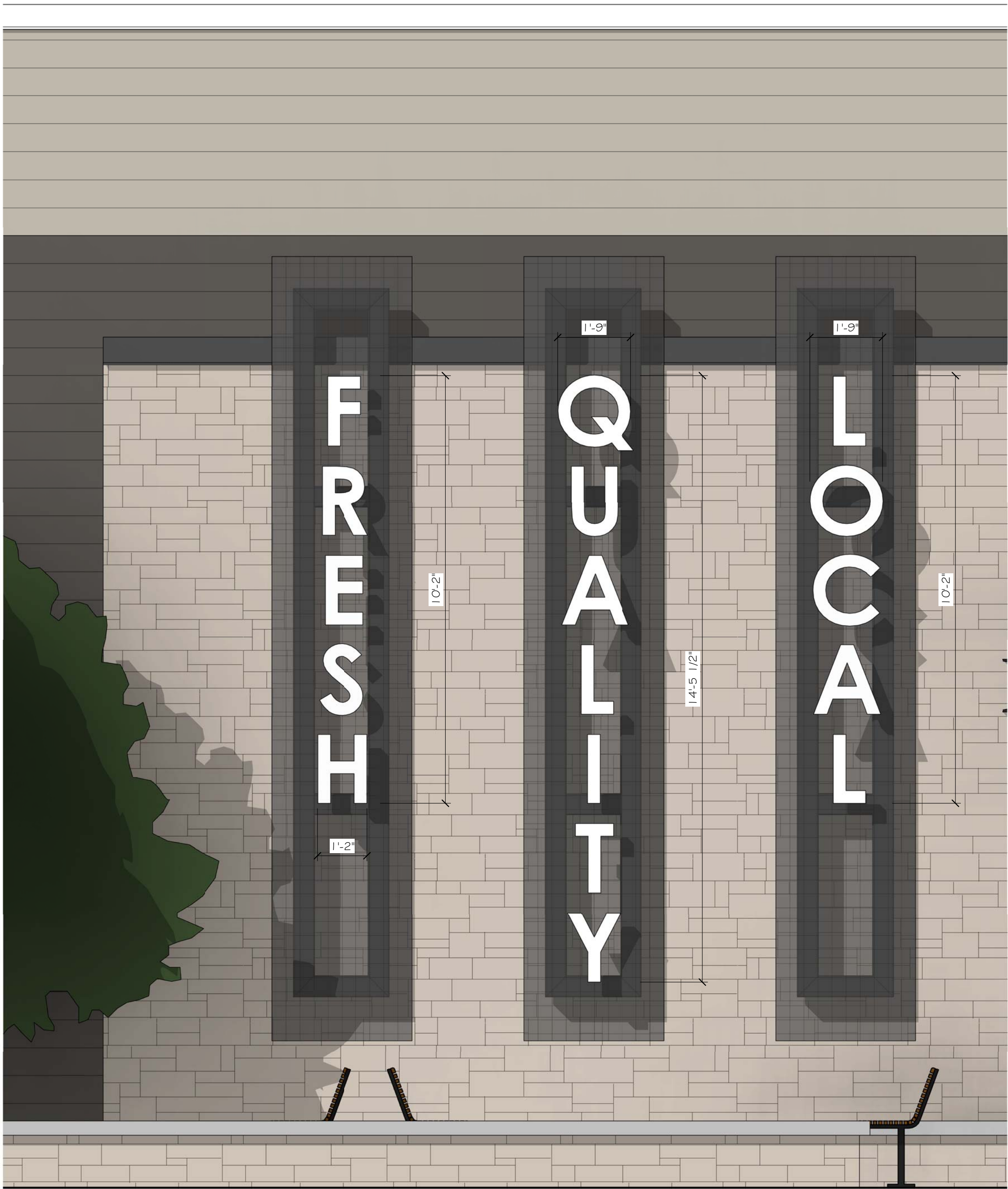




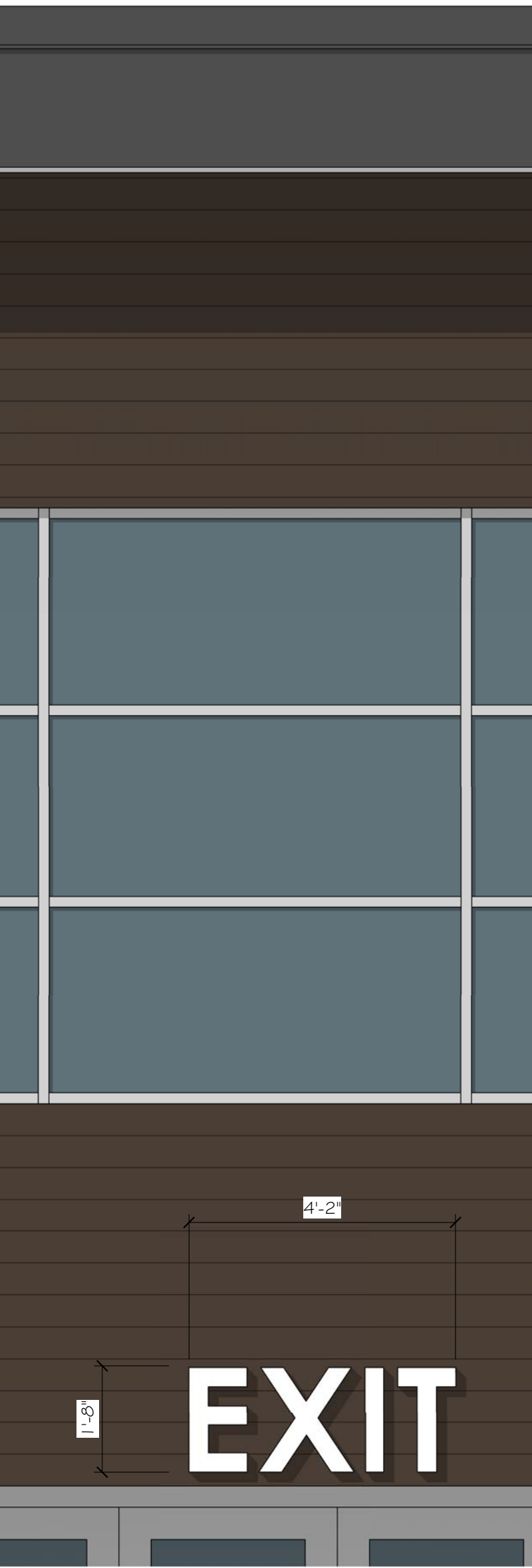




5 SIGN ELEVATION - WINE & SPIRITS ENTRANCE  
(APPROXIMATELY 176.9 SF)  
1/2" = 1'-0"



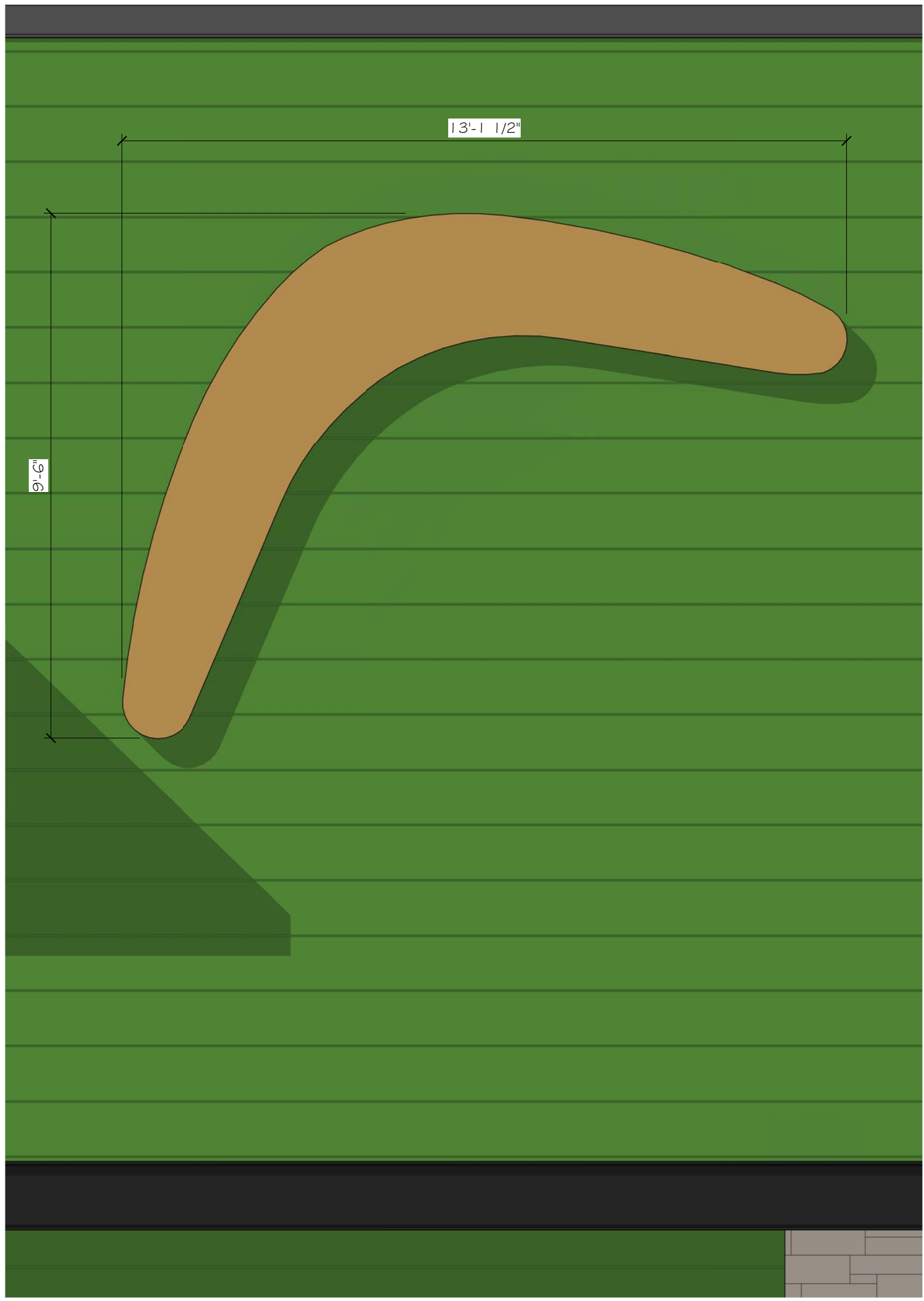
4 SIGN ELEVATION - SECONDARY  
(APPROXIMATELY 55.1 SF)  
1/2" = 1'-0"



3 SIGN ELEVATION - EXIT  
(APPROXIMATELY 6.9 SF)  
1/2" = 1'-0"



2 SIGN ELEVATION - PRIMARY, ENTRANCE  
(APPROXIMATELY 330.3 SF)  
1/2" = 1'-0"



1 SIGN ELEVATION - BOOMERANG LOGO  
(APPROXIMATELY 35 SF)  
1/2" = 1'-0"

Revisions	Description	Date

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emailing: [thomas@somervilledesign.com](mailto:thomas@somervilledesign.com)  
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**JOINT PLAN COMMISSION SUMMARY SHEET**

**MEETING DATE:** 04/08/2019

**ITEM:** NEW BUSINESS

**TITLE:** Public Hearing and Discussion/Action on a request from Kilkenny Farms West, LLC to approve a General Development Plan (GDP) for Kilkenny Farms West Commercial Center at the southwest corner of Woodland Drive and County Highway Q

**ISSUE SUMMARY:** Attached is the GDP for consideration that would include a grocery store, convenience store and commercial/retail area.

**STAFF RECOMMENDATION:** Approve with conditions.

**RECOMMENDED MOTION:** Motion to recommend approval of the GDP to the Village Board with the condition that all staff comments are resolved to the satisfaction of the Village Engineer and Village Attorney.

**ATTACHMENT(S):** Kilkenny West GDP

**FOR MORE INFORMATION CONTACT:** [kevin@waunakee.com](mailto:kevin@waunakee.com) or (608)849-6276

**Tracy Meinholz**

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**From:** Brian Adler <waunakeefire@tds.net>  
**Sent:** March 26, 2019 7:39 AM  
**To:** Tracy Meinholz  
**Subject:** Tech Staff Comments

Good morning Tracy,

The Fire Department only has one concern in regards to the items that were on our Tech. Staff agenda.

We would like to see Peaceful Valley Parkway renamed to S. Holiday Drive on the west side of Hwy Q. Because it lines up with S. Holiday, we believe it would make sense for all of the emergency services if S. Holiday just continued through all the way to Hwy Q. This prevents having two intersections of Peaceful Valley & Woodland Drive in town.

We don't see any problems in providing fire protection to either of the proposed grocery stores.

Thanks!

Capt. Brian Adler  
Waunakee FD



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**To:** Village of Waunakee Plan Commission  
**From:** Jason Valerius, AICP  
**Subject:** Kilkenny West GDP  
**Date:** April 1, 2019

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### **Request**

Applicant (Lone Silo North Addition, LLC) is requesting approval of a General Development Plan (GDP) to create a new road connecting Peaceful Valley Parkway to Holiday Drive and to develop the lands north and east of that road for a mix of uses.

### **Background Information**

This site is part of a larger area for which development is planned and the Urban Service Area (USA) amendment has already been approved.

### **Applicable Zoning & Development Code Regulations**

The proposed GDP would determine the zoning regulations for this site and is subject to Article IV – Planned Unit Development District. The proposed CSM is subject to the subdivision ordinance.

### **Consistency with the Village Comprehensive Plan**

The Plan identifies these lands as a combination of commercial use (near Hwy Q) and “Mixed Use”, which is specifically described as follows:

*West Village Gateway, West of Hwy Q*

*a. This site, between Hwy Q and the proposed extension of South Holiday Drive, is suitable for commercial uses, multi-unit residential uses such as apartments or senior housing, or vertical mixed use buildings with upper floor residential and ground floor commercial. The boundary between this area and the adjacent Commercial land use designation along Hwy Q is not precisely defined, but it is the intent of this plan to avoid locating residential uses of any type directly adjacent to Hwy Q. The precise configuration of roads, parcels and uses should be figured out through the development process, during which a neighborhood plan will be required for this area. That plan should demonstrate an appropriate transition of uses from commercial use along the highway to lower-density residential use within the neighborhood.*

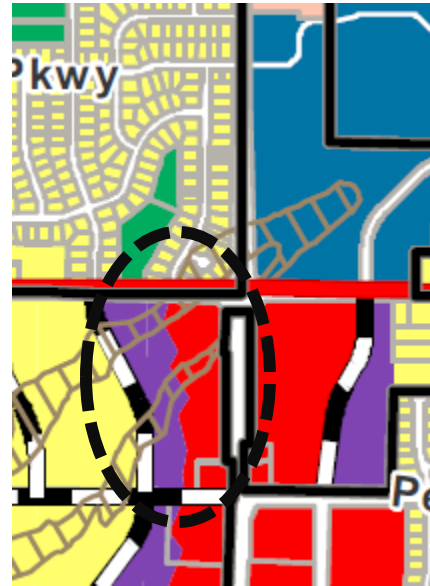
**Kilkenny West GDP**

April 1, 2019

The Future Land Use Map shows this area with commercial use along Hwy Q and the aforementioned Mixed Use area west of that. It shows a wavy dividing line between those two uses, reflecting uncertainty and flexibility regarding where and how residential uses may be introduced behind the primary Highway Q frontage.

**Analysis and Recommendations****Land Use**

The GDP describes Lot 2 describes multi-family residential use. Lot 2 extends close to Hwy Q, set back about 80 feet behind a stormwater outlot. This is not consistent with the comprehensive plan. *I recommend revision of the described uses for Lot 2 to indicate that any residential units will be set back from Highway Q behind a commercial use.*

**Sidewalks**

Village ordinance Sec. 129-150 requires 5-foot sidewalks on both sides of all streets, or alternatives as approved by Village Board. The GDP shows sidewalks along both sides of the proposed streets (including a multiuse path along the east side of the new collector street) but no pedestrian improvements along Hwy Q or Woodland Dr. As this area developers, those sidewalks will be important connectors to existing development north and east of this site. *I recommend revision of the GDP to show sidewalks along Hwy Q and Woodland Dr.*

**Landscaping**

The Comprehensive Plan describes the need for the transition of uses from commercial near Hwy Q to lower-density residential west of the new collector street. The GDP shows a large commercial use with its loading and service functions facing that future neighborhood. This is a concern. The GDP notes Developer intent to building single family detached homes on those west lands, and to include a berm, fencing or landscaping between those homes and the collector street. However, those lands are not part of this GDP and not subject to it. *I recommend that this GDP show a landscape buffer along the entire length of the building and parking areas on Lot 1 that will significantly reduce views of the building, loading docks and vehicle headlights from the arterial street (and the future residential uses across the street).*

**Street Naming**

The proposed collector street is shown as Peaceful Valley Parkway, however most of this street runs north and south; only a small portion runs east west. *I recommend using S Holiday Drive as the name for this street, allowing the name transition to occur at Highway Q instead of at Woodland Dr.*

**Retail Building Size Ordinance**

The design of large retail buildings is regulated by Sec. 133-19, which requires a conditional use permit over 50,000 SF and sets several standards and limits on those buildings, including:

- 75,000 SF maximum size
- Stormwater best management practices to maximize on-site infiltration

**Kilkenny West GDP**April 1, 2019

---

- Maximum 70% impervious surface (this is also a requirement of PUD zoning)
- 50% extra landscaping to screen and buffer large parking areas
- Building design that relates in some way to landmark buildings in the village and that avoids stock building designs used in other communities

The GDP states on Page 2 that any buildings over 50,000 SF ground floor area will not be subject to a conditional use approval. *I recommend removal of this language, to be replaced by a statement that such buildings are still subject to the requirements of Sec. 133-19.*

Sincerely,  
MSA Professional Services, Inc.



Jason Valerius, AICP  
Planner

**LONE SILO NORTH ADDITION, LLC****BY EMAIL**

March 15, 2019

Mr. Chris Zellner  
Village President  
Village of Waunakee  
500 West Main Street  
Waunakee, WI 53597

Re: Woodland West Commercial Center – General Development Plan and Certified  
Survey Map Applications; No TIF Assistance Requested

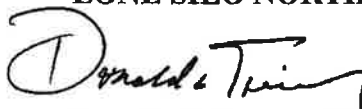
Dear President Zellner:

We are submitting updated GDP and CSM applications today for the Woodland West Commercial Center on the west side of CTH Q, between Woodland Drive and Peaceful Valley Parkway. At the same time, Festival Foods is submitting their SIP and site plan applications for the proposed new supermarket in the Commercial Center. We look forward to working with you and the rest of the Village elected officials and staff on this exciting project.

As part of this application, we wanted to inform you that, by using our own resources and working together with the purchasers of two of the building sites in the Woodland West Commercial Center, including Festival Foods, we have determined that we can construct the public improvements needed for the Festival Foods store in the Woodland West Commercial Center without requiring any tax incremental financing (TIF) assistance from the Village of Waunakee. Hence, we are not submitting a letter of intent requesting TIF assistance with this application, and we ask that you consider this application as not requiring any TIF assistance.

Sincerely,

**LONE SILO NORTH ADDITION, LLC**



Donald C. Tierney, Member



Joanne K. Tierney, Member



Jerad R. Tierney, Member

cc: Kevin Even (by email)  
Todd Schmidt (by email)  
Tracy Meinholz (by email)  
Bryan Kleinmaier (by email)

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**KILKENNY WEST GDP 03/2019**

**GENERAL DEVELOPMENT PLAN  
FOR THE KILKENNY WEST COMMERCIAL  
CENTER, VILLAGE OF WAUNAKEE, DANE  
COUNTY, WISCONSIN, TO BE ZONED IN THE  
PLANNED UNIT DEVELOPMENT  
(PUD) DISTRICT**

Lone Silo North Addition, LLC, a Wisconsin limited liability company (the "Developer"), owner of a fee title interest with respect to Lots 1-3, and Outlot 1, Certified Survey Map No. \_\_\_\_\_, Village of Waunakee, Dane County, Wisconsin (collectively "Development Lands"), and being the Developer of said Development Lands, hereby submits the following General Development Plan for the development of the Development Lands, pursuant to Sec. 106-803 of the Waunakee Zoning Code:

**Return to:**

Michael J. Lawton  
Boardman & Clark LLP  
P.O. Box 927  
Madison, WI 53701-0927

See attached list

1. **Lands Subject to this General Development Plan.** The real property subject to this General Development Plan consists of:

Lots 1-3 and Outlot 1 of Certified Survey Map No. \_\_\_\_\_, Village of Waunakee, Dane County, Wisconsin. The entire tract of land to be rezoned consists of 23.665 acres, including street right-of-way. Lot 1 is 9.990 acres in area; Lot 2 is 5.660 acres in area; Lot 3 is 2.476 acres in area; and Outlot 1 is 0.816 acres in area.

2. **General Description of Uses.** The Development Lands are to be rezoned in the planned unit development district (PUD) under Secs. 106-801 et seq. of the Waunakee Zoning Code. The Development Lands will consist of two (2) commercial lots (Lots 1 and 3), and one (1) mixed-use commercial/multi-family residential lot (Lot 2), all of which can be further divided into one or more additional lots in the future with the approval of the Village of Waunakee, subject to the provisions of the Waunakee Subdivision Ordinance, Chapter 236, Wis. Stats., and this General Development Plan, along with Outlot 1 to be used for stormwater management purposes and to be dedicated to the Village of Waunakee upon the recording of the Certified Survey Map. The Village of Waunakee will release the Permanent Limited Easement for stormwater purposes, dated May 26, 2016, and recorded on July 29, 2016, as Document No. 5254792, in consideration of the dedication of Outlot 1, as Outlot 1 will handle the stormwater previously handled by the easement.

3. **Kilkenny West Commercial Center.**

A. **General Provisions.**

The Development Lands shall be known as "Kilkenny West Commercial Center." Attachment A, titled "Kilkenny West Commercial Center GDP," that accompanies this document, shall be deemed to be a part of this General Development Plan for the Development Lands. The provisions within Attachment A shall apply to development of Kilkenny West Commercial Center.

For the avoidance of doubt, any grocery or supermarket building on Lot 1 within Certified Survey Map No. \_\_\_\_\_ may have a ground floor area of up to 68,000 square feet, notwithstanding any limitations on maximum building size otherwise contained in the Waunakee zoning code, and may have a drive-up window for sale or delivery of merchandise and/or services, and engage in outdoor sales and merchandise display incidental to the principal use (within the area designated in the SIP for such lot), all without the requirement for a separate conditional use permit if otherwise required under the Waunakee zoning code.

Also for the avoidance of doubt, any convenience grocery store located on Lot 3 within Certified Survey Map No. \_\_\_\_\_ may have a ground floor area of up to 11,000 square feet and may have a drive-up window for sale or delivery of merchandise and/or services, a car wash, a fueling station for the sale of gasoline, diesel fuel, ethanol or alternative fuels, and engage in outdoor sales and merchandise display incidental to the principal use (within the area designated in the SIP for such lot), all without the requirement for a conditional use permit if otherwise required under the Waunakee zoning code.

The setback requirements for Kilkenny Farms West Commercial Center shall be as follows, unless modified in a future SIP for a particular lot: The front, side and rear yard setback requirement shall be ten (10) feet.

**B. Development and Design Guidelines for Kilkenny West Commercial Center.**

The Village, the Joint Plan Commission and the Developer intend to establish a vibrant commercial/mixed-use district with quality commercial architecture, and if multi-family residential development is placed on Lot 2 then quality residential architecture, providing an attractive entrance to the Village. The planned commercial development, including any multi-family residential use on Lot 2, is also intended to provide strong street and sidewalk links to the adjacent residential uses and promote a walkable neighborhood.

Landscaping and lighting shall be sympathetic to and contribute to the overall appearance and unity of design of the commercial district, including any residential use on Lot 2. Lighting shall incorporate night sky standards with appropriate cut-off fixture design. Sidewalks in private development shall connect to public sidewalks of the overall development.

**C. Design Guidelines for Buildings over 50,000 SF in Ground Floor Area within the Development Lands.**

All buildings over 50,000 SF in ground floor area in a single building within the Development Lands shall comply with the following design guidelines, but such a building does not require a conditional use approval and may be approved as part of the SIP approval process:

- (A) At least two primary entrances;
- (B) The building elevations shall include a combination of masonry, glass and other materials in combination with variations of building planes in order to reduce the massing of the structure;

(C) The building design will be subject to Specific Implementation Plan/Site Plan review and approval and, if required by the Joint Plan Commission, by any Village/Town Architectural Committee approval required by the Joint Plan Commission; and

(D) Any service loading dock area must be incorporated architecturally.

4. **Specific Implementation Plans Required.** Specific Implementation Plans (SIP's) are required for all Kilkenny West Commercial Center lots, other than Outlot 1. The SIPs shall be consistent with this GDP and shall control with respect to all matters that are covered therein. It is anticipated that further divisions of Kilkenny West Commercial Center Lots 1-3 may be approved in the future through replats or certified survey maps, and such divisions may be reflected in the SIP's without the need to amend this General Development Plan. All building/architectural, site, landscaping, signage, lighting and parking plans for all development shall follow the architectural and design standards for Kilkenny West Commercial Center established herein and shall be addressed and approved during the SIP process.

5. **Permitted Uses – Kilkenny West Commercial Center.** The following uses, and uses incidental thereto, shall be permitted uses in the Development Lands, other than on Outlot 1:

(a) Grocery stores and supermarkets (including drive-ups, drive-throughs, fueling stations for gasoline, diesel, ethanol or alternative fuels, car washes and outdoor displays and sales of merchandise, all where designated on the SIP);

(b) Professional and other offices;

(c) Retail sales generally, including, but not limited to, the following: animal hospitals and pet shops, antique shops, audio and video equipment and merchandise, bakeries, barber shops, bicycle shops, book stores, candy and ice cream stores, carpet stores, camera and photographic supply stores, catering services, clocks and watches, clothing and apparel stores, computer and computer accessory stores, china and glassware stores, coin stores, custom dressmaking, department and discount stores, drug stores, dry cleaning and laundry, electronic and houseware appliance stores, flower shops, gift shops, hardware and paint stores, hobby stores, jewelry stores, leather goods and luggage stores, locksmiths, meat markets, musical instrument stores, office supply stores, optical goods stores, orthopedic sales and supplies, pet grooming, pet stores, photo studios, picture frame shops, schools for music, dance and martial arts schools, sewing machine shops, shoe stores, sporting goods stores, tailor shops and travel bureaus;

(d) Banks, credit unions, and other financial institutions (including drive-ups and drive-throughs if designated on the SIP);

(e) Medical and dental offices, optical shops, physical therapy, urgent care, chiropractic, pharmacy or other health care clinics, or related or customary uses, and exercise/fitness facilities (include drive-ups and drive-throughs if designated on the SIP);

(f) Hotels and/or restaurants (including bars, decks and patios, whether or not alcohol is served, drive-ups and drive-throughs, all if designated on the SIP));

(g) Service businesses that provide services to the general public and produce minimal off-site impacts, including the following: barber and beauty shops; dry-cleaning pick-up stations; interior decorating/upholstery; locksmith; mailing and packaging services; photocopying, document reproduction services; consumer electronics and repair; shoe repair; tailor shop; and watch repair, and other small goods repair (including drive-ups and drive-throughs if designated on the SIP);

(h) On Lot 2 only, one or more multi-family residential building(s), with or without commercial uses on the main or ground floor, with the number of residential units in any residential building and the number of residential buildings in all, and the design, lighting, signage, parking and landscaping of any such residential building(s) or uses shall be determined at the time of approval of the Specific Implementation Plan for such residential building(s) or residential uses; and

(i) Convenience stores (including drive-ups and drive-throughs, car washes, fueling stations for gasoline, diesel, ethanol or alternative fuels, and outdoor display and sale of merchandise, if designated on the SIP), but such use:

(1) Shall be required to have quality architectural design for any buildings or other structures; and

(2) Design and building materials shall be approved by a Village/Town architectural review committee if appointed by the Joint Plan Commission.

6. **Conditional Uses for Lots in Kilkenny West Commercial Center.** The following uses shall constitute conditional uses on the Development Lands and shall require a conditional use permit (unless such activity or use is expressly permitted under Sections 3 through 5 above without a conditional use permit or is specifically approved in any Specific Implementation Plan):

(a) Drive-thru or drive-in facilities.

(b) Commercial outdoor displays or sales.

(c) Any commercial patios, bars, decks, or outdoor seating areas where alcohol is to be served and/or consumed.

(d) Outdoor storage.

(e) Auto repair or service uses, including: automotive accessory stores, automobile rental agencies, automobile service shops including shops for general mechanical repairs and electrical, battery, ignition and radiator repair, glass replacement, car washes and wheel alignment service.

(f) All government or utility uses which are not a permitted use in all zoning districts under the Waunakee zoning code.



7. **Permitted Uses – Uses Not Specified.** Uses not specified in this General Development Plan that are found by the Joint Plan Commission to be sufficiently similar to specified permitted uses in the General Development Plan may be allowed by the Joint Plan Commission. Notwithstanding any other provisions hereof, Outlot 1 shall be used only for stormwater management, signage or landscaping purposes, unless otherwise approved by the Village of Waunakee.

8. **General Limitation on Uses.** No uses shall be permitted on the Development Lands which are not permitted uses, or conditional uses, under the provisions of this General Development Plan, or amendments to the General Development Plan which may be approved in the future under the Waunakee zoning code. Uses identified as conditional uses shall require a Conditional Use Permit pursuant to the applicable Village Code provisions, unless such conditional uses are permitted by this General Development Plan without requiring a Conditional Use Permit. All of the detail contained in Certified Survey Map No. \_\_\_\_\_ with respect to the lots described therein shall be deemed incorporated into this General Development Plan by reference.

9. **SIP Requirement and Transfer Restriction.** Except where otherwise indicated above, the uses of the lands subject to this General Development Plan will be subject to approval of a Specific Implementation Plan by the Joint Plan Commission in accordance with the Waunakee Zoning Code, except that existing agricultural uses may continue until a specific parcel is developed under an approved Specific Implementation Plan. No lot within the Development Lands shall be transferred, sold or conveyed to any other party, other than to Developer or an affiliate of Developer, the Village of Waunakee or to a bona fide mortgagee, without the prior approval of a development agreement for such lot between the Developer or the owner/tenant thereof and the Village of Waunakee. No land disturbance or construction associated with development of the lands within the Development Lands shall be commenced by the Developer or the owner/tenant thereof, unless an agreement for land division improvements for and in connection with such land disturbances or construction has been executed by the Developer or the owner/tenant thereof and the Village of Waunakee.

10. **Commercial/Multifamily SIPs.** The various Specific Implementation Plan(s) for the Kilkenny West Commercial Center may provide that certain of the zoning requirements for the commercial/multifamily zoning classifications of the Waunakee zoning ordinance be modified or waived by the Village Board of the Village of Waunakee, including, but not limited to, requirements with respect to signage, lighting, parking, parking lot and driveway design and landscaping, but if the modifications are determined to be minor by the Village Engineer, then only the approval of the Joint Plan Commission, and not the Village Board, shall be required. All such zoning requirement modifications or waivers for all of the commercial/mixed use lots in the Development Lands shall be dealt with in the Specific Implementation Plan(s), where permitted, and such Plans shall control over the requirements of the Waunakee zoning code with respect to such matters.

11. **Covenants.** Development on Lots 1 and 3 may, and on Lot 2 shall, be subject to the terms, provisions and conditions of covenants, restrictions, conditions and easements to be agreed upon between the Developer and each owner of a lot within the Development Lands prior to the development of the lands in question, unless this requirement is waived by the Joint Plan Commission. The Village agrees to take reasonable steps to consult with the Developer before

issuing a building permit in an effort to ensure that the building or other improvements have been approved by the Developer or such other party who has architectural review approval powers with respect thereto under recorded covenants which govern such lands.

12. **Amendments.** The foregoing General Development Plan may not be amended or modified without the consent of the Village Board of the Village of Waunakee, but if the amendment is a minor modification in the opinion of the Village Engineer, approval by the Joint Plan Commission shall be sufficient approval of any such modification or amendment.

### INFORMATIONAL STATEMENT

The applicant makes the following additional informational statement in connection with its request for rezoning to the PUD classification:

13. **Valuation.** It is anticipated that the value of the improved lots on the Development Lands shall be at least \$25,000,000 when fully built-out.

14. **Commercial Construction Timing.** The plan is to construct the public improvements serving the Development Lands during calendar year 2019, and to open the grocery store/supermarket on Lot 1 during calendar year 2020. Development of the balance of the commercial/mixed use area will depend on market and economic conditions. The complete build out of the commercial/mixed use areas is estimated at this time at up to 5 years, subject to market and economic conditions.

15. **Development of Lands on West Side of Peaceful Valley Parkway.** Developer or another entity owned by Developer will be developing a subdivision consisting of lots for detached, single family residences to the west of Peaceful Valley Parkway located (west of the Development Lands) in the near future. The lands immediately to the west of Peaceful Valley Parkway and abutting the Parkway, as shown on Attachment A hereto, will all be used for detached single family residential lots, which lots will front on interior streets in the single family plat and will not front on Peaceful Valley Parkway. Developer or an entity owned by Developer will construct or install berms, fencing and/or landscaping along the west side of Peaceful Valley Parkway, to the immediate west of the Development Lands, to buffer the single family residential lots which abut the west side of Peaceful Valley Parkway, and Developer expects that such berms, fencing and/or landscaping plans will be subject to approval of the Village at the time of GDP/SIP approval by the Village for such single family plat. Developer or another entity owned by Developer will be developing both the Development Lands and the lands to the west of the Development Lands, so that Developer has the greatest possible interest in protecting the single family lots from any negative effects, if any, of commercial development.

Dated this \_\_\_\_ day of \_\_\_\_\_, 2019.

LONE SILO NORTH ADDITION, LLC

By: \_\_\_\_\_  
Donald C. Tierney, Member

By: \_\_\_\_\_  
Joanne K. Tierney, Member

STATE OF WISCONSIN     )  
  ) ss.  
COUNTY OF DANE         )

Personally came before me this \_\_\_\_ day of \_\_\_\_\_, 2019, the above-named Donald C. Tierney and Joanne K. Tierney, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
\_\_\_\_\_  
Notary Public, State of Wisconsin  
My Commission: \_\_\_\_\_.

This instrument drafted by:  
Michael J. Lawton, Attorney for Developer

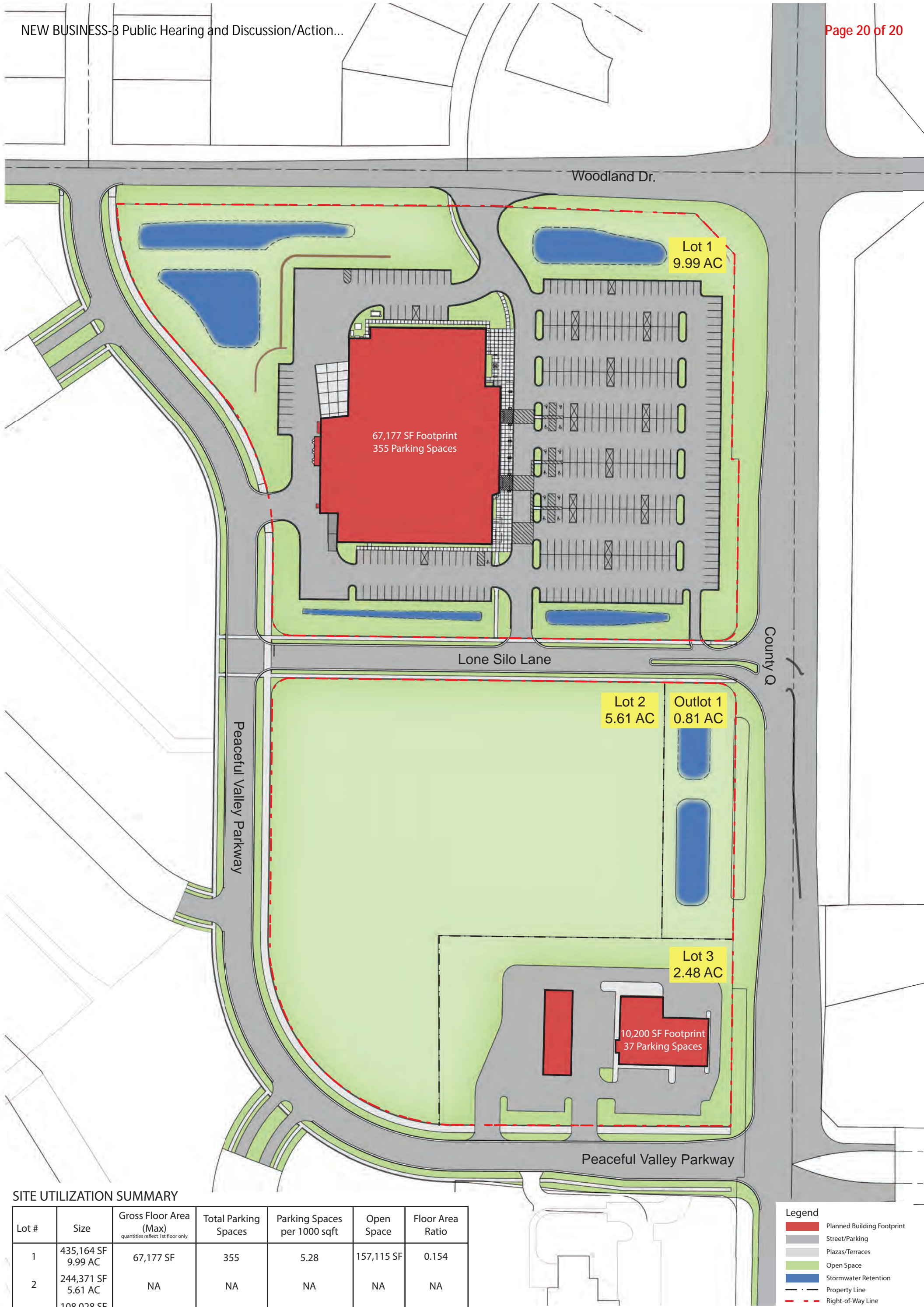
**CERTIFICATION OF APPROVAL**

The aforesaid General Development Plan was approved by the Village Board of the Village of Waunakee on \_\_\_\_\_, 2019.

Dated this \_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Caitlin Stene, Village Clerk







**JOINT PLAN COMMISSION SUMMARY SHEET**

**MEETING DATE:** 04/08/2019

**ITEM:** NEW BUSINESS

**TITLE:** Discuss and take action on a Certified Survey Map for Kilkenny Farms West Commercial Center at the southwest corner of Woodland Drive and County Highway Q

**ISSUE SUMMARY:** Attached is the lot split for the proposed commercial development including the site for Festival Foods.

**STAFF RECOMMENDATION:** Approve

**RECOMMENDED MOTION:** Recommend approval to the Village Board

**ATTACHMENT(S):** CSM and Staff Comments

**FOR MORE INFORMATION CONTACT:** [kevin@waunakee.com](mailto:kevin@waunakee.com) or (608)849-6276

**Tracy Meinholz**

---

**From:** Brian Adler <waunakeefire@tds.net>  
**Sent:** March 26, 2019 7:39 AM  
**To:** Tracy Meinholz  
**Subject:** Tech Staff Comments

Good morning Tracy,

The Fire Department only has one concern in regards to the items that were on our Tech. Staff agenda.

We would like to see Peaceful Valley Parkway renamed to S. Holiday Drive on the west side of Hwy Q. Because it lines up with S. Holiday, we believe it would make sense for all of the emergency services if S. Holiday just continued through all the way to Hwy Q. This prevents having two intersections of Peaceful Valley & Woodland Drive in town.

We don't see any problems in providing fire protection to either of the proposed grocery stores.

Thanks!

Capt. Brian Adler  
Waunakee FD



**Strand Associates, Inc.®**

910 West Wingra Drive

Madison, WI 53715

(P) 608-251-4843

(F) 608-251-8655

March 28, 2019

Mr. Kevin Even, P.E.  
Village of Waunakee  
500 West Main Street, P.O. Box 100  
Waunakee, WI 53597

Re: Kilkenney West General Development Plan (GDP) and Certified Survey Map (CSM)  
Village of Waunakee (Village)

Dear Kevin,

We received a GDP document and CSM for the Kilkenney West development proposed at the southwest corner of Woodland Drive and CTH Q. While we understand others will be commenting on the GDP, we have the following comments on the CSM.

Several of our comments are the same as previously submitted. These include the need to show existing right-of-way widths on CTH Q and Woodland Drive; showing the existing CSM numbers and lines that appeared on the first rendition of this map but were then left off their next rendition; and also clarifying ownership.

Dane County's online geographic information system (GIS) continues to show Dalmatian Farms LLC for the owner of Lot 2 of CSM 14048, part of which is included in this new map. If there are two separate owners at the time of recording, then there should be two separate owners' certificates of dedication.

There are no proposed easements shown for utilities, cross-access, or drainage, all commonly shown on commercial CSMs of this type. The applicant should verify that the Village does not want any new easements dedicated as part of the CSM recording. Granted, they can be added later via separate recorded documents, but having them on the map makes it easier for future users including utilities to know what easements are on the site and their locations relative to the lot lines.


Finally, there is an existing access easement between CSM 9506 and 2378 that should be released because the extension of Peaceful Valley Parkway will render it no longer necessary.

Mr. Kevin Even, P.E.  
Village of Waunakee  
Page 2  
March 28, 2019

We have attached the associated documents, marked up with the same comments for the reader's convenience.

Sincerely,

STRAND ASSOCIATES, INC.®



R. Kent Straus, P.E.

Enclosure

c/enc.: Todd Schmidt, Administrator, Village of Waunakee  
Tim Herlitzka, General Manager, Village of Waunakee Utilities  
Bryan Kleinmeier, Stafford Rosenbaum  
Ed Freer, Graef


Parcel Number -  
191/0809-181-9921-1

Current  
◀ Parcel  
Parents

Summary Report

Parcel Detail		Less —
Municipality Name	VILLAGE OF WAUNAKEE	
State Municipality Code	191	
PLSS (T,R,S,QQ,Q)	08N 09E 18 SE NE (Click link above to access images for Qtr-Qtr)	
Section	08N 09E 18 (Click link above to access images for Section)	
Plat Name	CSM 14048 (Click link above to access images for Plat) CSM 14048 (Click link above to access images for Surveys within Plat)	
Block/Building		
Lot/Unit	2 (Click link above to see images for this Lot)	

Parcel Maps



Surveyor Map


DCiMap

Tax Summary (2018)

More +

No current year tax information available.

District Information		
Type	State Code	Description
REGULAR SCHOOL	6181	WAUNAKEE SCHOOL DIST
TECHNICAL COLLEGE	0400	MADISON TECH COLLEGE

Parcel Description	LOT 2 CSM 14048 CS94/122&127-8/19/2015 F/K/A LOT 1 CSM 10433 CS61/276&279-6/26/2002 F/K/A LOT 1 CSM 6737 CS33/189&190-5/26/92 & ALSO INCL & DESCR AS SEC 18-8-9 PRT SW1/4NE1/4 & PRT SE1/4NE1/4 (63.96 ACRES) <b>This property description is for tax purposes. It may be abbreviated. For the complete legal description please refer to the deed.</b>
Current Owner	DALMATIAN FARMS LLC 
Primary Address	<b>No parcel address available.</b>
Billing Address	3564 EGRE RD DEFOREST WI 53532

## Recorded Documents

Doc. Type	Date Recorded	Doc. Number	Volume	Page
LC	02/02/2016	5212872		

Show More ▼

## DocLink

DocLink is a feature that connects this property to recorded documents. If you'd like to use DocLink, all you need to do is select a link in this section. There is a fee that will require either a credit card or user account. Click here for instructions.

By Parcel Number: 0809-181-9921-1

PLEASE TURN OFF YOUR POP UP BLOCKER TO VIEW DOCLINK DOCUMENTS. If you're unsure how to do this, please contact your IT support staff for assistance. You will be unable to view any documents purchased if your pop up blocker is on.

## Assessment Summary

More +

**No current year assessment information available.**

Show Valuation Breakout

Show Assessment Contact Information ▼

## Zoning Information

**Contact your local city, village or town office for municipal zoning information.**



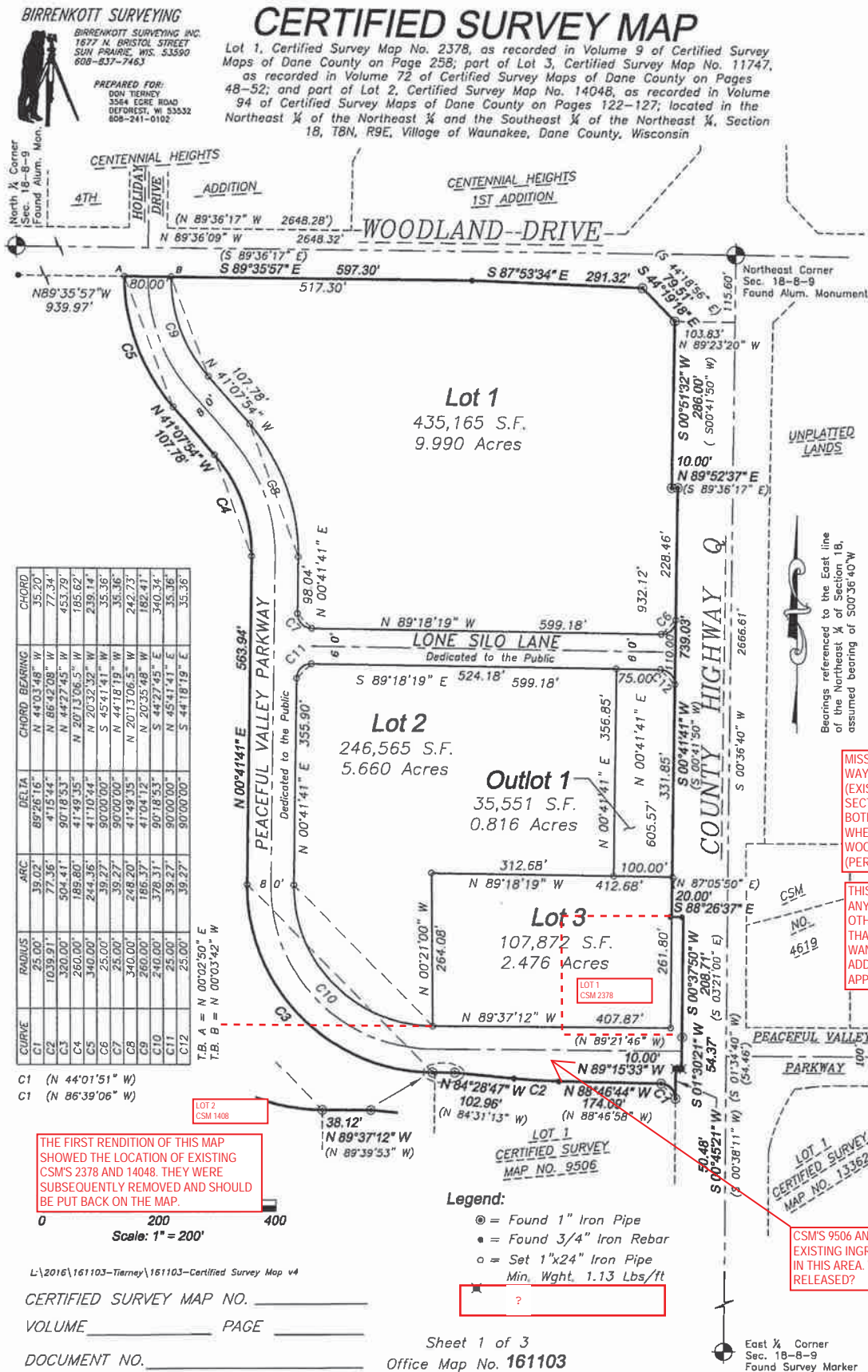
Access Dane is a product of  
Dane County Land Information  
Council  
© Copyright 2001

210 Martin Luther King Jr. Blvd  
City-County Bldg. Room 116  
Madison, WI 53703



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# CERTIFIED SURVEY MAP

DATED: March 14, 2019

## Birrenkott Surveying, Inc.

P.O. Box 237  
1677 N. Bristol Street  
Sun Prairie, Wisconsin 53590  
Phone (608) 837-7463  
Fax (608) 837-1081

### Owners Certificate:

As owner, Lone Silo North Addition, LLC, does hereby certify that it has caused the lands described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as shown. It also certifies that this Certified Survey Map is required to be submitted to the Village of Waunakee as a required approving authority.

### Lone Silo North Addition, LLC

\_\_\_\_\_  
Donald C. Tierney, Member

ACCESS DANE STILL LISTS THE OWNER OF LOT 2 OF CSM 14048 AS DALMATION FARMS LLC. THIS IS PART OF THIS MAP. WILL THEIR OWNERSHIP BE TRANSFERRED PRIOR TO THE RECORDING OF THIS SHEET? IF NOT THEN AN ADDITIONAL OWNERS CERTIFICATE WILL BE REQUIRED.

### State of Wisconsin )

### Dane County ) ss

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2019, the above-named Donald C. Tierney, to me known to be the person who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public, Dane County, Wisconsin.

My Commission Expires \_\_\_\_\_

### Mortgagee Certificate:

First Business Bank, mortgagee of certain of the lands described hereon, does hereby consent to the surveying, dividing, mapping and dedicating of the land described on this Certified Survey Map, and does hereby consent to the certificate of Kilkenny Farms, LLC, owner.

### First Business Bank

\_\_\_\_\_  
Brian E. Hagen, Senior Vice President

### State of Wisconsin )

### Dane County ) ss

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2019, the above-named Brian E. Hagen, to me known to be the person who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public, Dane County, Wisconsin.

My Commission Expires \_\_\_\_\_

### Village of Waunakee Approval Certificate:

Resolved, that this Certified Survey Map is hereby acknowledged and accepted by the Village of Waunakee and is approved for recording by the Village of Waunakee this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Caitlin Stene, Clerk, Village of Waunakee

\_\_\_\_\_  
Dated

### Surveyed For:

Donald and Joanne Tierney  
3564 Egge Road  
DeForest, Wis. 53532  
837-0102

Surveyed: C.K.C.  
Drawn: M.A.P.  
Checked: M.A.P./D.V.B.  
Approved: D.V.B.  
Field book:  
Tape/File: J:\2011\Carlson\110118

Document No. \_\_\_\_\_

Sheet 2 of 3  
Office Map No.: 161103

Certified Survey Map No. \_\_\_\_\_, Volume \_\_\_\_\_, Page \_\_\_\_\_



# CERTIFIED SURVEY MAP

DATED: March 14, 2019

## Birrenkott Surveying, Inc.

P.O. Box 237  
1677 N. Bristol Street  
Sun Prairie, Wisconsin 53590  
Phone (608) 837-7463  
Fax (608) 837-1081

### Surveyor's Certificate:

I, Daniel V. Birrenkott, hereby certify that this survey is in full compliance with Chapter 236.34 of Wisconsin Statutes. I also certify that by the direction of the owners listed hereon, I have surveyed and mapped the lands described hereon and that the map is a correct representation of all the exterior boundaries of the land surveyed and the division of that land, in accordance with the information provided.

Daniel V. Birrenkott, Professional Land Surveyor No. S-1531

### Description:

Lot 1, Certified Survey Map No. 2378, as recorded in Volume 9 of Certified Survey Maps of Dane County on Page 258; part of Lot 3, Certified Survey Map No. 11747, as recorded in Volume 72 of Certified Survey Maps of Dane County on Pages 48-52; and part of Lot 2, Certified Survey Map No. 14048, as recorded in Volume 94 of Certified Survey Maps of Dane County on Pages 122-127; located in the Northeast ¼ of the Northeast ¼ and the Southeast ¼ of the Northeast ¼, Section 18, T8N, R9E, Village of Waunakee, Dane County, Wisconsin, described as follows:

Commencing at the Northeast corner of said Section 18; thence S00°36'40"W, 115.60 feet along the East line of said Northeast ¼; thence N89°23'20"W, 103.83 feet to the West right-of-way line of County Highway Q and the point of beginning; thence S00°51'32"W (recorded as S00°41'50"W), 286.00 feet along said right-of-way line; thence continuing along said right-of-way line S89°52'37"E (recorded as S89°36'17"W), 10.00 feet; thence continuing along said right-of-way line S00°41'41"W (recorded as S00°41'50"W), 739.03 feet; thence continuing along said right-of-way line S88°26'37"E (recorded as N87°05'50"E), 20.00 feet; thence continuing along said right-of-way line S00°37'50"W (recorded as S00°21'00"E), 208.71 feet; thence continuing along said right-of-way line S01°30'21"W, 54.37 feet (recorded as S01°34'40"W, 54.46 feet); thence continuing along said right-of-way line N89°15'33"W (recorded as N89°21'46"W), 10.00 feet; thence continuing along said right-of-way line S00°45'21"W (recorded as S00°38'11"W), 50.48 feet to the Northerly line of Certified Survey Map No. 9506; thence along said Northerly line along a curve to the left having a radius of 25.00 feet and a chord bearing and length of N44°03'48"W (recorded as N44°01'51"W), 35.20 feet; thence continuing along said Northerly line N88°46'44"W (recorded as N88°46'58"W), 174.09 feet; thence continuing along said Northerly line along a curve to the right having a radius of 1039.91 feet and a chord bearing and length of N86°42'08"W (recorded as N86°39'06"W), 77.34 feet; thence continuing along said Northerly line N84°28'47"W (recorded as N84°31'13"W), 102.96 feet; thence continuing along said Northerly line N89°37'12"W (recorded as N89°39'53"W), 38.12 feet; thence along a curve to the right having a radius of 320.00 feet and a chord bearing and length of N44°27'45"W, 453.79 feet; thence N00°41'41"E, 563.94 feet; thence along a curve to the left having a radius of 260.00 feet and a chord bearing and length of N20°13'06.5"W, 185.62 feet; thence N41°07'54"W, 107.78 feet; thence along a curve to the right having a radius of 340.00 feet and a chord bearing and length of N20°32'32"W, 239.14 feet to the South right-of-way line of Woodland Drive; thence S89°35'57"E (recorded as S89°36'17"E), 597.30 feet along said right-of-way line; thence continuing along said right-of-way line S87°53'34"E, 291.32 feet to the aforesaid West right-of-way line of County Highway Q; thence S44°19'18"E (recorded as S44°18'56"E), 79.51 feet along said right-of-way line to the point of beginning; Containing 1,030,835 square feet, or 23.665 acres.

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The disturbance of a survey stake by anyone is in violation of Section 236.32 of Wisconsin Statutes.

Wetlands, if present, have not been delineated.

This survey is subject to any and all easements and agreements both recorded and unrecorded.

This survey shows no above-ground improvements. No guarantee is made for below-ground structures.

### Surveyed For:

Donald and Joanne Tierney  
3564 Egge Road  
DeForest, Wis. 53532  
837-0102

Surveyed: C.K.C.  
Drawn: M.A.P.  
Checked: M.A.P./D.V.B.  
Approved: D.V.B.  
Field book:  
Tape/File: J:\2011\Carlson\110118

### Register of Deeds Certificate:

Received for recording this \_\_\_\_\_ day of \_\_\_\_\_, 2019  
at \_\_\_\_\_ o'clock \_\_\_\_\_ m and recorded in Volume \_\_\_\_\_ of Certified Survey  
Maps of Dane County on Pages \_\_\_\_\_.

Kristi Chlebowska, Register of Deeds

Document No. \_\_\_\_\_

Certified Survey Map No. \_\_\_\_\_, Volume \_\_\_\_\_, Page \_\_\_\_\_

Sheet 3 of 3  
Office Map No.: 161103

001505

## CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING CO., INC.

104 A WEST MAIN STREET WAUNAKEE WISCONSIN 53597

SE 1/4, NE 1/4, SECTION 18, T 8 N, R 9 E,  
TOWN OF WESTPORT, DANE COUNTY, WISCONSIN.

CURVE	ARC	DELTA	RADIUS	CHORD LENGTH	CHORD BEARING
C1	39.05	89°30'15"	25.00	35.20	S 48°01'41" E
C2	77.36	04°15'45"	1039.91	77.34	N 89°21'04" E

LINE	BEARING	DISTANCE
L1	N 85°53'06" E	38.09
L2	S 88°31'03" E	102.96
L3	N 87°13'12" E	174.09

SCALE 1" = 200'



## LEGEND

o: SET 1 1/4" X 24" IRON  
PIPE WITH A MIN. WT.  
OF 2.27 LBS/FT

## PREPARED FOR :

HARVEY WINN  
300 WEST MAIN STREET  
WAUNAKEE, WI. 53597

## NOTE :

COUNTY TRUNK HIGHWAY "Q" IS A  
CONTROLLED ACCESS HIGHWAY PURSUANT  
TO CHAPTER 79, DANE COUNTY CODE OF  
ORDINANCES.

## NOTE :

THIS PARCEL IS SUBJECT TO ANY AND ALL  
EASEMENTS, AND AGREEMENTS, RECORDED AND  
UNRECORDED.

DRIVEWAY ACCESS TO COUNTY HIGHWAY "Q"  
FROM LOT 1, C.S.M. NO. 2378 IS TO BE  
VACATED AND MOVED TO 80 FOOT WIDE  
INGRESS AND EGRESS EASEMENT.

THE REMAINING PART OF THE SE 1/4 & SW 1/4  
OF THE NE 1/4 OF SECTION 18, T8N, R9E, IS  
HEREBY RESTRICTED TO NO FURTHER LAND  
DIVISION WITHOUT TOWN AND VILLAGE BOARD  
APPROVAL. AND ALSO IS RESTRICTED TO NO  
ACCESS TO C.T.H. "Q" FROM THE 80' WIDE  
JOINT INGRESS AND EGRESS EASEMENT WITHOUT  
TOWN AND VILLAGE BOARD APPROVAL.

EAST 1/4 COR  
SECTION 18  
T 8 N, R 9 E  
ALUM. MON.

DOCUMENT NO. 3169884

CERTIFIED SURVEY MAP NO. 2506

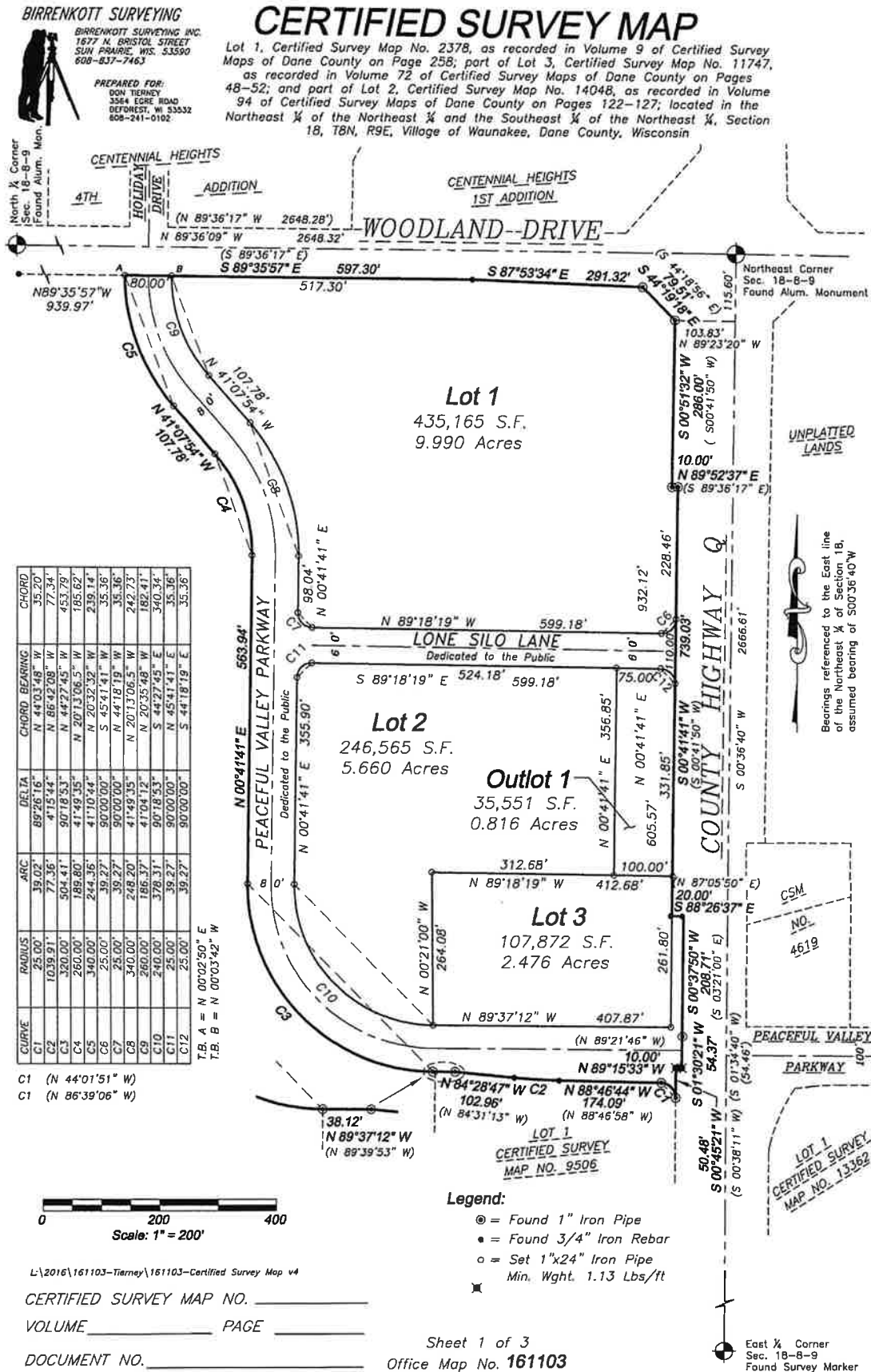
VOLUME 54 PAGES 156, 157 &amp; 158

Sheet 1 of 3

98W-326



3/14







# CERTIFIED SURVEY MAP

DATED: March 14, 2019

## Birrenkott Surveying, Inc.

P.O. Box 237  
1677 N. Bristol Street  
Sun Prairie, Wisconsin 53590  
Phone (608) 837-7463  
Fax (608) 837-1081

### Owners Certificate:

As owner, Lone Silo North Addition, LLC, does hereby certify that it has caused the lands described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as shown. It also certifies that this Certified Survey Map is required to be submitted to the Village of Waunakee as a required approving authority.

### Lone Silo North Addition, LLC

\_\_\_\_\_  
Donald C. Tierney, Member

### State of Wisconsin )

### Dane County ) ss

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2019, the above-named Donald C. Tierney, to me known to be the person who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public, Dane County, Wisconsin.

My Commission Expires \_\_\_\_\_

### Mortgagee Certificate:

First Business Bank, mortgagee of certain of the lands described hereon, does hereby consent to the surveying, dividing, mapping and dedicating of the land described on this Certified Survey Map, and does hereby consent to the certificate of Kilkenny Farms, LLC, owner.

### First Business Bank

\_\_\_\_\_  
Brian E. Hagen, Senior Vice President

### State of Wisconsin )

### Dane County ) ss

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2019, the above-named Brian E. Hagen, to me known to be the person who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public, Dane County, Wisconsin.

My Commission Expires \_\_\_\_\_

### Village of Waunakee Approval Certificate:

Resolved, that this Certified Survey Map is hereby acknowledged and accepted by the Village of Waunakee and is approved for recording by the Village of Waunakee this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Caitlin Stene, Clerk, Village of Waunakee

\_\_\_\_\_  
Dated

### Surveyed For:

Donald and Joanne Tierney  
3564 Egge Road  
DeForest, Wis. 53532  
837-0102

Surveyed: C.K.C.  
Drawn: M.A.P.  
Checked: M.A.P./D.V.B.  
Approved: D.V.B.  
Field book:  
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Document No. \_\_\_\_\_

Sheet 2 of 3  
Office Map No.: 161103

Certified Survey Map No. \_\_\_\_\_, Volume \_\_\_\_\_, Page \_\_\_\_\_





# CERTIFIED SURVEY MAP

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Kristi Chlebowski, Register of Deeds

Document No. \_\_\_\_\_

Certified Survey Map No. \_\_\_\_\_, Volume \_\_\_\_\_, Page \_\_\_\_\_

Sheet 3 of 3  
Office Map No.: 161103



**JOINT PLAN COMMISSION SUMMARY SHEET**

**MEETING DATE:** 04/08/2019

**ITEM:** NEW BUSINESS

**TITLE:** Public Hearing and Discussion/Action on Request by The Laurel Apartment Complex, Kilkenny Commons, for a Conditional Use Permit to Exceed the Maximum Height Limit for Portions of the Gabled Roof

**ISSUE SUMMARY:** The roof line exceeds the 45 foot maximum in some areas of the property. The highest being 52 feet.

**STAFF RECOMMENDATION:** Staff recommends approval of the CUP.

**RECOMMENDED MOTION:** Motion to approve the CUP for the height above 45 feet, but not to exceed 52 feet.

**ATTACHMENT(S):** Revised plans and staff comments

**FOR MORE INFORMATION CONTACT:** [kevin@waunakee.com](mailto:kevin@waunakee.com) or (608)849-6276



---

**To:** Kevin Even, Village of Waunakee  
**From:** Jason Valerius, AICP  
**Subject:** Laurel at Kilkenny, PIP and GDP amendment  
**Date:** March 1, 2019

---

### **Requests**

First applicant (Steve Brown Apartments) is requesting approval of a Precise Implementation Plan for Lot 2 of CSM No. 14357, part of Zone 5 of the Kilkenny Farms GDP, located east of Simon Crestway and south of Peaceful Valley Parkway. The subject parcel is 154,206 SF (3.54 acres). The proposed PIP features three residential buildings totaling about 136,155 SF; 82 units with a mix of 1-, 2-, and 3-bedroom units (147 total bedrooms); and 150 parking spaces (102 underground, 48 surface).

A separate request from Kilkenny Farms, LLC would reduce the required building setback along Peaceful Valley Parkway, just for this site, from 25 feet to 10 feet.

### **Applicable Zoning & Development Code Regulations**

- Kilkenny Farms GDP, as adopted March 18, 2013 and as amended September 10, 2018
- Chapter 133, Article III, Division 9 – R-5 Multifamily Residential District
- Chapter 133, Article VII – Traffic Visibility, Loading, Parking and Access

### **Consistency with the Village Comprehensive Plan**

The Comprehensive Plan identifies this site as commercial. Land uses in commercial areas in the plan “should be uses permitted in the Village’s C-1 and C-2 Districts.” The C-1 district allows for multifamily housing as a conditional use. The Village already approved an amendment to the Kilkenny Farms general development plan (GDP) in 2018 to allow multifamily residential use on this site.

The only inconsistency I observe between the proposal and the comprehensive plan is regarding sidewalks: “Policy 2.2 (page 57): Wherever medium- to high- density residential is proposed, sidewalks should be installed connecting that site to other uses and areas.” As described later in this memo, this site does not have enough sidewalks.

### **Consistency with the Village Zoning Ordinance**

The Kilkenny Farms GDP addresses some aspects of the development, and is silent on others. Items not addressed in the GDP default to the Village’s zoning ordinance.

### **Land Use**

The September 2018 GDP amendment identifies this site for multifamily housing.

**MEMO**

March 1, 2019

**Building Area**

The September 2018 GDP amendment indicates a maximum first-floor area of 20,000 SF per building; the maximum proposed is 18,368. This proposal will use 34% of the total 133,158 SF building footprint allotment for Area 5.

**Building Height**

The GDP does not address height. The R-5 Multifamily Residential District allows for a maximum height of 45 feet for principal buildings, or up to 55 feet by conditional use permit with a few specific limitations on the square footage and street setback for height above 45 feet. The proposed buildings all feature a parking level (10 feet floor-to-floor), three residential floors (12 ft, 11 ft, 9 ft), and a pitched roof (23 feet eave to peak, counted toward building height as 11.5 ft). Because of the sloping site the parking level is completely underground on some sides (resulting in a building height of 43.5 feet) and exposed to various extents on others (resulting in averaged heights up to about 52 feet). The building heights will require a conditional use permit. The only part of the structure above 45 feet is the roof, and the roof complies with the various setback, area and use conditions in the ordinance.

**Building Setbacks**

The adopted GDP allows building setbacks of 25 feet along Peaceful Valley Parkway and 15 feet along other streets. Along the south and east sides of this site the proposed roads are private roads rather than public right-of-way – the only setback requirement is 15 feet from the property line, which is in the middle of those roads. The proposed buildings are at least 15 feet from Simon Crestway, as required, more than the required 25 feet from Peaceful Valley Parkway, and roughly 25 feet from the curb of the proposed private streets to the south and east.

The request from Kilkenny Farms, LLC to amend the GDP to allow a building setback of 10 feet appears not to be necessary. Note that Peaceful Valley Parkway was constructed close to the south edge of the right-of-way, no more than 8 feet away, and without any path or sidewalk.

**Sidewalks**

~~The GDP indicates that sidewalks and trails will be planned at the PIP stage of development. There is an existing 8-foot sidewalk in the right-of-way along Simon Crestway. The proposed site plan includes no other sidewalks around the edges of the site. There are three connections between the buildings and off-site walking routes: at the west entrance of the south building, a sidewalk to Simon Crestway between the west and north buildings, and from the east entrance of the north building out to the street corner. Only the west entrance of the south building offers a barrier-free connection to the street; the other two walking routes include steps. The provisions for pedestrian access to, through, and past this site are inadequate. Sidewalks on all four sides of the site and ADA-compliant connections to those sidewalks are preferred. Note that Peaceful Valley Parkway was constructed without sidewalk on the south side and also without leaving enough space for a sidewalk. Adding a sidewalk along that north side of the project would improve access along this block for all neighborhood residents but would require some additional right-of-way dedication to achieve it.~~

**Parking**

The GDP requires 569 parking spaces in area 5, including under building and on-street spaces, but has no requirements specific to this site. The proposed development has 102 underground spaces and 48 surface spaces (150 total). The proposed private roads are 24 feet wide and no on-street parking is proposed or

**MEMO**March 1, 2019

---

counted. The Village's current parking ordinance requires 2 stalls for every dwelling unit, whereas the proposed development offers 1.83 parking spaces per unit and 1.02 spaces per bedroom. The Plan Commission may grant exceptions to the parking standards if there is evidence of lesser need. The mix of proposed unit sizes results in an average of 1.8 bedrooms per unit. The Village has consented to reductions in required parking for several projects in recent years. There have been discussion about revising the Village's parking standards to require less parking. One model is the City of Middleton ordinance, which requires 1.5 parking spaces for a one-bedroom unit and 2 for 2+ bedrooms. By that ordinance, this development would be required to provide 149 parking spaces, and would be compliant with the ordinance.

**MSA Recommendation**

I recommend approval of the proposed PIP with the following conditions:

- 1) Approve a conditional use permit for increased building height up to 55 feet, and consistent with the other standards in the ordinance.
- 2) Approve an exception to the parking standards based on 1.5 spaces per one-bedroom unit and 2.0 spaces for other units.
- 3) Add sidewalks around the east and south sides of the site, and show ADA-compliant connections from every building to the west sidewalk (enabling access to commercial uses west of this site). Add pedestrian connections from the buildings and/or through the parking lots to the east sidewalk. A sidewalk is also encouraged along Peaceful Valley Parkway, recognizing that it likely requires additional right-of-way to achieve.
- 4) Do not approve the requested GDP amendment to allow setback reduction from 25 feet to 10 feet along Peaceful Valley Parkway. It would be preferable to keep this relatively tall building further back from the street. Any dedication of additional right-of-way to provide a sidewalk in this location could be coupled with a corresponding reduction in the required street setback.

Sincerely,  
MSA Professional Services, Inc.



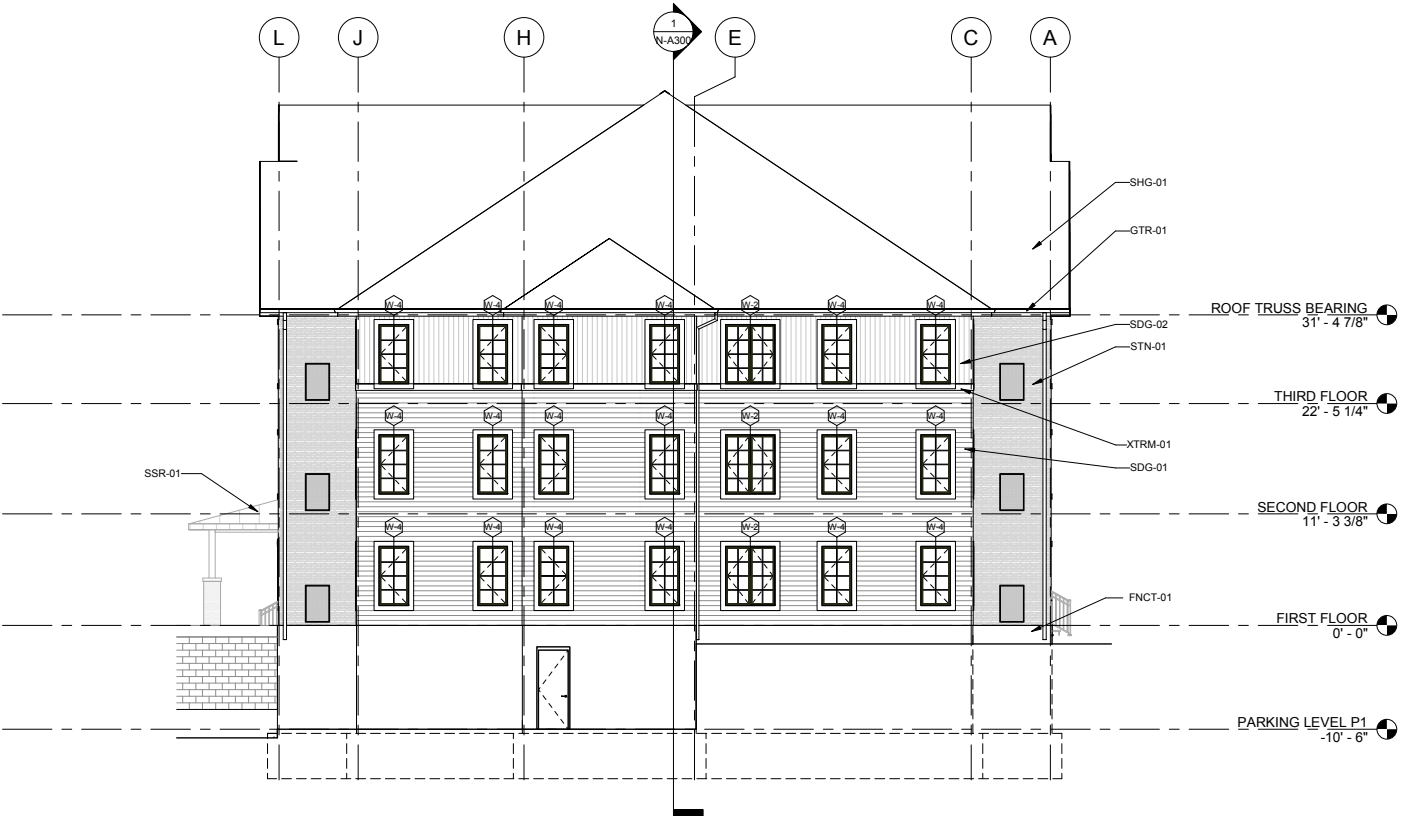
Jason Valerius, AICP  
Consultant Planner



NORTH BUILDING ELEVATIONS



1 NORTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"

EXTERIOR MATERIAL PRODUCT LIST					
CODE	ITEM	MANUFACTURER	DESCRIPTION	COLOR	NOTES
CD-01	COMPOSITE DECKING	TREX	TRANSCEND COLLECTION	TBD	
CSH-01	CAST STONE HEADER	TBD	---	TBD	
CSS-01	CAST STONE SILL	TBD	---	TBD	
FNCT-01	FOUNDATION WALL COATING	TBD	---	TBD	TO BE USED AT EXPOSED FOUNDATION WALLS ABOVE GRADE, TYP.
GTR-01	PREFINISHED METAL GUTTER & DOWNSPOUTS	TBD	---	TBD	
RLG-01	RAILINGS AND HANDRAIL	SUPERIOR	9100 SERIES, OPEN DOUBLE TOP RAIL, USE 3/4" SQUARE PICKETS	TBD	USE SUPERIOR 500 SERIES PIPE RAILING WHERE REQUIRED
SDG-01	PREFINISHED COMPOSITE LAP SIDING	LP SMARTSIDE W/ DIAMOND KOTE	76 SERIES, TEXTURED, 7.84" ACTUAL WIDTH	CUSTOM	
SDG-02	PREFINISHED COMPOSITE VERTICAL SIDING	LP SMARTSIDE W/ DIAMOND KOTE	76 SERIES, TEXTURED, 7.84" ACTUAL WIDTH	CUSTOM	
SHG-01	ASPHALT SHINGLES	TBD	---	TBD	
SSR-01	STANDING SEAM METAL ROOF	PAC CLAD	TITELOC PANEL	TBD	
STN-01	STONE VENEER	TBD	---	TBD	
XTRM-01	EXTERIOR TRIM AND FASCIA	LP SMARTSIDE W/ DIAMOND KOTE	5.5" OUTSIDE CORNERS, 2.5" INSIDE CORNERS, BOTH ONE PIECE	CUSTOM	

GENERAL NOTES: ALL MORTARS TO BE COLORED. CONTRACTOR TO PROVIDE FULL SCALE MOCK-UP OF ALL STONE/SIDING/BRICK COMBINATIONS (WITH MORTARS).

**brownhouse**  
202 West Gorham St.  
Madison, WI 53703  
Tel: 608.663.5100  
Fax: 608.663.5151  
www.brownhousedesigns.com

Consultant

No.	Date	Description

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Wisconsin

Signed:  
Name: SHANE FRY  
License No.: A-10754  
Date: 00/00/0000  
Drawn By: BROWNHOUSE  
Checked By: SHANE FRY  
Document Phase: PHASE  
Project No.:

Project Title  
THE LAUREL AT KILKENNY - NORTH BUILDING  
Address  
1120 SIMON CRESTWAY  
WAUNAKEE, WI 53597  
Release  
2019-03-19 1:10:54 PM

Sheet Title  
EXTERIOR ELEVATIONS

Sheet Number

PRELIMINARY  
NOT FOR  
CONSTRUCTION

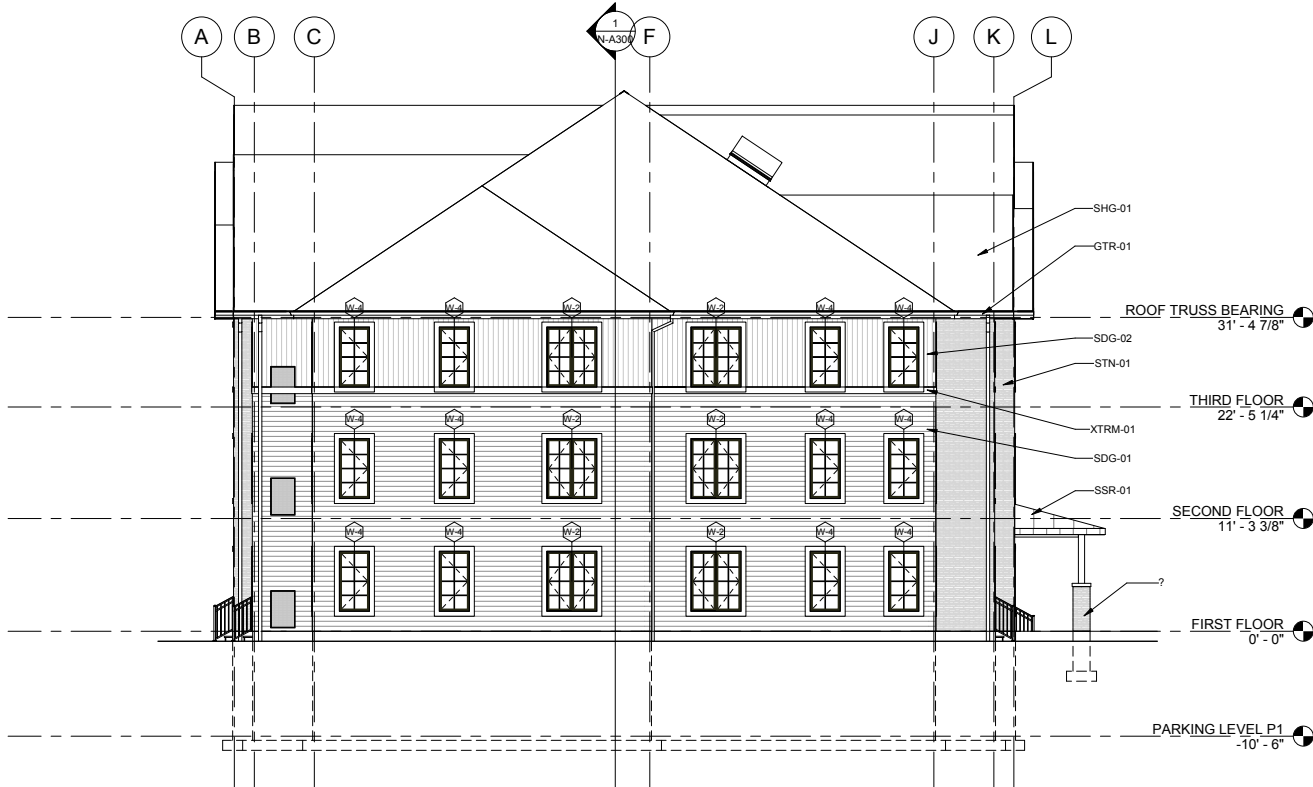
N-A200

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NORTH BUILDING ELEVATIONS



1 SOUTH ELEVATION  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"

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Signed: \_\_\_\_\_  
Name: SHANE FRY  
License No.: A-10754  
Date: 00/00/0000  
Drawn By: BROWNHOUSE  
Checked By: SHANE FRY  
Document Phase: PHASE  
Project No.: \_\_\_\_\_

Project Title  
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NORTH BUILDING  
Address  
1120 SIMON CRESTWAY  
WAUNAKEE, WI 53597  
Release  
2019-03-19 11:13:34 PM

Sheet Title  
EXTERIOR ELEVATIONS

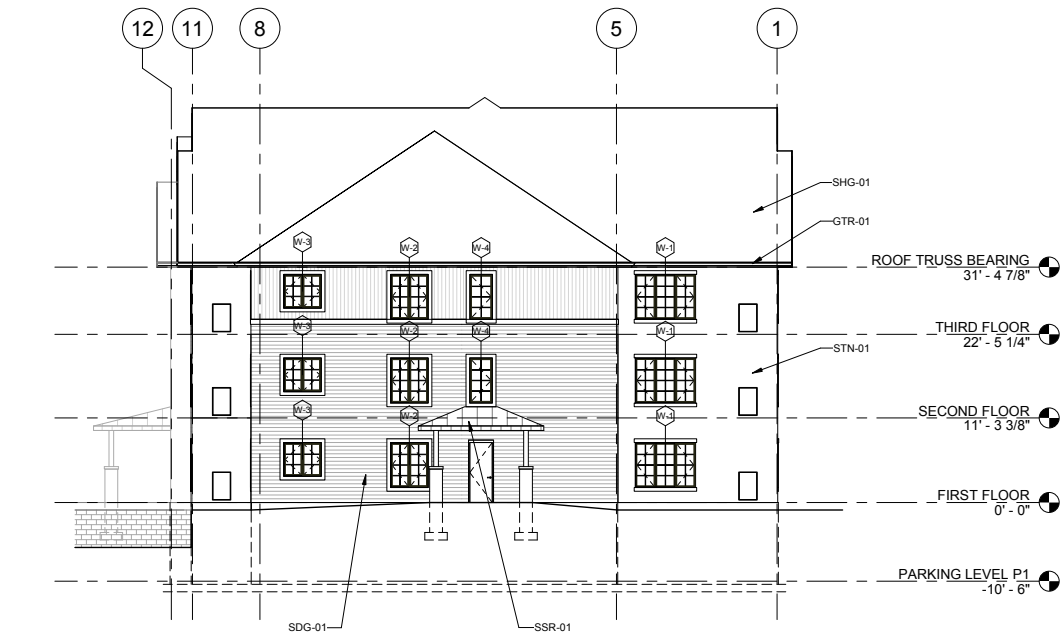
Sheet Number

PRELIMINARY  
NOT FOR  
CONSTRUCTION

N-A201

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WEST BUILDING ELEVATIONS



1 NORTH ELEVATION  
3/32" = 1'-0"



2 EAST ELEVATION  
3/32" = 1'-0"

EXTERIOR MATERIAL PRODUCT LIST					
CODE	ITEM	MANUFACTURER	DESCRIPTION	COLOR	NOTES
CD-01	COMPOSITE DECKING	TREX	TRANSCEND COLLECTION	TBD	
CSH-01	CAST STONE HEADER	TBD	---	TBD	
CSS-01	CAST STONE SILL	TBD	---	TBD	
FNCT-01	FOUNDATION WALL COATING	TBD	---	TBD	TO BE USED AT EXPOSED FOUNDATION WALLS ABOVE GRADE, TYP.
GTR-01	PREFINISHED METAL GUTTER & DOWNSPOUTS	TBD	---	TBD	
RLG-01	RAILINGS AND HANDRAIL	SUPERIOR	9100 SERIES, OPEN DOUBLE TOP RAIL, USE 3/4" SQUARE PICKETS	TBD	USE SUPERIOR 500 SERIES PIPE RAILING WHERE REQUIRED
SDG-01	PREFINISHED COMPOSITE LAP SIDING	LP SMARTSIDE W/ DIAMOND KOTE	76 SERIES, TEXTURED, 7.84" ACTUAL WIDTH	CUSTOM	
SDG-02	PREFINISHED COMPOSITE VERTICAL SIDING	LP SMARTSIDE W/ DIAMOND KOTE	76 SERIES, TEXTURED, 7.84" ACTUAL WIDTH	CUSTOM	
SHG-01	ASPHALT SHINGLES	TBD	---	TBD	
SSR-01	STANDING SEAM METAL ROOF	PAC CLAD	TITELOC PANEL	TBD	
STN-01	STONE VENEER	TBD	---	TBD	
XTRM-01	EXTERIOR TRIM AND FASCIA	LP SMARTSIDE W/ DIAMOND KOTE	5.5" OUTSIDE CORNERS, 2.5" INSIDE CORNERS, BOTH ONE PIECE	CUSTOM	

GENERAL NOTES: ALL MORTARS TO BE COLORED. CONTRACTOR TO PROVIDE FULL SCALE MOCK-UP OF ALL STONE/SIDING/BRICK COMBINATIONS (WITH MORTARS).

brownhouse

202 West Gorham St.  
Madison, WI 53703  
Tel: 608.663.5100  
Fax: 608.663.5151  
www.brownhousedesigns.com

Consultant

No.	Date	Description

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Wisconsin

Signed: \_\_\_\_\_  
Name: SHANE FRY  
License No.: A-10754  
  
Date: 00/00/0000  
Drawn By: BROWNHOUSE  
Checked By: SHANE FRY  
Document Phase: PHASE  
Project No.: \_\_\_\_\_

Project Title  
THE LAUREL AT KILKENNY - WEST BUILDING  
  
Address  
1120 SIMON CRESTWAY  
WAUNAKEE, WI 53597

Release  
2019-03-19 1:13:08 PM

Sheet Title  
EXTERIOR ELEVATIONS

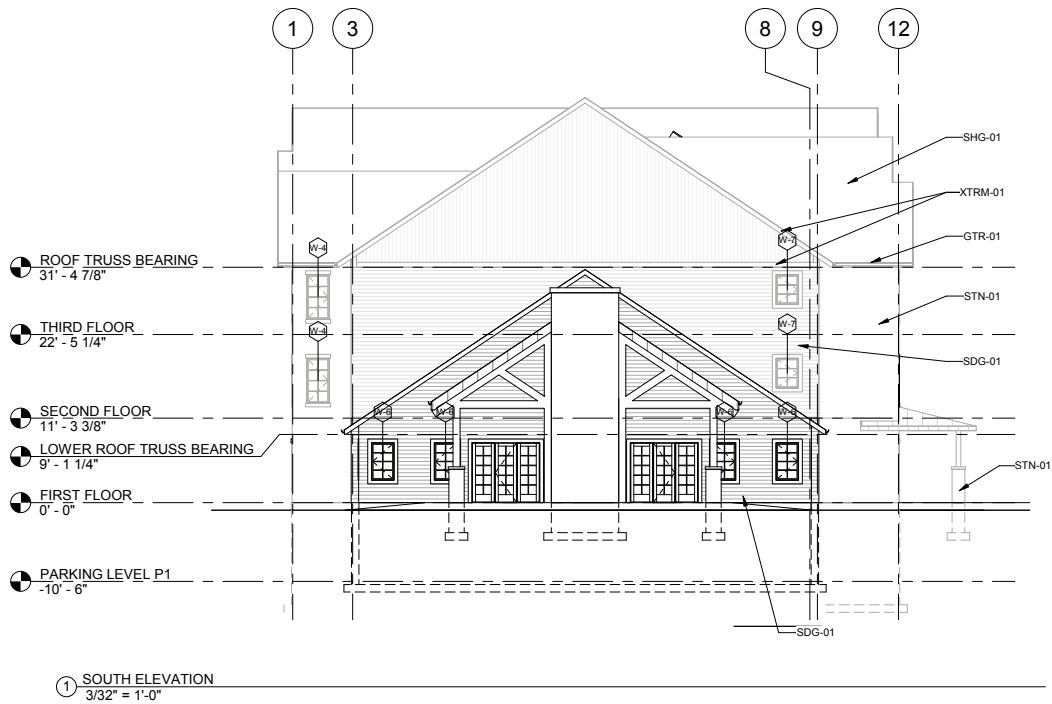
Sheet Number

PRELIMINARY  
NOT FOR  
CONSTRUCTION

W-A200

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WEST BUILDING ELEVATIONS



1 SOUTH ELEVATION  
3/32" = 1'-0"



2 WEST ELEVATION  
3/32" = 1'-0"

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Consultant

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Signed: \_\_\_\_\_  
Name: SHANE FRY  
License No.: A-10754  
Date: 00/00/0000  
Drawn By: BROWNHOUSE  
Checked By: SHANE FRY  
Document Phase: PHASE  
Project No.: \_\_\_\_\_

Project Title  
THE LAUREL AT KILKENNY -  
WEST BUILDING

Address  
1120 SIMON CRESTWAY  
WAUNAKEE, WI 53597

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2019-03-19 1:13:16 PM

Sheet Title  
EXTERIOR ELEVATIONS

Sheet Number

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NOT FOR  
CONSTRUCTION

W-A201

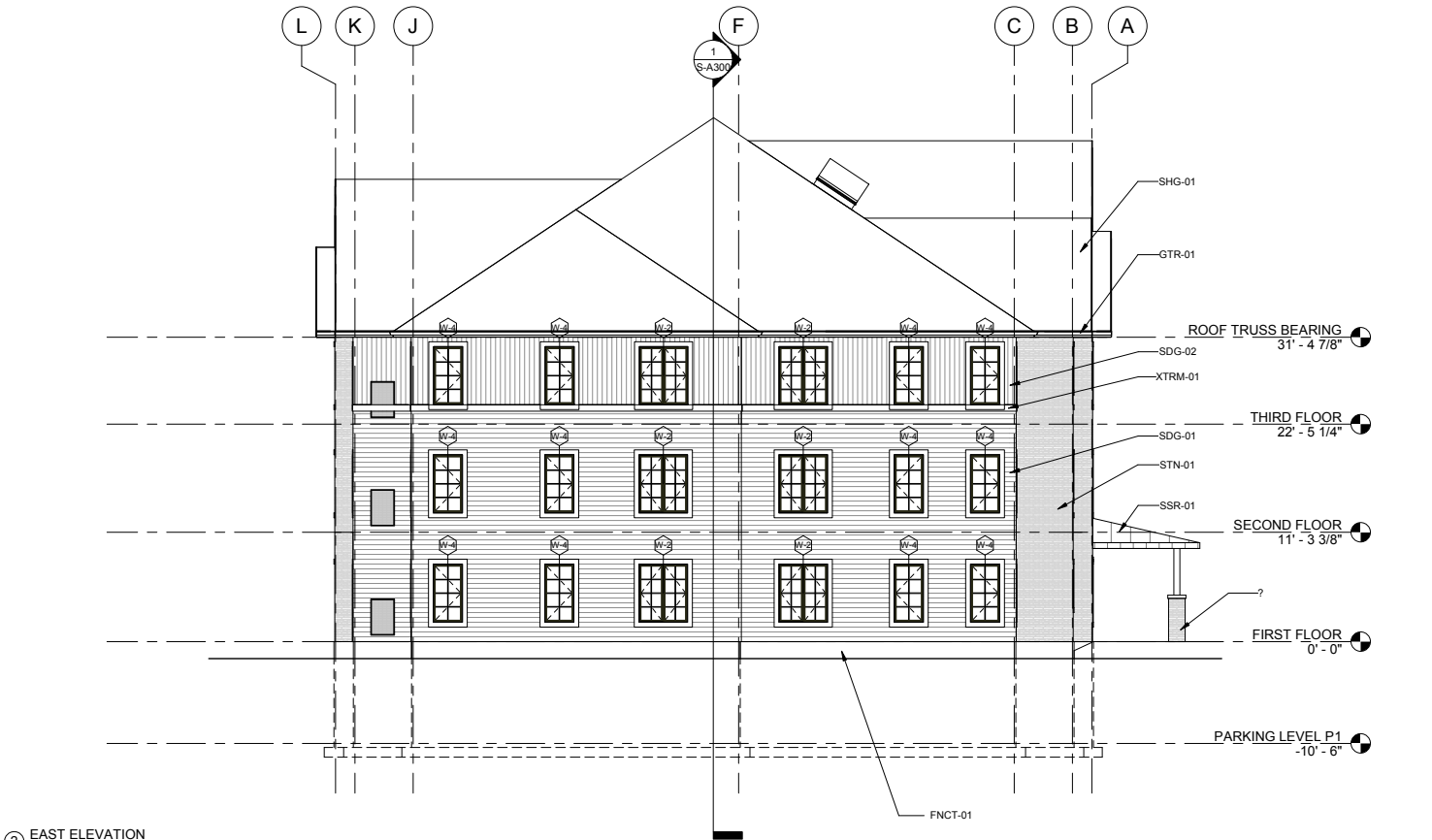
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SOUTH BUILDING ELEVATIONS



1 NORTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"

EXTERIOR MATERIAL PRODUCT LIST					
CODE	ITEM	MANUFACTURER	DESCRIPTION	COLOR	NOTES
CD-01	COMPOSITE DECKING	TREX	TRANSCEND COLLECTION	TBD	
CSH-01	CAST STONE HEADER	TBD	---	TBD	
CSS-01	CAST STONE SILL	TBD	---	TBD	
FNCT-01	FOUNDATION WALL COATING	TBD	---	TBD	TO BE USED AT EXPOSED FOUNDATION WALLS ABOVE GRADE, TYP.
GTR-01	PREFINISHED METAL GUTTER & DOWNSPOUTS	TBD	---	TBD	
RLG-01	RAILINGS AND HANDRAIL	SUPERIOR	9100 SERIES, OPEN DOUBLE TOP RAIL, USE 3/4" SQUARE PICKETS	TBD	USE SUPERIOR 500 SERIES PIPE RAILING WHERE REQUIRED
SDG-01	PREFINISHED COMPOSITE LAP SIDING	LP SMARTSIDE W/ DIAMOND KOTE	76 SERIES, TEXTURED, 7.84" ACTUAL WIDTH	CUSTOM	
SDG-02	PREFINISHED COMPOSITE VERTICAL SIDING	LP SMARTSIDE W/ DIAMOND KOTE	76 SERIES, TEXTURED, 7.84" ACTUAL WIDTH	CUSTOM	
SHG-01	ASPHALT SHINGLES	TBD	---	TBD	
SSR-01	STANDING SEAM METAL ROOF	PAC CLAD	TITELC PANEL	TBD	
STN-01	STONE VENEER	TBD	---	TBD	
XTRM-01	EXTERIOR TRIM AND FASCIA	LP SMARTSIDE W/ DIAMOND KOTE	5.5" OUTSIDE CORNERS, 2.5" INSIDE CORNERS, BOTH ONE PIECE	CUSTOM	

GENERAL NOTES: ALL MORTARS TO BE COLORED. CONTRACTOR TO PROVIDE FULL SCALE MOCK-UP OF ALL STONE/SIDING/BRICK COMBINATIONS (WITH MORTARS).

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Consultant

No.	Date	Description

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Wisconsin

Signed: \_\_\_\_\_  
Name: SHANE FRY  
License No.: A-10754  
Date: 00/00/0000  
Drawn By: BROWNHOUSE  
Checked By: SHANE FRY  
Document Phase: PHASE  
Project No.: \_\_\_\_\_

Project Title  
THE LAUREL AT KILKENNY -  
SOUTH BUILDING  
Address  
1120 SIMON CRESTWAY  
WAUNAKEE, WI 53597

Release  
2019-03-19 1:14:52 PM

Sheet Title  
EXTERIOR ELEVATIONS

Sheet Number

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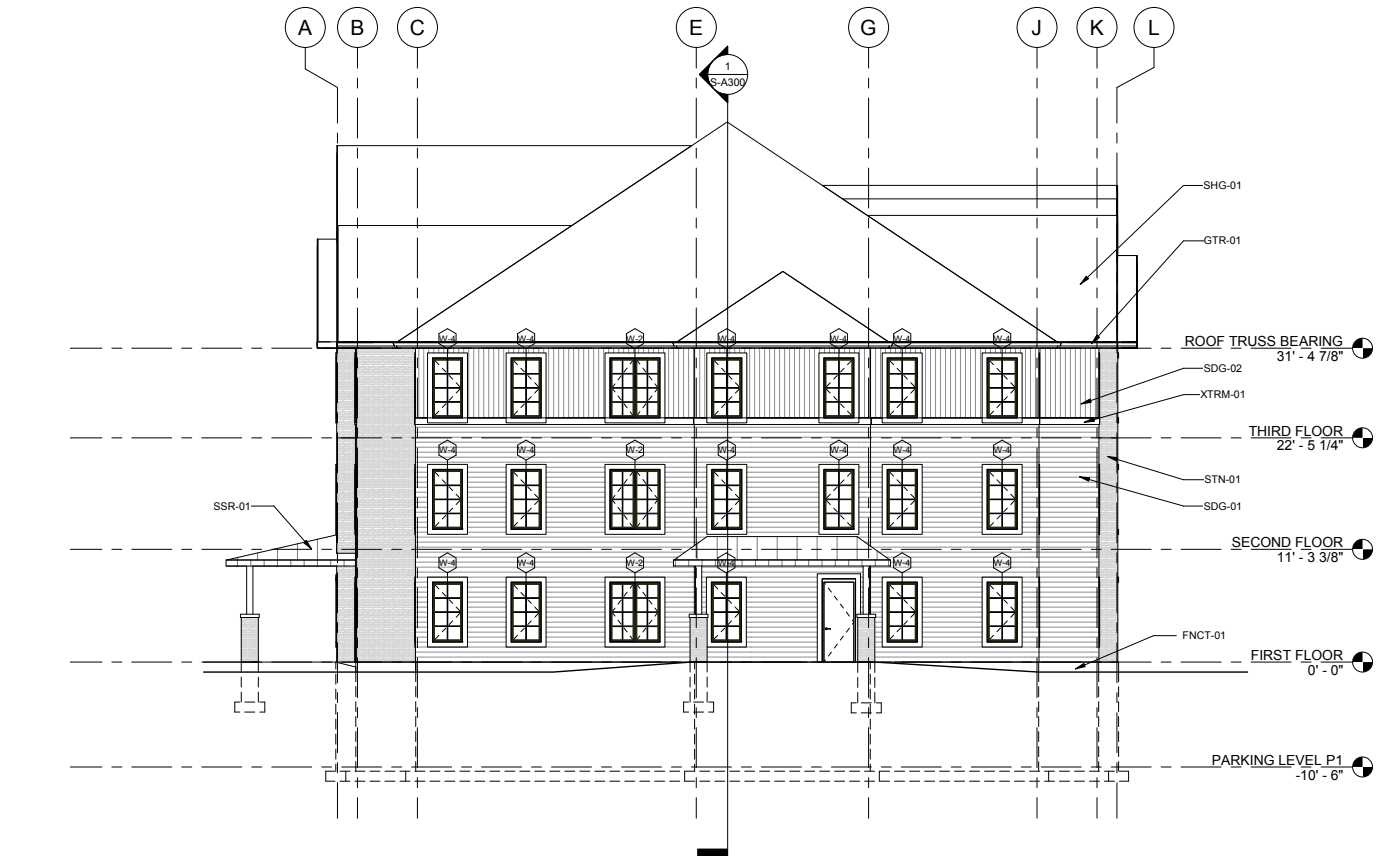
S-A200

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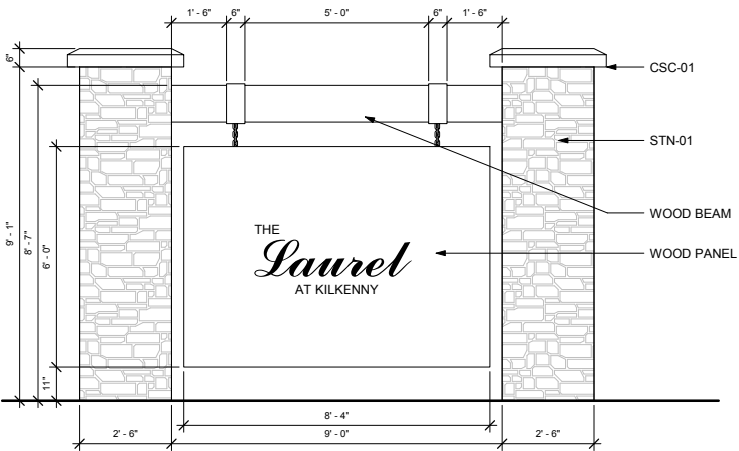
SOUTH BUILDING ELEVATIONS  
& SIGNAGE ELEVATION



1 SOUTH ELEVATION  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"



3 SIGNAGE ELEVATION  
1/2" = 1'-0"

**brownhouse**  
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Madison, WI 53703  
Tel: 608.663.5100  
Fax: 608.663.5151  
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Consultant

No.	Date	Description

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Signed: \_\_\_\_\_  
Name: SHANE FRY  
License No.: A-10754  
Date: 00/00/0000  
Drawn By: BROWNHOUSE  
Checked By: SHANE FRY  
Document Phase: PHASE  
Project No.: \_\_\_\_\_

Project Title  
THE LAUREL AT KILKENNY - SOUTH BUILDING

Address  
1120 SIMON CRESTWAY  
WAUNAKEE, WI 53597

Release  
2019-03-19 1:15:24 PM

Sheet Title  
EXTERIOR ELEVATIONS

Sheet Number

S-A201

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CONSTRUCTION

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**JOIN PLAN COMMISSION SUMMARY SHEET**

**MEETING DATE:** 04/08/2019

**ITEM:** NEW BUSINESS

**TITLE:** Discuss and Take Action on Site Plan/Specific Implementation Plan for The Laurel Apartment Complex, Kilkenny Commons

**ISSUE SUMMARY:** This item was tabled at the previous meeting pending the approval of a conditional use permit to exceed the height limit and further discussion with staff regarding sidewalk circulation and building elevations. Staff met with the applicant and has found a solution that allows for pedestrian access on all four sides of the building complex.

**STAFF RECOMMENDATION:** Conditionally approve

**RECOMMENDED MOTION:** Motion to approve the SIP conditioned upon all staff comments resolved to the satisfaction of the Village Engineer.

**ATTACHMENT(S):** Revised plans and staff comments

**FOR MORE INFORMATION CONTACT:** [kevin@waunakee.com](mailto:kevin@waunakee.com) or (608)849-6276



---

**To:** Kevin Even, Village of Waunakee  
**From:** Jason Valerius, AICP  
**Subject:** Laurel at Kilkenny, PIP and GDP amendment  
**Date:** March 1, 2019

---

### **Requests**

First applicant (Steve Brown Apartments) is requesting approval of a Precise Implementation Plan for Lot 2 of CSM No. 14357, part of Zone 5 of the Kilkenny Farms GDP, located east of Simon Crestway and south of Peaceful Valley Parkway. The subject parcel is 154,206 SF (3.54 acres). The proposed PIP features three residential buildings totaling about 136,155 SF; 82 units with a mix of 1-, 2-, and 3-bedroom units (147 total bedrooms); and 150 parking spaces (102 underground, 48 surface).

A separate request from Kilkenny Farms, LLC would reduce the required building setback along Peaceful Valley Parkway, just for this site, from 25 feet to 10 feet.

### **Applicable Zoning & Development Code Regulations**

- Kilkenny Farms GDP, as adopted March 18, 2013 and as amended September 10, 2018
- Chapter 133, Article III, Division 9 – R-5 Multifamily Residential District
- Chapter 133, Article VII – Traffic Visibility, Loading, Parking and Access

### **Consistency with the Village Comprehensive Plan**

The Comprehensive Plan identifies this site as commercial. Land uses in commercial areas in the plan “should be uses permitted in the Village’s C-1 and C-2 Districts.” The C-1 district allows for multifamily housing as a conditional use. The Village already approved an amendment to the Kilkenny Farms general development plan (GDP) in 2018 to allow multifamily residential use on this site.

The only inconsistency I observe between the proposal and the comprehensive plan is regarding sidewalks: “Policy 2.2 (page 57): Wherever medium- to high- density residential is proposed, sidewalks should be installed connecting that site to other uses and areas.” As described later in this memo, this site does not have enough sidewalks.

### **Consistency with the Village Zoning Ordinance**

The Kilkenny Farms GDP addresses some aspects of the development, and is silent on others. Items not addressed in the GDP default to the Village’s zoning ordinance.

### **Land Use**

The September 2018 GDP amendment identifies this site for multifamily housing.

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2901 INTERNATIONAL LANE, SUITE 300, MADISON, WI 53704-3133

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Page 1 of 3

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**MEMO**

March 1, 2019

**Building Area**

The September 2018 GDP amendment indicates a maximum first-floor area of 20,000 SF per building; the maximum proposed is 18,368. This proposal will use 34% of the total 133,158 SF building footprint allotment for Area 5.

**Building Height**

The GDP does not address height. The R-5 Multifamily Residential District allows for a maximum height of 45 feet for principal buildings, or up to 55 feet by conditional use permit with a few specific limitations on the square footage and street setback for height above 45 feet. The proposed buildings all feature a parking level (10 feet floor-to-floor), three residential floors (12 ft, 11 ft, 9 ft), and a pitched roof (23 feet eave to peak, counted toward building height as 11.5 ft). Because of the sloping site the parking level is completely underground on some sides (resulting in a building height of 43.5 feet) and exposed to various extents on others (resulting in averaged heights up to about 52 feet). The building heights will require a conditional use permit. The only part of the structure above 45 feet is the roof, and the roof complies with the various setback, area and use conditions in the ordinance.

**Building Setbacks**

The adopted GDP allows building setbacks of 25 feet along Peaceful Valley Parkway and 15 feet along other streets. Along the south and east sides of this site the proposed roads are private roads rather than public right-of-way – the only setback requirement is 15 feet from the property line, which is in the middle of those roads. The proposed buildings are at least 15 feet from Simon Crestway, as required, more than the required 25 feet from Peaceful Valley Parkway, and roughly 25 feet from the curb of the proposed private streets to the south and east.

The request from Kilkenny Farms, LLC to amend the GDP to allow a building setback of 10 feet appears not to be necessary. Note that Peaceful Valley Parkway was constructed close to the south edge of the right-of-way, no more than 8 feet away, and without any path or sidewalk.

**Sidewalks**

~~The GDP indicates that sidewalks and trails will be planned at the PIP stage of development. There is an existing 8-foot sidewalk in the right-of-way along Simon Crestway. The proposed site plan includes no other sidewalks around the edges of the site. There are three connections between the buildings and off-site walking routes: at the west entrance of the south building, a sidewalk to Simon Crestway between the west and north buildings, and from the east entrance of the north building out to the street corner. Only the west entrance of the south building offers a barrier-free connection to the street; the other two walking routes include steps. The provisions for pedestrian access to, through, and past this site are inadequate. Sidewalks on all four sides of the site and ADA-compliant connections to those sidewalks are preferred. Note that Peaceful Valley Parkway was constructed without sidewalk on the south side and also without leaving enough space for a sidewalk. Adding a sidewalk along that north side of the project would improve access along this block for all neighborhood residents but would require some additional right-of-way dedication to achieve it.~~

**Parking**

The GDP requires 569 parking spaces in area 5, including under building and on-street spaces, but has no requirements specific to this site. The proposed development has 102 underground spaces and 48 surface spaces (150 total). The proposed private roads are 24 feet wide and no on-street parking is proposed or



**MEMO**March 1, 2019

---

counted. The Village's current parking ordinance requires 2 stalls for every dwelling unit, whereas the proposed development offers 1.83 parking spaces per unit and 1.02 spaces per bedroom. The Plan Commission may grant exceptions to the parking standards if there is evidence of lesser need. The mix of proposed unit sizes results in an average of 1.8 bedrooms per unit. The Village has consented to reductions in required parking for several projects in recent years. There have been discussion about revising the Village's parking standards to require less parking. One model is the City of Middleton ordinance, which requires 1.5 parking spaces for a one-bedroom unit and 2 for 2+ bedrooms. By that ordinance, this development would be required to provide 149 parking spaces, and would be compliant with the ordinance.

**MSA Recommendation**

I recommend approval of the proposed PIP with the following conditions:

- 1) Approve a conditional use permit for increased building height up to 55 feet, and consistent with the other standards in the ordinance.
- 2) Approve an exception to the parking standards based on 1.5 spaces per one-bedroom unit and 2.0 spaces for other units.
- 3) Add sidewalks around the east and south sides of the site, and show ADA-compliant connections from every building to the west sidewalk (enabling access to commercial uses west of this site). Add pedestrian connections from the buildings and/or through the parking lots to the east sidewalk. A sidewalk is also encouraged along Peaceful Valley Parkway, recognizing that it likely requires additional right-of-way to achieve.
- 4) Do not approve the requested GDP amendment to allow setback reduction from 25 feet to 10 feet along Peaceful Valley Parkway. It would be preferable to keep this relatively tall building further back from the street. Any dedication of additional right-of-way to provide a sidewalk in this location could be coupled with a corresponding reduction in the required street setback.

Sincerely,  
MSA Professional Services, Inc.



Jason Valerius, AICP  
Consultant Planner



---

**To:** Village of Waunakee Plan Commission  
**From:** Jason Valerius, AICP  
**Subject:** Laurel at Kilkenny, PIP  
**Date:** April 1, 2019

---

### **Requests**

Applicant (Steve Brown Apartments) is requesting approval of a Precise Implementation Plan for Lot 2 of CSM No. 14357, part of Zone 5 of the Kilkenny Farms GDP, located east of Simon Crestway and south of Peaceful Valley Parkway. This memo is a supplement to the March 1 memo, addressing only the sidewalk plan.

### **Applicable Zoning & Development Code Regulations**

Sidewalks are required under the Village's subdivision ordinance. Here is the entire relevant section:

#### ***Sec. 129-150. - Sidewalks.***

- (a) In all land divisions, the village board shall require the subdivider to construct five-foot wide concrete sidewalks on both sides of all local, collector, and arterial streets. Where, in the opinion of the plan commission and village board, the land division would be better served by an alternative form of pedestrian access, the village board may grant an exception to the sidewalk requirements. The construction of all sidewalks or alternative pedestrian access shall be in accordance with plans and standard specifications approved by the village engineer.*
- (b) In addition, wider-than-standard sidewalks may be required by the village board in the vicinity of schools, commercial areas, and other places of public assemblage, and the village board may require the construction of sidewalks in locations other than required under this Code if such walks are necessary, in its opinion, for safe and adequate pedestrian circulation.*
- (c) For all building permits issued between May 1 and October 15, sidewalks must be installed before an occupancy permit is issued. For permits issued after October 15 and before May 1, the sidewalks must be installed by the following June 15.*

### **Current conditions**

The GDP indicates that sidewalks and trails will be planned at the PIP stage of development. There is an existing 8-foot sidewalk in the right-of-way along Simon Crestway. The right-of-way along Peaceful Valley Parkway provides just 7 feet of space from the back of the curb to the right-of-way line, and no existing sidewalk. There is a utility easement behind that right-of-way extending 10' into the lot, and a set of utility lines running diagonally across the ROW and the easement (see next page).

---

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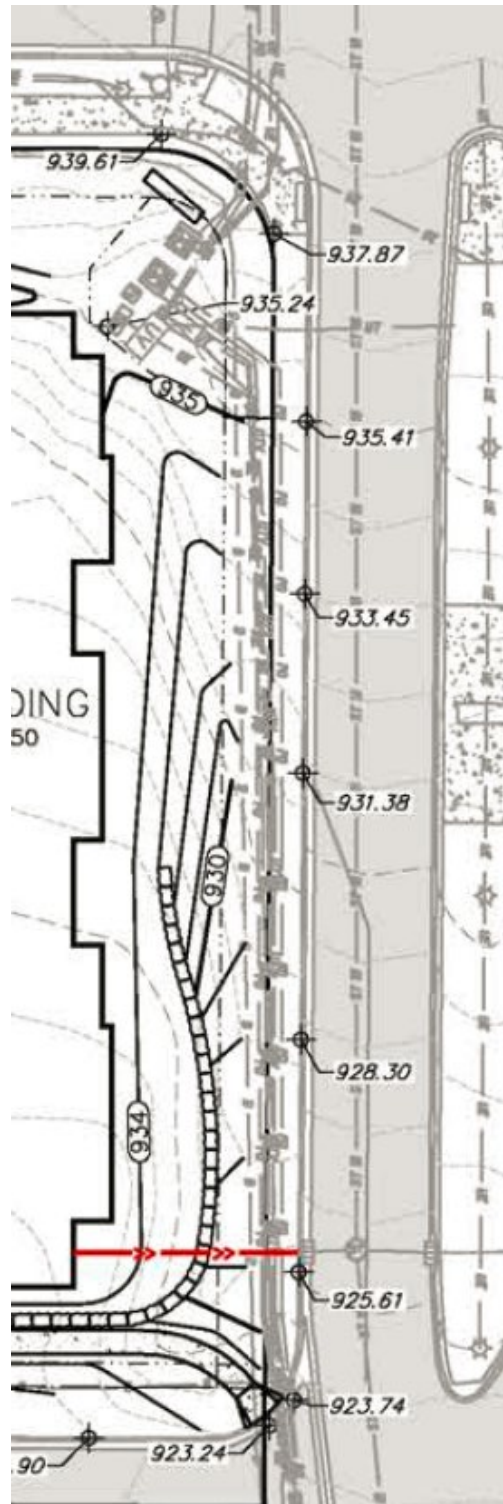
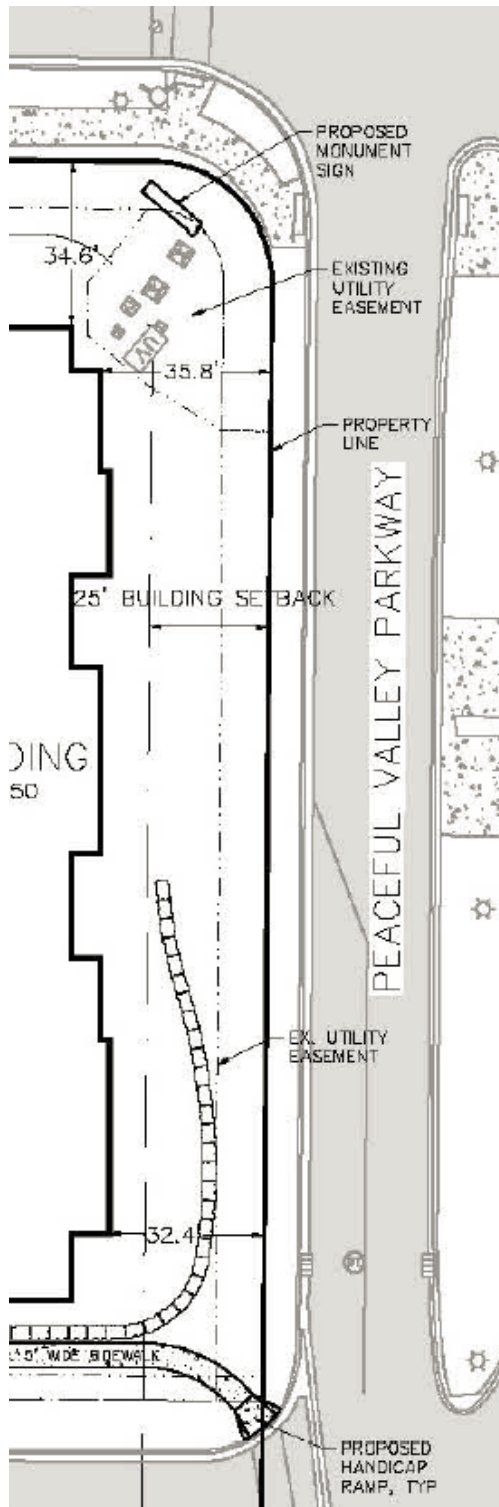
Page 1 of 3

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**Laurel at Kilkenny**

April 1, 2019

Site illustrations from the February 16, 2019 submittal. Left illustration indicates setbacks, right illustration shows the utility lines.



**Laurel at Kilkenny**April 1, 2019

---

**Sidewalk Proposal**

It is my understanding that the applicant is proposing the following:

- A) West – maintain existing 8' sidewalk along Simon Crestway (with ~8' terrace)
- B) South – work with GDP developer (Tierney) to construct 5' sidewalk on south side of street
- C) East – construct 5' sidewalk along west side of Connery Cove (with 7' terrace)
- D) North – construct 7' sidewalk immediately behind curb

**Analysis**

- 1) Regarding the connection between Connery Cove and Simon Crestway along the south end of this site, I think having a connection on just one side of this street is acceptable due to the anticipated low traffic counts on this street, enabling safe crossings to the other side of the street.
- 2) Regarding the sidewalk along Peaceful Valley Parkway, the sidewalk directly behind the curb is not the preferred design, but is an acceptable solution to provide the necessary pedestrian connection along the north edge of this block. The preferred design would place the sidewalk behind the utility ROW, where it would have a more attractive appearance from the street, be more pleasant to walk along, be less complicated to maintain in the winter, and have the least conflict with the underground utility lines. A 5' sidewalk in this location would be approximately 17.5 feet from the building at the nearest point. This is similar to the distance from the sidewalk to the building along Simon Crestway (~18' at the nearest point).

**MSA Recommendation**

Approve the sidewalks as described above, with the following stipulations

- 1) The sidewalk connecting Connery Cove to Simon Crestway must be constructed concurrent with the Laurel at Kilkenny sidewalks
- 2) The sidewalk along Peaceful Valley Parkway should be reviewed by the utilities it may affect.

Sincerely,  
MSA Professional Services, Inc.



Jason Valerius, AICP  
Planner

**Tracy Meinholz**

---

**From:** Freer, Ed <Ed.Freer@graef-usa.com>  
**Sent:** March 27, 2019 8:29 AM  
**To:** Tracy Meinholz; Kevin Even  
**Cc:** Dan Seeley; angie.black@carlsonblack.com; mlawton@boardmanclark.com; jtierney999@gmail.com; Jerry Tierney; kent.straus@strand.com; bkleinmaier@staffordlaw.com; sfry@brownhousedesigns.com; Jason Valerius  
**Subject:** RE: Follow up Meeting with Dan Seeley [Laurel Apartments]  
**Attachments:** Kilkenny Pedestrian Pathways.pdf; 8' Wide Terrace.pdf; No Terrace.pdf

Tracy + Kevin

I am forwarding diagrams that were previously shared regarding proposed sidewalks.

See you tomorrow.  
Ed

**Eduard Freer, RLA**

Sr. Landscape Architect | Business Development



1010 E. Washington Ave.  
Suite 202  
Madison, WI 53703

608 / 242 1550 office  
555 / 245 1964 direct  
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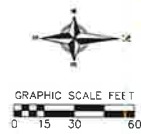
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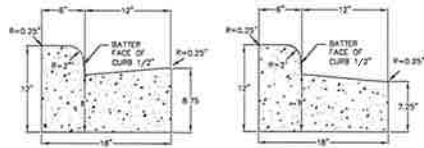
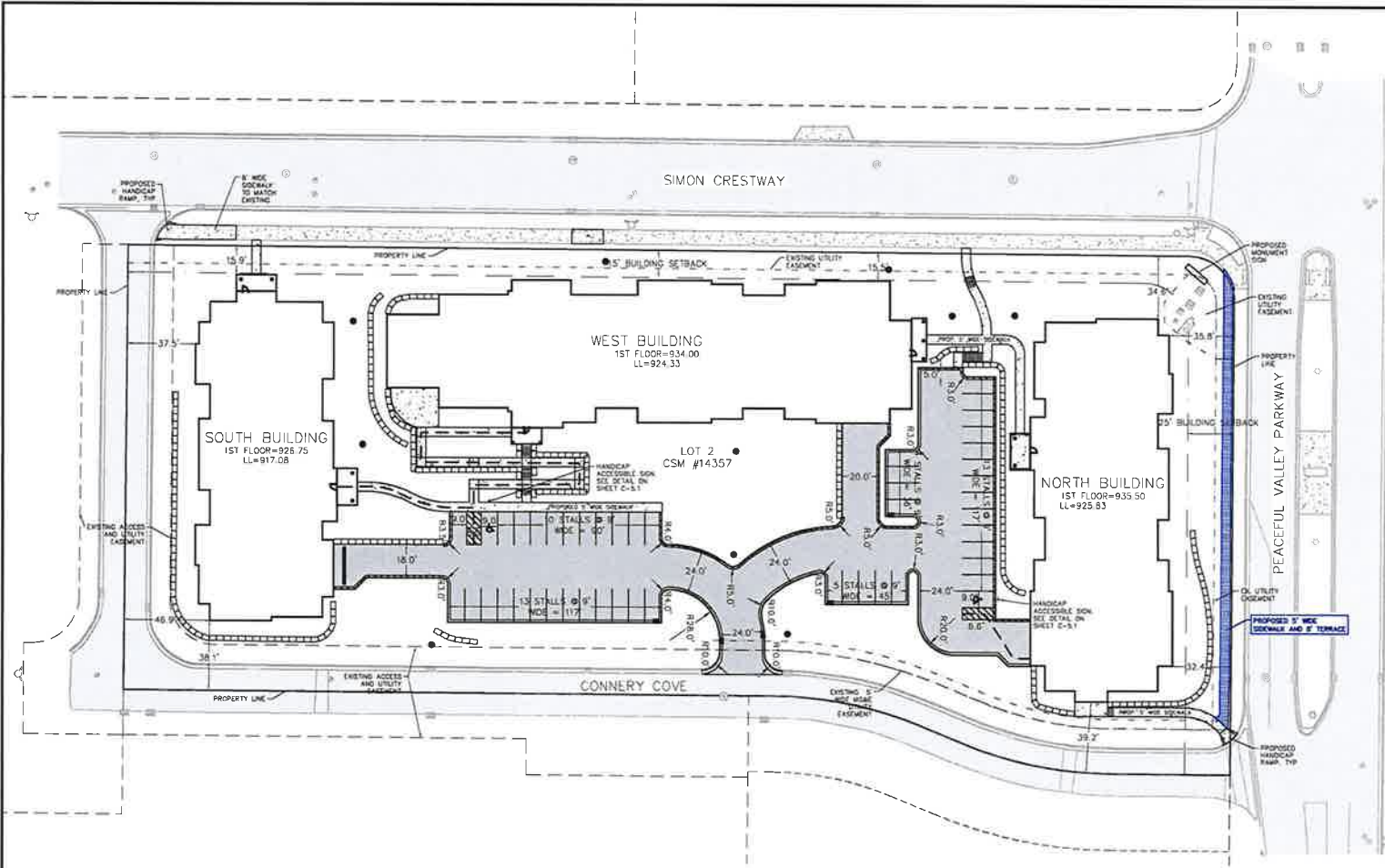
Please consider the environment before printing this page.





- SITE PLAN LEGEND**
- PROPERTY BOUNDARY
  - - - EXISTING UTILITY EASEMENT
  - - - EXISTING ACCESS & UTILITY EASEMENT
  - - - BUILDING SETBACK
  - - - ROAD/PARKING STRIPING
  - - - CURB AND GUTTER (REJECT CURB HATCHED)
  - - - PROPOSED CONCRETE
  - - - PROPOSED ASPHALT
  - - - EXISTING CONCRETE SIDEWALK
  - - - EXISTING ASPHALT PAVEMENT
  - PROPOSED HANDICAP PARKING
  - PROPOSED SIGN
  - - - ADA ROUTE
  - - - RETAINING WALL (DESIGN BY OTHERS)
  - STORM SEWER MANHOLE
  - STORM SEWER CURB INLET
  - STORM SEWER FIELD INLET
  - EXISTING CURB INLET
  - EXISTING STORM MANHOLE
  - EXISTING SANITARY MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER MAIN VALVE
  - EXISTING LIGHT POLE
  - EXISTING ELECTRICAL UTILITY VAULT
  - EXISTING ELECTRIC PEDESTAL
  - EXISTING TRANSFORMER
  - EXISTING TELEPHONE PEDESTAL

- NOTES:**
1. SURVEYOR SHALL CHECK ANY LOCATIONS WHERE PROPOSED SIDEWALK, PAVEMENT, AND CURB IS MATCHING INTO EXISTING SIDEWALK, PAVEMENT, AND CURB TO ENSURE APPROPRIATE DRAINAGE AND SLOPES. CONTACT ENGINEER WITH ANY PLAN DISCREPANCIES.
  2. ALL CURB TO BE 4" CURB HEIGHT UNLESS DESCRIBED OTHERWISE.
  3. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



CURB AND GUTTER BATTER FACE OF CURB 1/2" CURB AND GUTTER REJECT CROSS SECTION

**1 18" CONCRETE CURB AND GUTTER**  
0-10 NOT TO SCALE

REVISIONS		NO.	DATE	BY	REASON
1					
2					
3					
4					
5					
6					
7					
8					
9					
10					

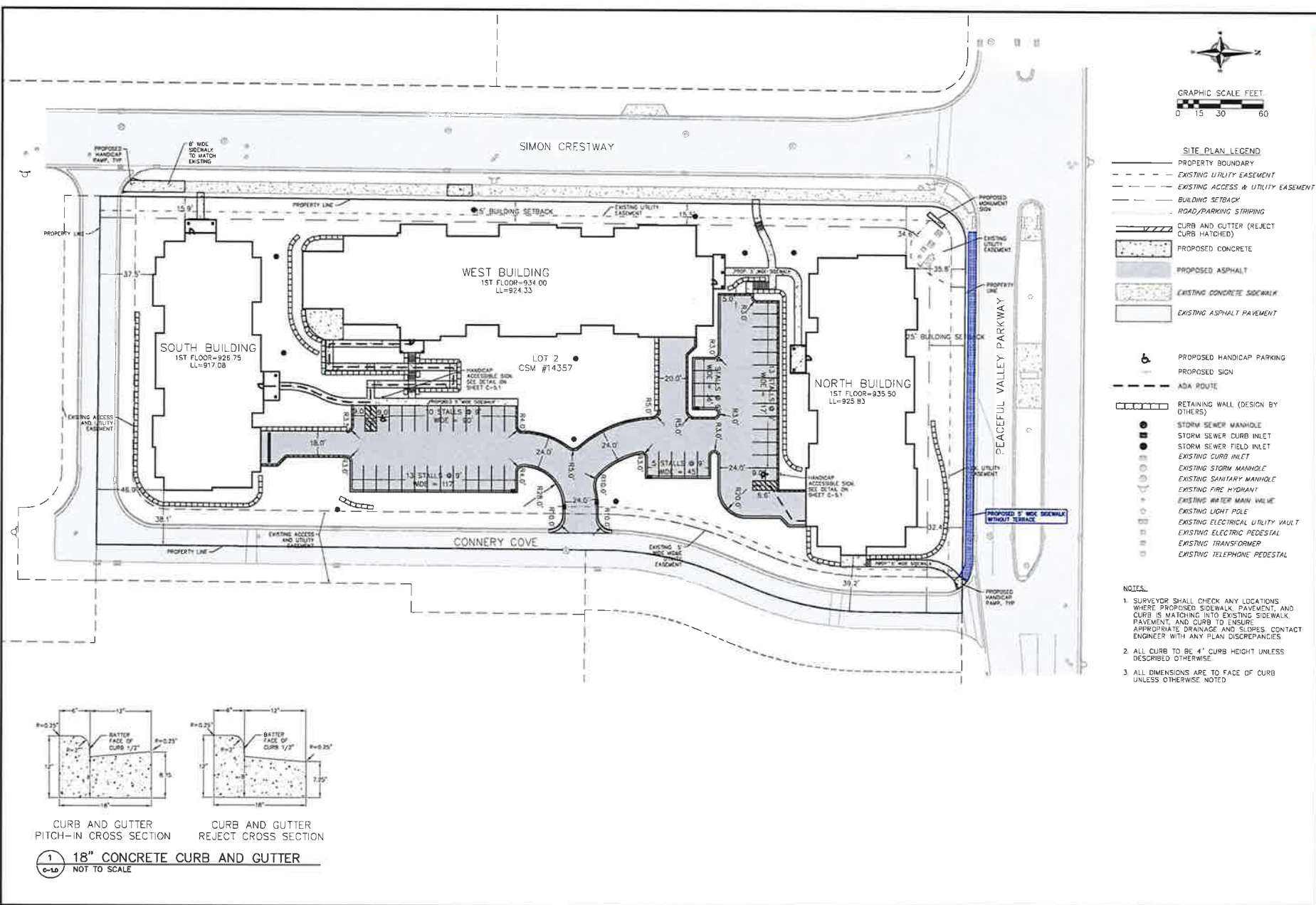


## SITE PLAN

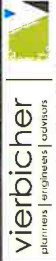
THE LAUREL AT KILKENNY FARMS  
LOT 2 CSM 14357

REVISIONS		REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE	NO.	DATE
1	11/3/88	1	11/3/88	1	11/3/88
2	11/3/88	2	11/3/88	2	11/3/88
3	11/3/88	3	11/3/88	3	11/3/88
4	11/3/88	4	11/3/88	4	11/3/88
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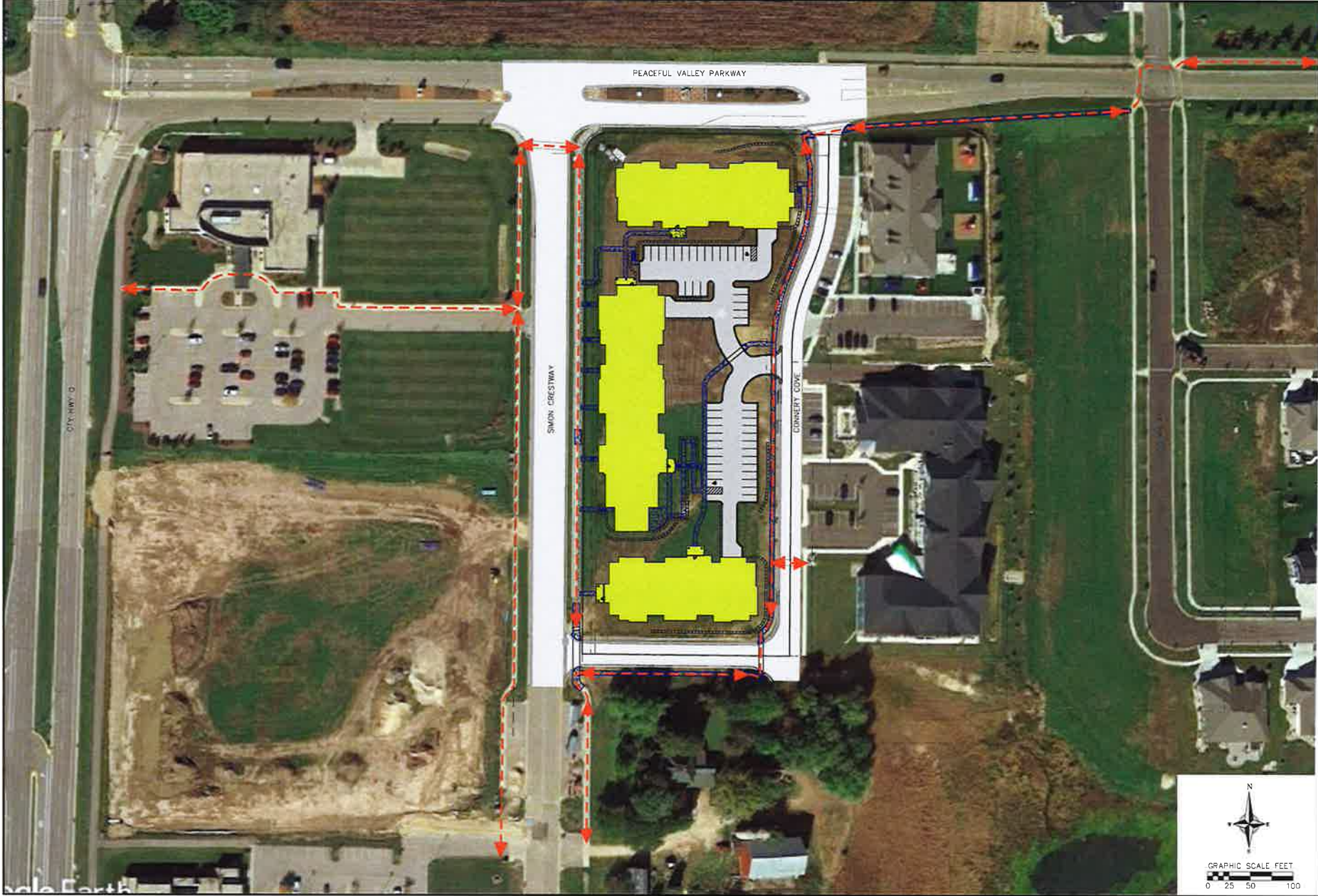
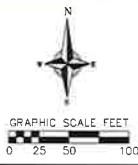






SIDEWALK CIRCULATION EXHIBIT

NO.	DATE	REVISIONS
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2	3/25/16	DATE
3	3/25/16	DATE
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100	3/25/16	DATE



**Tracy Meinholz**

---

**From:** Freer, Ed <Ed.Freer@graef-usa.com>  
**Sent:** March 29, 2019 11:47 AM  
**To:** Kevin Even; Straus, Kent; Bryan Kleinmaier (bkleinmaier@staffordlaw.com); Jason Valerius  
**Cc:** Tracy Meinholz  
**Subject:** Re: Sidewalk Provision along Peaceful Valley Parkway North of Proposed Laurel At Kilkenney farms  
**Attachments:** Waunakee Muni Code . Sidewalks .pdf; IMG\_7484.JPG

Kevin,

As a follow-up to yesterday's discussion I went out and observed the as built conditions in the area being considered for a potential sidewalk along the southern ROW line of Peaceful Valley Parkway at the proposed Laurel Multi-Family Residential project.

It appears that there is a substantially flat area approximately [ 7' wide] in the attached photo. The red flag [ see attached photo image 7484.jpg] marks the location of the ROW.

The small orange flags seen in the image mark locations of optic, communication or television lines. The Gas Line indicated on the Utility Plan appears to be an additional 7' south of the ROW Line. [ yellow flags approx. 14' from the curb line].

It appears that most the utilities are south of the ROW line.

As discussed at the Thursday morning meeting [3.29.2019], it is in the Village's best interest to incorporate sidewalks to serve both new development and promote pedestrian safety and connectivity.

Should the Village like to be consistent with the current Municipal Code Sec. 58-47 Sidewalk specifications and Sec. 129-150 [see attached PDF ] it appears that there are two options that would allow for the incorporation of a minimum 5' sidewalk .

1. Incorporate an integral curb and sidewalk that would just clear the westerly located utility lines which provide communication services.
2. If a small 2'-3' green terrace between the back of curb and sidewalk were desirable it would potentially require an easement over the optics and communications lines.

I hope this information will help you inform the Plan Commission as to the options in achieving the provision of a sidewalk along Peaceful Valley Parkway.

Respectfully,  
ed

**Eduard Freer, RLA**  
Sr. Landscape Architect | Business Development

**GRÄEF**

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and notify the original sender.



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**Sec. 58-47. - Sidewalk specifications.**

- (a) *Generally.* All public sidewalks in the village shall conform to those specifications set forth in the publication Standard Specifications for Road and Bridge Construction, as published by the state department of transportation, as from time to time revised. All sidewalks shall be of grade AA air-entrained concrete.
- (b) *Width and thickness.* Residential walks shall be four feet in width and not less than five inches thick except within driveway approaches where the minimum thickness shall be seven inches. However, walks in residential areas may be repaired or replaced to a width not less than the existing width of the sidewalk. Sidewalks in front of commercial or industrial establishments shall be not less than five feet in width and five inches in thickness, except within driveway approaches where the minimum thickness shall be seven inches.

(Code 1988, § 6-2-2(c); Code 1998, § 82-43)

**Sec. 129-149. - Curb and gutter.**

After the installation of all utility and stormwater drainage improvements, the subdivider shall construct concrete curbs and gutters in accordance with plans and standard specifications approved by the village board, on file with the zoning administrator. Wherever possible, provision shall be made at the time of construction for driveway access curb cuts.

(Code 1998, § 86-170; Ord. No. 97-12, § 14-1-54, 11-3-1997)

**Sec. 129-150. - Sidewalks.**

- (a) In all land divisions, the village board shall require the subdivider to construct five-foot wide concrete sidewalks on both sides of all local, collector, and arterial streets. Where, in the opinion of the plan commission and village board, the land division would be better served by an alternative form of pedestrian access, the village board may grant an exception to the sidewalk requirements. The construction of all sidewalks or alternative pedestrian access shall be in accordance with plans and standard specifications approved by the village engineer.
- (b) In addition, wider-than-standard sidewalks may be required by the village board in the vicinity of schools, commercial areas, and other places of public assemblage, and the village board may require the construction of sidewalks in locations other than required under this Code if such walks are necessary, in its opinion, for safe and adequate pedestrian circulation.
- (c) For all building permits issued between May 1 and October 15, sidewalks must be installed before an occupancy permit is issued. For permits issued after October 15 and before May 1, the sidewalks must be installed by the following June 15.

(Code 1998, § 86-171; Ord. No. 97-12, § 14-1-55, 11-3-1997)

**Sec. 129-160. - Bicycle paths and trails.**

When required by the village board, the subdivider shall install required bicycle paths and trails in accordance with the plans and specifications approved by the village. The subdivider shall assume the entire cost of such bicycle paths and trails, except for dual bicycle paths and streets. The added cost for streets wider than those required, in order to accommodate bicycle paths and trails, shall be the responsibility of the municipality charged with the maintenance of the proposed facility. If the subdivider wishes to install dual-lane facilities, which may not be required by the village, the total cost of such improvements shall be borne by the subdivider.

(Code 1998, § 86-181; Ord. No. 97-12, § 14-1-65, 11-3-1997)







**Strand Associates, Inc.®**

910 West Wingra Drive

Madison, WI 53715

(P) 608-251-4843

(F) 608-251-8655

April 1, 2019

Mr. Kevin Even, P.E.  
Village of Waunakee  
500 West Main Street  
P.O. Box 100  
Waunakee, WI 53597

Re: The Laurel Multi-Family Apartments  
Site Plan  
Village of Waunakee (Village)

Dear Kevin,

We received revised site and utility plan drawings dated March 19, 2019, for a proposed multi-family building site in the Kilkenny Farms development. We have also provided discussion on revisions at two technical staff meetings with the applicant to address some of the site challenges. In the paragraphs below, we restate our original comments, and mention how the applicant intends to address the concerns.

### **Parking and Circulation**

In our February 28, 2019 letter, we mentioned the off-street parking stalls provided on the site are short of the required number by 12 stalls. Our understanding is the applicant will still be seeking a waiver from the Plan Commission on providing enough stalls to meet the Village ordinance.

### **Site and Utility Design**

In our February 28, 2019 letter, we mentioned there are multiple retaining walls over 6 feet tall on the site. The Village zoning ordinance requires walls be no taller than 6 feet, unless separated by 3 feet of terrace. The applicant intends to provide two-tiered walls at the northeast corner of the site to improve aesthetics of the northeast corner of the site, and will provide protective railings for all walls taller than 6 feet that cannot be tiered because of space constraints. Ultimately, it is the applicant's responsibility for safety on its site.

The applicant declined our suggestion of putting a backflow prevention valve on the storm sewer leading from the south building private trench drain.

The applicant indicated the lawn slope of 3:1 was fairly steep, but the applicant's mowing contractor indicated it could manage this.

Much discussion has occurred over the placement of sidewalks around the site since our last letter. Others will be commenting on what seems to be a consensus on what sidewalks will be required and where, so we will refrain from comment there.

The utility structures conflict we cited in our February 28, 2019 letter has been corrected.

Mr. Kevin Even, P.E.  
Village of Waunakee  
Page 2  
April 1, 2019

The applicant has indicated verbally that the sign drawing shown in the plans was only to be considered conceptual, and will submit a sign plan at later date for approval.

Sincerely,

STRAND ASSOCIATES, INC.®

A handwritten signature in black ink, appearing to read "R. Kent Straus", with a long horizontal flourish extending to the right.

R. Kent Straus, P.E.

c: Todd Schmidt, Administrator, Village of Waunakee  
Tim Herlitzka, General Manager, Village of Waunakee Utilities  
Bryan Kleinmeier, Stafford Rosenbaum  
Ed Freer, Graef

## PERMANENT EASEMENT

For good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, Kilkenny Farms, LLC, a Wisconsin limited liability company ("Grantor"), does hereby convey, grant, transfer, and assign to the Village of Waunakee, Dane County, Wisconsin, a municipal corporation ("Grantee"), or its assigns, the perpetual right and easement hereinafter described.

1. *Property.* Grantor owns Lot Two (2) of Certified Survey Map No. 14357, recorded in the Dane County Register of Deeds Office in Volume 98 of Certified Survey Maps, pages 118-120, as Document No. 5273837, in the Village of Waunakee, Dane County, Wisconsin; corrected by Affidavit recorded September 11, 2017 as Document No. 5356381 (the "Property").

THIS SPACE RESERVED FOR RECORDING DATA

RETURN TO:

Village Clerk  
Village of Waunakee  
500 W. Main Street  
Waunakee, WI 53597

P.I.N.

Part of 191/0809-172-4007-1

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2. *Permanent Easement.* Subject to Section 5 below,

Grantor does hereby convey, grant, transfer, and assign to Grantee a permanent right of way and easement over, under and across the premises described in and shown on **Exhibit A** attached hereto and incorporated herein (the "Easement Area") for the following purposes: (i) to survey, construct, erect, install, maintain, inspect, operate, repair, move, remove, replace and reconstruct public utility facilities, including necessary underground and aboveground associated facilities, accessories and appurtenances; (ii) to establish and maintain a grade within the Easement Area in connection with the public utility facilities; and (iii) for ingress and egress to exercise the rights and privileges granted herein. Grantee shall have the right to come upon the Easement Area at any time and for all purposes relating to the exercise of its rights hereunder. The use of the Easement Area may not be expanded and the burden on or intensity of use of the Easement Area may not be increased.

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3. *Restrictions on Grantor.* Grantor shall not take any action or permit others to take any action that interferes with or is inconsistent with Grantee's rights under this Easement provided, however, Grantee acknowledges that it understands that other utilities are currently located within the Easement Area and have easement rights therein. In particular, except as permitted under Section 5 below or as otherwise approved by Grantee, which approval shall not be unreasonably withheld, conditioned or delayed, Grantor shall not construct or install any building, fence or structure of any kind upon the Easement Area, and Grantor shall not drill in or upon, or change the grade of the Easement Area.



4. *Restoration.* Following any construction-related activity by Grantee in the Easement Area, Grantee shall restore, as best as practicable, the Easement Area to the condition it was in before such construction activities, except Grantee shall have no responsibility to restore, repair, or replace any material or activity prohibited by Section 3.

5. *Consistent Uses Allowed.* Grantor may use the Easement Area for purposes that will not interfere with Grantee's full enjoyment of the easement rights granted under this Agreement. Specifically, Grantee has reviewed and approved Grantor's installation and maintenance of the landscaping and related features and signage described and depicted on Exhibit B attached hereto and incorporated herein ("Approved Improvements"). Grantor shall have the right to construct, install, maintain, repair and replace the Approved Improvements without further notice to or approval by Grantee, within both the Easement Area and within the existing 10' wide public utility easement created by Document No. 5356381.

6. *Binding Effect and Assignability.* The Easement granted by this document shall run with the lands described herein, is binding upon the heirs, successors and assigns of Grantor, and shall benefit Grantee, its successors and assigns.

7. *Grantor Warranty.* Grantor represents and warrants that it is the sole owner of the Property, and that no other deed or easement prohibits Grantor from conveying, granting, transferring, or assigning to Grantee the rights granted under this Easement.

8. *Non-Use.* Non-use or limited use of the rights granted in this Easement shall not prevent the benefited party from later use of the rights to the fullest extent authorized.

9. *Authority.* Grantor represents and warrants that the undersigned signatory to this Easement has full power and authority to act on behalf of Grantor, and that all necessary and enabling resolutions have been enacted.

10. *Counterparts.* This Easement may be executed in one or more counterparts and upon execution and delivery by each of the parties hereto shall constitute one and the same enforceable agreement.

[Signature pages follow]

IN WITNESS WHEREOF, the parties have executed this instrument the day and year written below.

GRANTOR:  
  
KILKENNY FARMS, LLC

By \_\_\_\_\_  
Donald C. Tierney, Manager

By \_\_\_\_\_  
Joanne K. Tierney, Manager

STATE OF WISCONSIN  
  
COUNTY OF DANE

Personally, came before me this \_\_\_\_ day of \_\_\_\_\_, 2018, the above named Donald C. Tierney and Joanne K. Tierney, to me known to be the persons who executed the foregoing instrument and acknowledged the same on behalf of Kilkenny Farms, LLC.

\_\_\_\_\_  
Print Name: \_\_\_\_\_  
Notary Public, State of Wisconsin  
My Commission: \_\_\_\_\_

GRANTEE:

VILLAGE OF WAUNAKEE

By: \_\_\_\_\_  
Chris Zellner, Village President

By: \_\_\_\_\_  
Julee Helt, Village Clerk

STATE OF WISCONSIN

COUNTY OF DANE

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2018, the above-named Chris Zellner and Julee Helt, Village President and Village Clerk for the Village of Waunakee, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
\_\_\_\_\_  
(Please print name)  
Notary Public, State of Wisconsin  
My Commission Expires: \_\_\_\_\_

Attachment: Exhibit A – Legal Description and Map of Easement Area

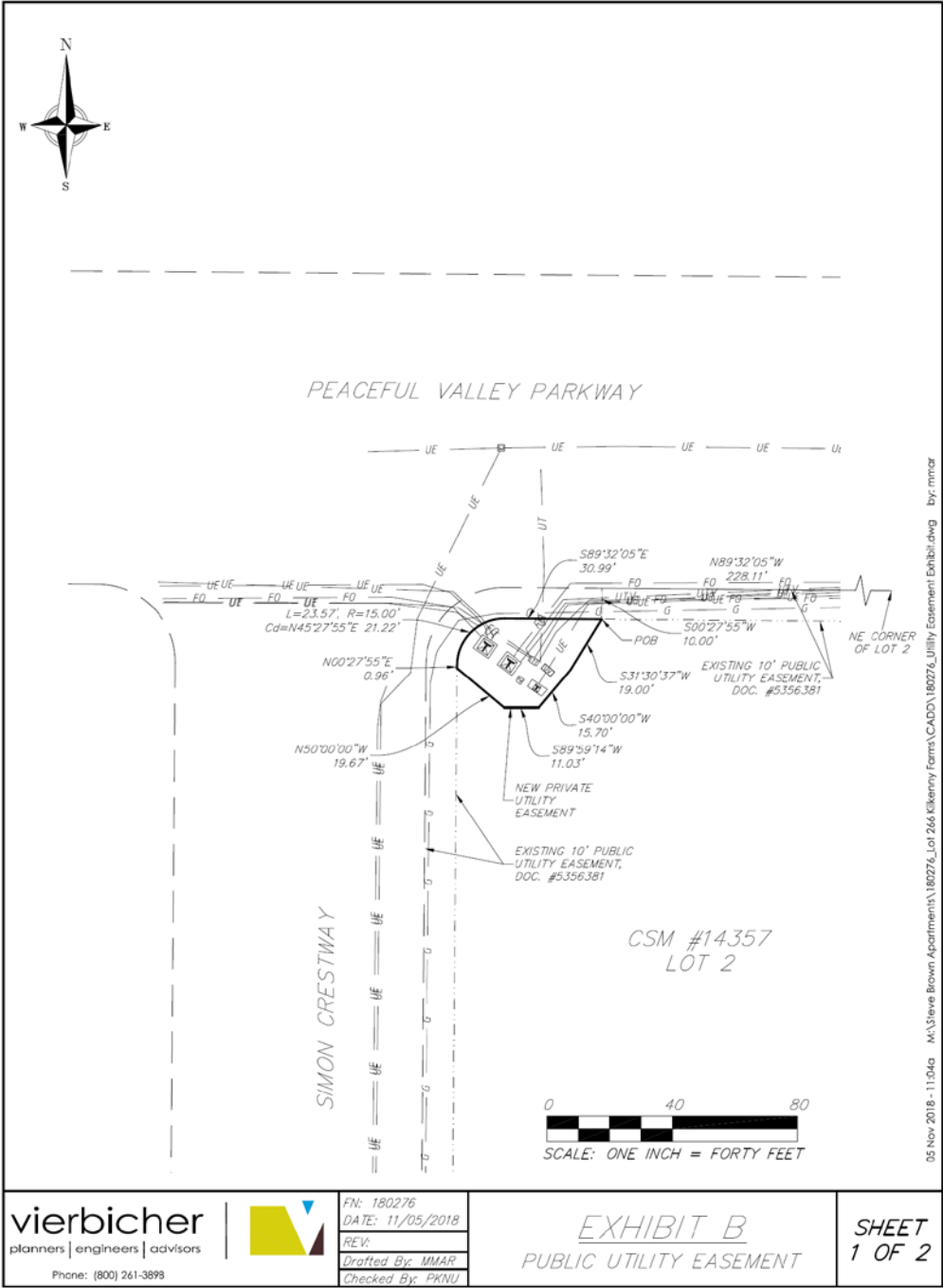
This instrument was drafted by:

Bryan Kleinmaier  
Stafford Rosenbaum LLP  
222 West Washington Avenue, Suite 900  
P.O. Box 1784  
Madison, WI 53701-1784

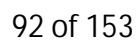
**EXHIBIT A****LEGAL DESCRIPTION AND MAP OF EASEMENT AREA**

Being a part of Lot 2, Certified Survey Map Number 14357, as recorded in Volume 98 of Certified Survey Maps, on Pages 118-120, as Document Number 5273837, Dane County Registry, located in the SW ¼ - NW ¼ of Section 17, Township 08 North, Range 09 East, Village of Waunakee, Dane County, Wisconsin, more fully described as follows:

Commencing at the Northeast corner of said Lot 2; thence N89°32'05"W along the North line of said Lot 2, 228.11 feet; thence S00°27'55"W, 10.00 feet to a point of intersection with the southerly line of an existing 10' wide public utility easement recorded as Document Number 5356381, Dane County Registry, said point also being the point of beginning; thence S31°30'37"W, 19.00 feet; thence S40°00'00"W, 15.70 feet; thence S89°59'14"W, 11.03 feet; thence N50°00'00"W, 19.67 feet to a point of intersection with the easterly line of said existing 10' wide public utility easement; thence along the easterly, southeasterly, and southerly line of said easement for the next three (3) courses; 1-thence N00°27'55"E, 0.96 feet to a point of curvature; 2-thence 23.57 feet along the arc of a curve to the right, having a radius of 15.00 feet, and a chord bearing N45°27'55"E, 21.22 feet; 3-thence S89°32'05"E, 30.99 feet to the point of beginning. Said description contains 905 square feet, more or less.







|

**EXHIBIT B**  
**Approved Improvements**

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~~\_\_\_\_\_ The undersigned mortgagees or other lienholders, having an interest in the real estate subject to the transactions, transfers, and/or easements described herein, do hereby consent to the foregoing, and do hereby subordinate their interest in the same.~~

~~\_\_\_\_\_ Dated: \_\_\_\_\_, 2019.~~

\_\_\_\_\_  
\_\_\_\_\_  
Lienholder Name

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

Attest:

\_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

STATE OF WISCONSIN

COUNTY OF \_\_\_\_\_

~~\_\_\_\_\_ Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2019, the above named \_\_\_\_\_ and \_\_\_\_\_, of \_\_\_\_\_, to me known to be the \_\_\_\_\_ and \_\_\_\_\_ of \_\_\_\_\_ who executed the foregoing instrument as such officers of the corporation.~~

\_\_\_\_\_  
Print name: \_\_\_\_\_  
Notary Public, State of Wisconsin  
My Commission: \_\_\_\_\_

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# PRECISE IMPLEMENTATION PLAN

# THE LAUREL AT KILKENNY

1102 SIMON CRESTWAY | WAUNAKEE, WI 53597

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**Owner:**  
**Steve Brown Apartments**



Dan Seeley  
120 W. Gorham St.  
Madison, WI 53703  
p. 608-255-7100  
dseeley@stevebrownapts.com

**Contractor:**  
**Krupp General Contractors**



Aaron Gundlach  
749 University Row, STE 101  
Madison, WI 53705  
p. 608-260-7003  
agundlach@kruppconstruction.com

**Architect:**  
**Brownhouse**



Shane Fry  
202 W. Gorham St.  
Madison, WI 53703  
p. 608-663-5100  
sfry@brownhousedesigns.com

**Civil/ landscape**  
**Vierbicher**



Joe Doyle & Suzanne Vincent  
999 Fourier Drive #201  
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jdoy@Vierbicher.com  
svin@Vierbicher.com



# PROJECT OVERVIEW

Steve Brown Apartments is proposing a new multi-family development in the Kilkenny Farms neighborhood. The ~3.2 acre site is currently vacant and bounded by Simon Crestway to the west, Peaceful Valley Parkway to the north and Connery Cove to the east and south. This site is included in the Kilkenny Farms General Development Plan which was approved by the Village Board on the 17th of September 2018. We are extremely excited for this opportunity to deliver a great product for the Village of Waunakee and to join this community.

The development will include three, three-story buildings oriented to primarily front Simon Crestway. The exteriors of the buildings will showcase a mixture of brick and siding products with pitched roofs and multiple canopied entrances for residents and visitors. Each unit will include a private balcony which will be recessed into the primary facade of the building in order to create a more residential aesthetic. The buildings will include a mix of units and sizes ranging from 1-bedroom to 3-bedroom and 784sqft to 1585sqft. The units will be finished with high-end materials usually associated with condominiums or custom homes and in keeping with the level of aesthetic and quality of the established neighborhood. Property amenities will include a resident community room attached to the west building as well as a fitness room, dog grooming facility and an on-site office.

Guests and prospective residents will utilize the surface parking lot accessed from Connery Cove while residents will have secured underground parking in garages located beneath each individual building. Stormwater will

be handled by the existing regional basin located immediately to the southeast of the site. A monument sign identifying the property will be located at the corner of Simon Crestway and Peaceful Valley Parkway.



Source: © 2017 maps.ags.ruekert-mielke.com



# EXISTING CONDITIONS



**RAINBOW  
CHILD CARE CENTER**

**HOME AGAIN  
ASSISTED LIVING**



**SSM HEALTH DEAN  
MEDICAL GROUP**



**FIRST CHOICE  
DENTAL**



**CHRISTIAN LIFE  
ASSEMBLY OF GOD**



**ANIMART  
PET STORE**



**WAUNAKEE  
COMMUNITY BANK**



# BUILDING STATISTICS

The residences will include three separate, 3-story buildings. The “north” building will include a 14,637sqft footprint and 30 units, the “west” building will include a 18,368sqft footprint and 28 units, while the “south” building will be slightly smaller at 12,380sqft and 24 units. All the three buildings will share amenities and include separate underground garages for secured resident parking. Adequate parking for guests and prospective residents will be provided via shared surface lots. Additional statistical information for the project can be found in the following tables:

BUILDING STATISTICS:	NORTH BUILDING	WEST BUILDING	SOUTH BUILDING	TOTAL	UNITS
Total Site Area	----	----	----	154,206	SF
Building Footprint	14,637	18,368	12,380	45,385	SF
Lot Coverage Ratio	----	----	----	29.43%	SF
Pervious Surface Area	----	----	----	111,076	72.03%
Impervious Surface Area	----	----	----	43,130	27.97%
Number of Stories	3	3	3		

PARKING STATISTICS:	NORTH BUILDING	WEST BUILDING	SOUTH BUILDING	TOTAL
Underground Spaces	32 (2 HC)	43 (2 HC)	27 (2 HC)	102 (6 HC)
Surface Spaces	23 (1 HC)	25 (1 HC)	0	48 (2 HC)
Total Parking Spaces	55 (3 HC)	68 (3 HC)	27 (2 HC)	150 (8 HC)
Parking Spaces/Unit	1.83			
Parking Spaces/Bedroom	1.02			

UNIT MIX:	NORTH BUILDING	WEST BUILDING	SOUTH BUILDING	TOTAL
1-Bedroom	15	4	12	31
2-Bedroom	12	19	6	37
3-Bedroom	3	5	6	14
Total Number of Units	30	28	24	82

PARKING SPACES	UG	AG	
NORTH BUILDING	32	23	
WEST BUILDING	43	25	
SOUTH BUILDING	27	0	
TOTAL	102	48	150

UNIT COUNT										
Building	NORTH BUILDING			WEST BUILDING			SOUTH BUILDING			TOTAL
Floor	1ST	2ND	3RD	1ST	2ND	3RD	1ST	2ND	3RD	
1BEDS	5	5	5	0	2	2	4	4	4	31
2BEDS	4	4	4	5	7	7	2	2	2	37
3BEDS	1	1	1	3	1	1	2	2	2	14
TOTAL UNITS /FLOOR	10	10	10	8	10	10	8	8	8	82
TOTAL UNITS	82									

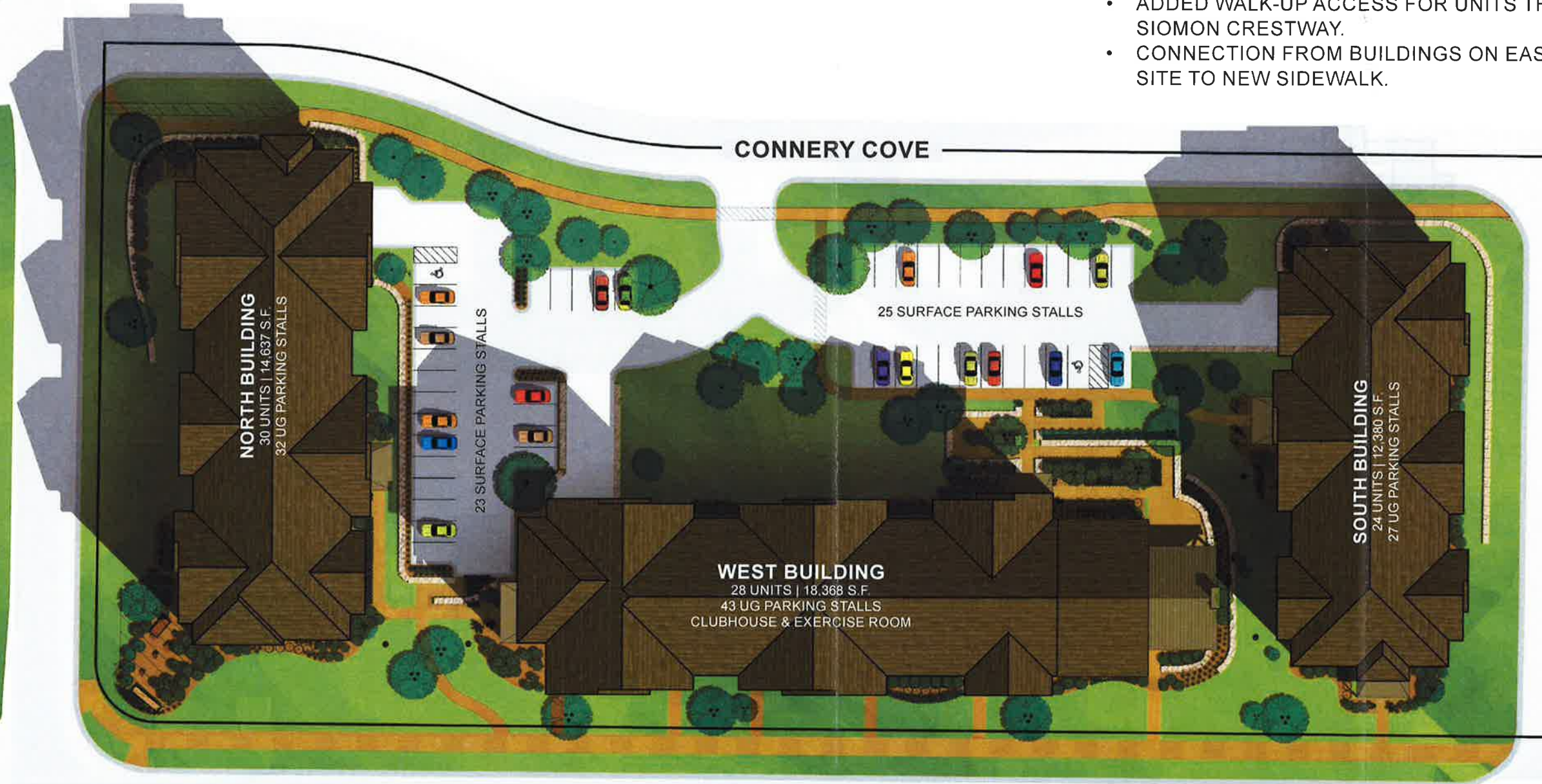
BEDROOMS COUNT										
Building	NORTH BUILDING			WEST BUILDING			SOUTH BUILDING			TOTAL
Floor	1ST	2ND	3RD	1ST	2ND	3RD	1ST	2ND	3RD	
1BEDS	5	5	5	0	2	2	4	4	4	31
2BEDS	8	8	8	10	14	14	4	4	4	74
3BEDS	3	3	3	9	3	3	6	6	6	42
TOTAL BEDROOMS /FLOOR	16	16	16	19	19	19	14	14	14	147
TOTAL BEDROOMS	147									

## ANTICIPATED PHASING:

- It is intended for this project to be delivered in a single phase of construction. Subject to approvals, the schedule will have construction commencing in Spring 2019 with full delivery in 2020.



PEACEFUL VALLEY PARKWAY



SIMON CRESTWAY

CONNERY COVE

#### REVISIONS:

- SIDEWALK ADDED TO EAST SIDE OF SITE.
- ACCESS TO SIMON CRESTWAY FOR NORTH AND WEST BUILDINGS ADA COMPLIANT.
- ADDED ACCESS TO SIMON CRESTWAY ON SOUTH SIDE OF WEST BUILDING.
- ADDED WALK-UP ACCESS FOR UNITS THAT FACE SIMON CRESTWAY.
- CONNECTION FROM BUILDINGS ON EAST SIDE OF SITE TO NEW SIDEWALK.

1 SITE PLAN  
SCALE: N.T.S.

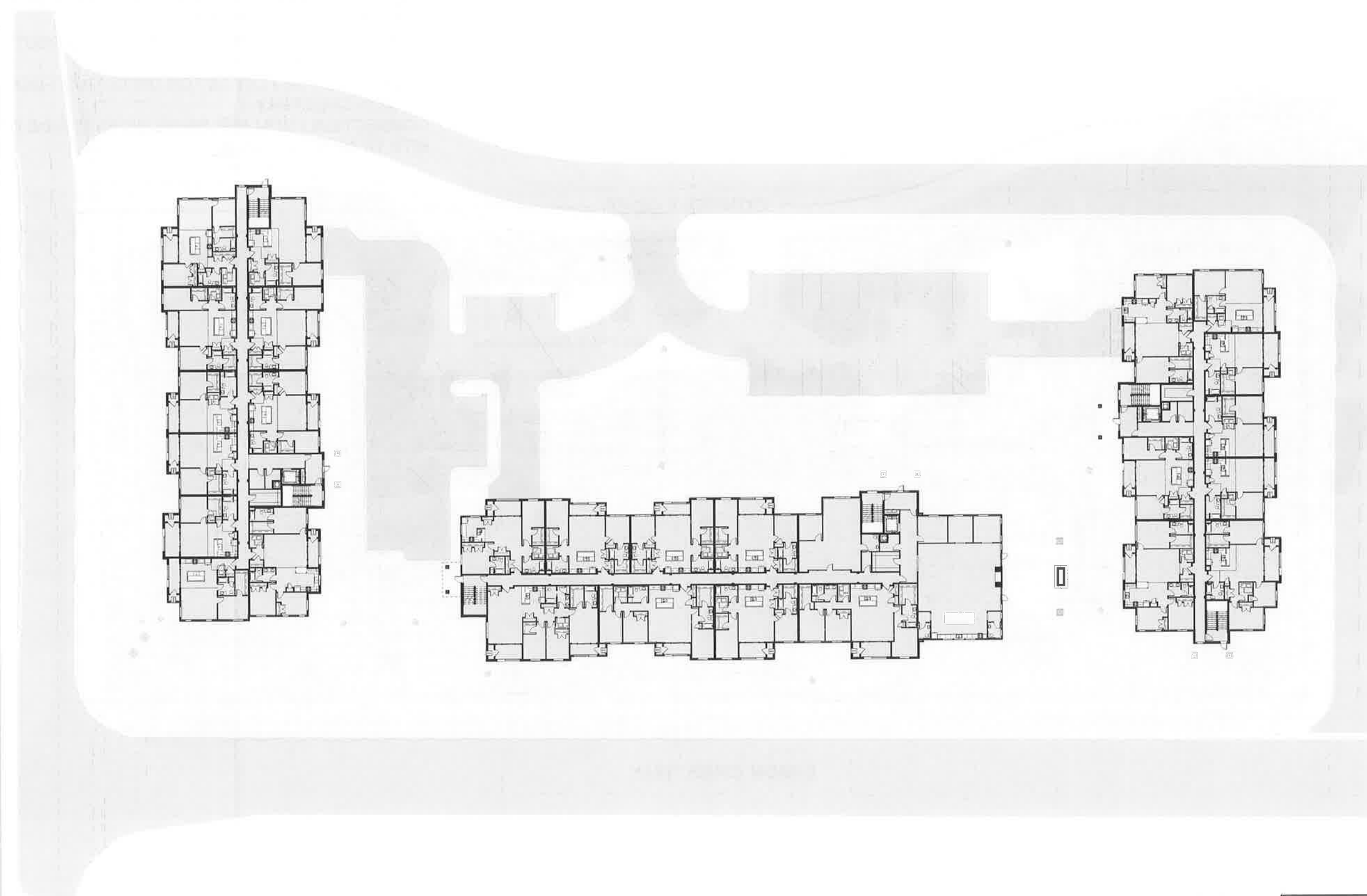


**KILKENNY FARMS**

1102 SIMON CRESTWAY  
WAUNAKEE, WI 53597

**brownhouse**  
202 West Gorham St.  
Madison, WI 53703  
Tel: 608.663.5100  
Fax: 608.663.5151  
www.brownhousedesigns.com

FLOOR PLANS - FIRST FLOOR LEVEL



1 FIRST FLOOR - SITE PLAN  
1" = 20'-0"

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Consultant

No.	Date	Description

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Wisconsin.

Signed  
Name: SHANE FRY  
License No: A-10754  
Date: 06/02/2009  
Drawn By: BROWNHOUSE  
Checked By: SHANE FRY  
Document Phase: PHASE  
Project No:  

Project Title  
Project Name

Address  
Enter address here

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2019-03-06 9:30:23 AM

Sheet Title  
FIRST FLOOR - SITE PLAN

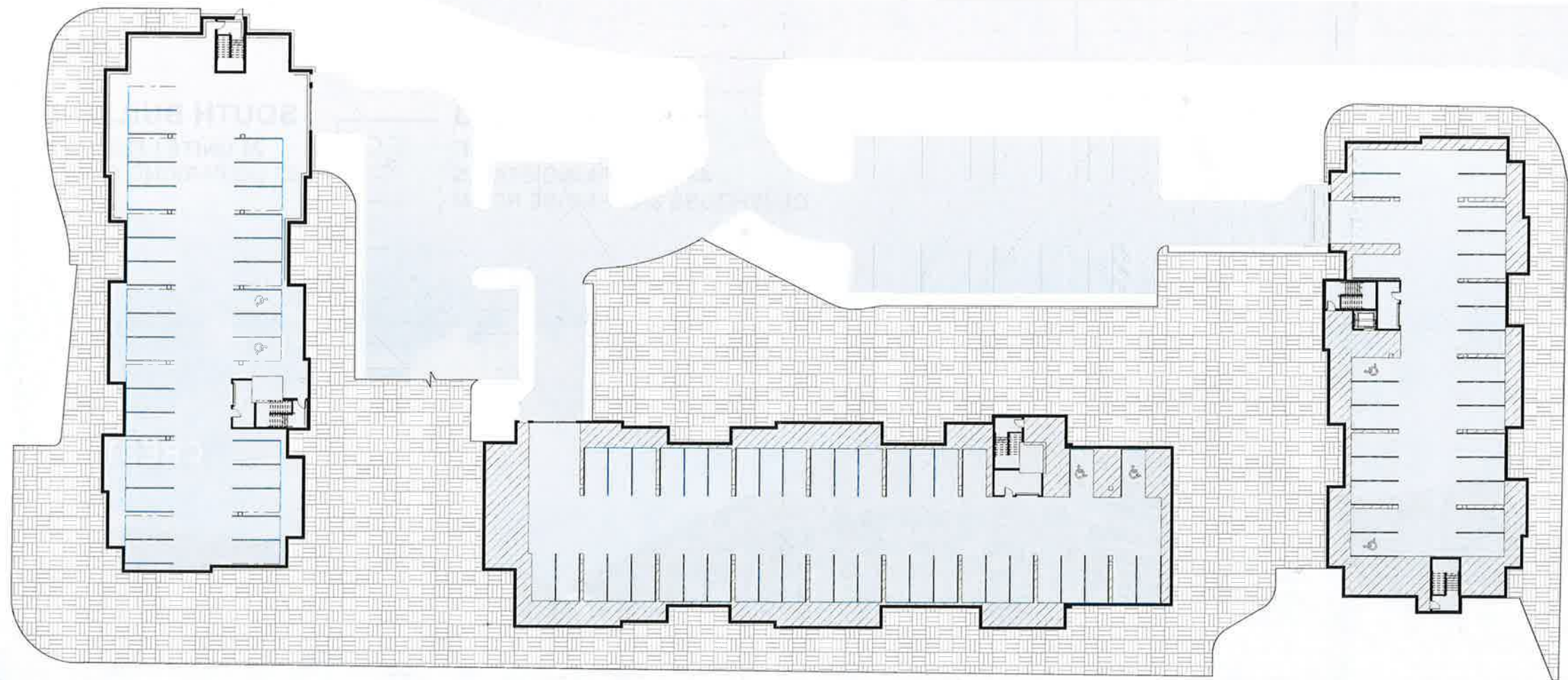
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C-01



FLOOR PLANS - GARAGE LEVEL



1 PARKING LEVEL SITE PLAN  
1" = 20'-0"

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Signed

Name: SHANE FRY  
License No.: A-10754

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Drawn By: BROWNHOUSE  
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PARKING P1- SITEPLAN

Sheet Number

C-02

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**NORTH BUILDING**

30 UNITS | 14,637 S.F.  
32 UG PARKING STALLS

- REVISIONS:**
- ALL MASONRY HAS BEEN CHANGED FROM BRICK TO STONE

**WEST BUILDING**

28 UNITS | 18,368 S.F.  
43 UG PARKING STALLS  
CLUBHOUSE & EXERCISE ROOM

**SOUTH BUILDING**

24 UNITS | 12,380 S.F.  
27 UG PARKING STALLS

PEACEFUL  
VALLEY  
PARKWAY

SIMON  
CRESTWAY



**1** VIEW FROM PEACEFUL VALLEY PARKWAY & SIMON CRESTWAY  
SCALE: N.T.S.

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www.brownhousedesigns.com

**KILKENNY FARMS**  
1102 SIMON CRESTWAY  
WAUNAKEE, WI 53597





**WEST BUILDING**  
28 UNITS | 18,368 S.F.  
43 UG PARKING STALLS  
CLUBHOUSE & EXERCISE ROOM

**48** SHARED SURFACE  
PARKING STALLS

**NORTH BUILDING**  
30 UNITS | 14,637 S.F.  
32 UG PARKING STALLS

**1** NORTH & WEST BUILDINGS | VIEW FROM PARKING LOT  
SCALE: N.T.S.

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**KILKENNY FARMS**  
1102 SIMON CRESTWAY  
WAUNAKEE, WI 53597



## SOUTH BUILDING

24 UNITS | 12,380 S.F.  
27 UG PARKING STALLS

## WEST BUILDING

28 UNITS | 18,368 S.F.  
43 UG PARKING STALLS

## CLUBHOUSE & EXERCISE ROOM

## OUTDOOR PATIO AREA & FIREPLACE

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# KILKENNY FARMS

1102 SIMON CRESTWAY  
WAUNAKEE, WI 53597

1

WEST & SOUTH BUILDINGS | VIEW FROM PARKING LOT  
SCALE: N.T.S.



**SOUTH BUILDING**  
24 UNITS | 12,380 S.F.  
27 UG PARKING STALLS

**brownhouse**

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**KILKENNY FARMS**  
1102 SIMON CRESTWAY  
WAUNAKEE, WI 53597

**1** SOUTH BUILDING | VIEW FROM PARKING LOT  
SCALE: N.T.S.





SIMON  
CRESTWAY

## WEST BUILDING

28 UNITS | 18,368 S.F.  
43 UG PARKING STALLS

1

WEST BUILDING | VIEW FROM SIMON CRESTWAY  
SCALE: N.T.S.

**brownhouse**

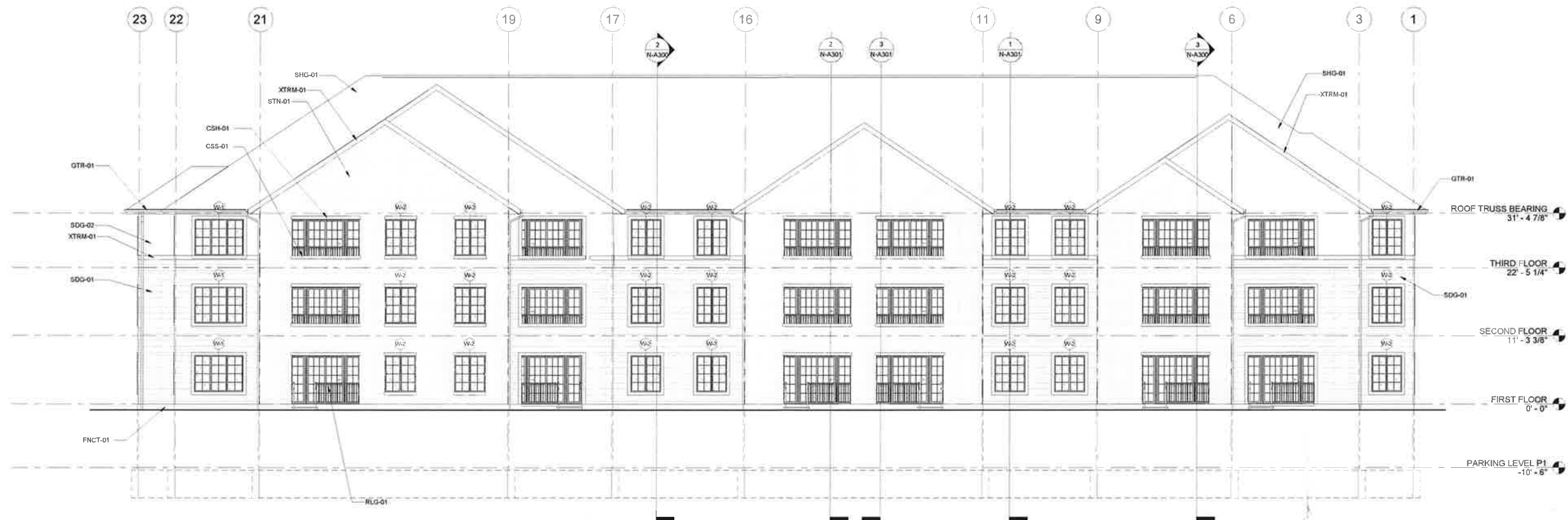
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Madison, WI 53703  
Tel: 608.663.5100  
Fax: 608.663.5151  
www.brownhousedesigns.com

## KILKENNY FARMS

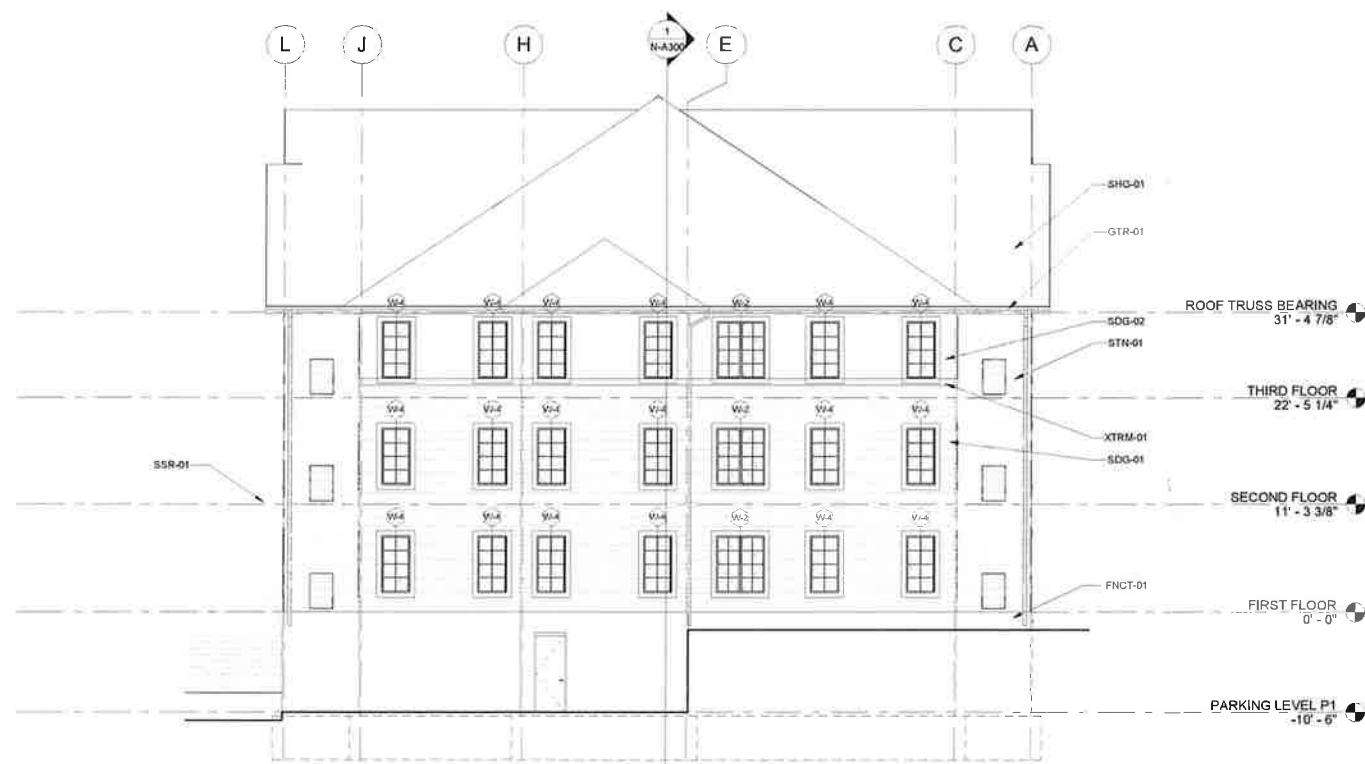
1102 SIMON CRESTWAY  
WAUNAKEE, WI 53597



NORTH BUILDING ELEVATIONS



1 NORTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"

EXTERIOR MATERIAL PRODUCT LIST					
CODE	ITEM	MANUFACTURER	DESCRIPTION	COLOR	NOTES
CD-01	COMPOSITE DECKING	TREX	TRANSCEND COLLECTION	TBD	
CSH-01	CAST STONE HEADER	TBD	---	TBD	
CSS-01	CAST STONE SILL	TBD	---	TBD	
FNCT-01	FOUNDATION WALL COATING	TBD	---	TBD	TO BE USED AT EXPOSED FOUNDATION WALLS ABOVE GRADE, TYP.
GTR-01	PREFINISHED METAL GUTTER & DOWNSPOUTS	TBD	---	TBD	
RLG-01	RAILINGS AND HANDRAIL	SUPERIOR	9100 SERIES, OPEN DOUBLE TOP RAIL, USE 3/4" SQUARE PICKETS	TBD	USE SUPERIOR 500 SERIES PIPE RAILING WHERE REQUIRED
SDG-01	PREFINISHED COMPOSITE LAP SIDING	LP SMARTSIDE W/ DIAMOND KOTE	76 SERIES, TEXTURED, 7.84" ACTUAL WIDTH	CUSTOM	
SDG-02	PREFINISHED COMPOSITE VERTICAL SIDING	LP SMARTSIDE W/ DIAMOND KOTE	76 SERIES, TEXTURED, 7.84" ACTUAL WIDTH	CUSTOM	
SHG-01	ASPHALT SHINGLES	TBD	---	TBD	
SSR-01	STANDING SEAM METAL ROOF	PAC CLAD	TITELOC PANEL	TBD	
STN-01	STONE VENEER	TBD	---	TBD	
XTRM-01	EXTERIOR TRIM AND FASCIA	LP SMARTSIDE W/ DIAMOND KOTE	5.5" OUTSIDE CORNERS, 2.5" INSIDE CORNERS, BOTH ONE PIECE	CUSTOM	

GENERAL NOTES: ALL MORTARS TO BE COLORED. CONTRACTOR TO PROVIDE FULL SCALE MOCK-UP OF ALL STONE/SIDING/BRICK COMBINATIONS (WITH MORTARS).

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Consultant

No.	Date	Description

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Wisconsin.

Signed  
Name: SHANE FRY  
License No.: A-10754  
Date: 03/02/2019  
Drawn By: BROWNHOUSE  
Checked By: SHANE FRY  
Document Phase: PHASE  
Project No.:  

Project Title  
THE LAUREL AT KILKENNY - NORTH BUILDING

Address  
1120 SIMON CRESTWAY  
WAUNAKEE, WI 53597

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EXTERIOR ELEVATIONS

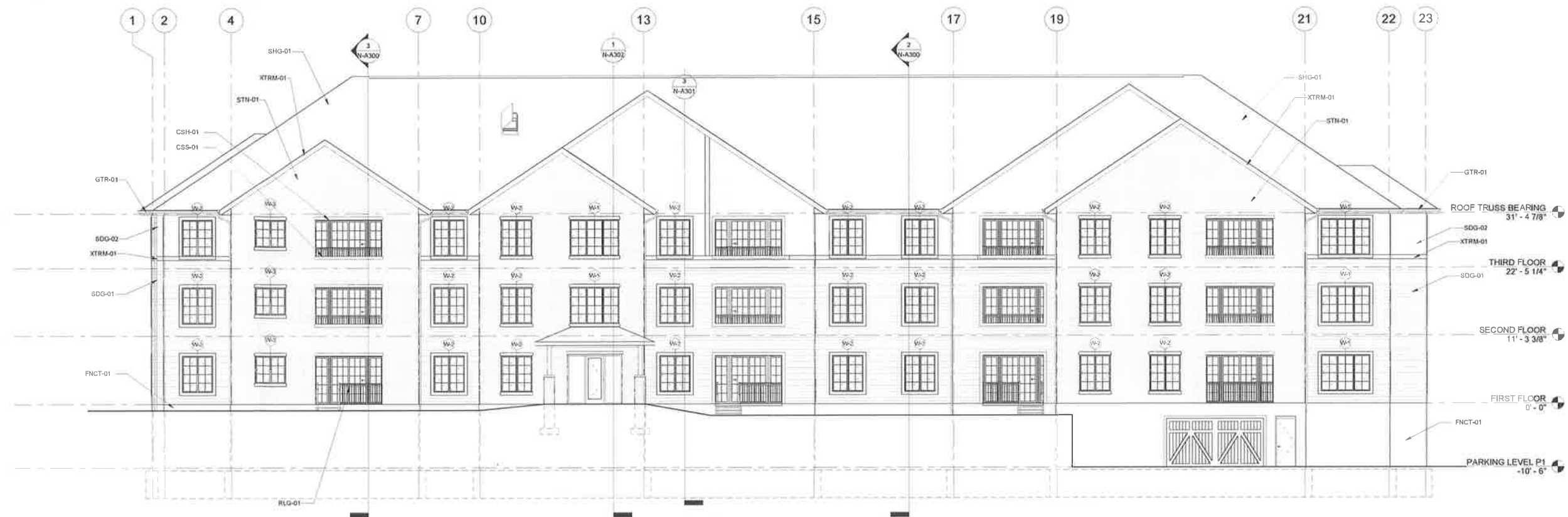
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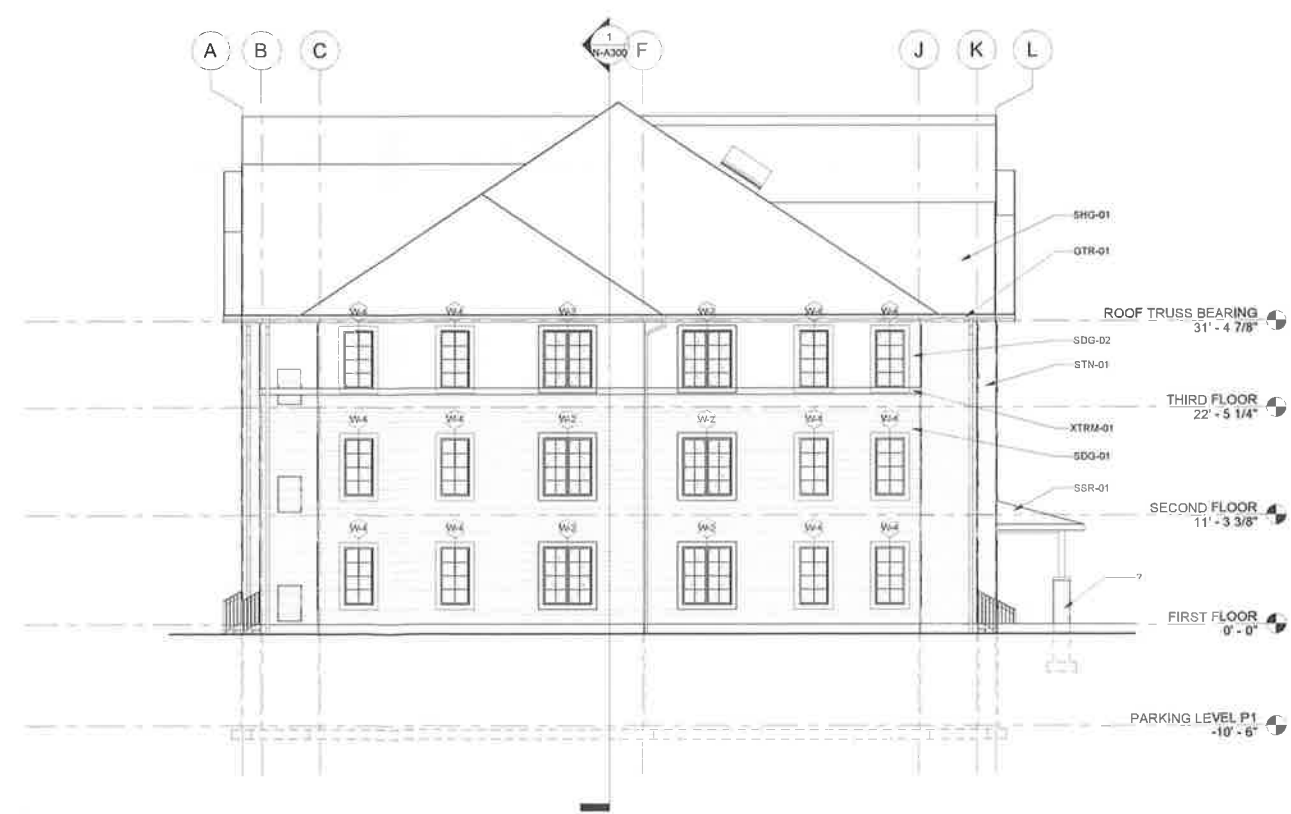
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NORTH BUILDING ELEVATIONS



1 SOUTH ELEVATION  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"

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Consultant

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Signed  
Name SHANE FRY  
License No. A-10754  
Date 03/09/2019  
Drawn By BROWNHOUSE  
Checked By SHANE FRY  
Document Phase PHASE  
Project No.

Project Title  
THE LAUREL AT KILKENNY -  
NORTH BUILDING  
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WALNAKEE, WI 53597

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EXTERIOR ELEVATIONS

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WEST BUILDING ELEVATIONS



EXTERIOR MATERIAL PRODUCT LIST					
CODE	ITEM	MANUFACTURER	DESCRIPTION	COLOR	NOTES
CD-01	COMPOSITE DECKING	TREX	TRANSCEND COLLECTION	TBD	
CSH-01	CAST STONE HEADER	TBD	---	TBD	
CSS-01	CAST STONE SILL	TBD	---	TBD	
FNCT-01	FOUNDATION WALL COATING	TBD	---	TBD	TO BE USED AT EXPOSED FOUNDATION WALLS ABOVE GRADE, TYP.
GTR-01	PREFINISHED METAL GUTTER & DOWNSPOUTS	TBD	---	TBD	
RLG-01	RAILINGS AND HANDRAIL	SUPERIOR	8100 SERIES, OPEN DOUBLE TOP RAIL, USE 3/4" SQUARE PICKETS	TBD	USE SUPERIOR 500 SERIES PIPE RAILING WHERE REQUIRED
SDG-01	PREFINISHED COMPOSITE LAP SIDING	LP SMARTSIDE W/ DIAMOND KOTE	76 SERIES, TEXTURED, 7.84" ACTUAL WIDTH	CUSTOM	
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SSR-01	STANDING SEAM METAL ROOF	PAC CLAD	TITELOC PANEL	TBD	
STN-01	STONE VENEER	TBD	---	TBD	
XTRM-01	EXTERIOR TRIM AND FASCIA	LP SMARTSIDE W/ DIAMOND KOTE	5.5" OUTSIDE CORNERS, 2.5" INSIDE CORNERS, BOTH ONE PIECE	CUSTOM	

GENERAL NOTES: ALL MORTARS TO BE COLORED. CONTRACTOR TO PROVIDE FULL SCALE MOCK-UP OF ALL STONE/SIDING/BRICK COMBINATIONS (WITH MORTARS).

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No.	Date	Description

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Wisconsin.

Signed  
Name SHANE FRY  
License No. A-10734  
Date: 00000000  
Drawn By BROWNHOUSE  
Checked By SHANE FRY  
Document Phase PHASE  
Project No:

Project Title  
THE LAUREL AT KILKENNY - WEST BUILDING  
Address  
1120 SIMON CRESTWAY  
WAUNAKEE, WI 53597

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EXTERIOR ELEVATIONS

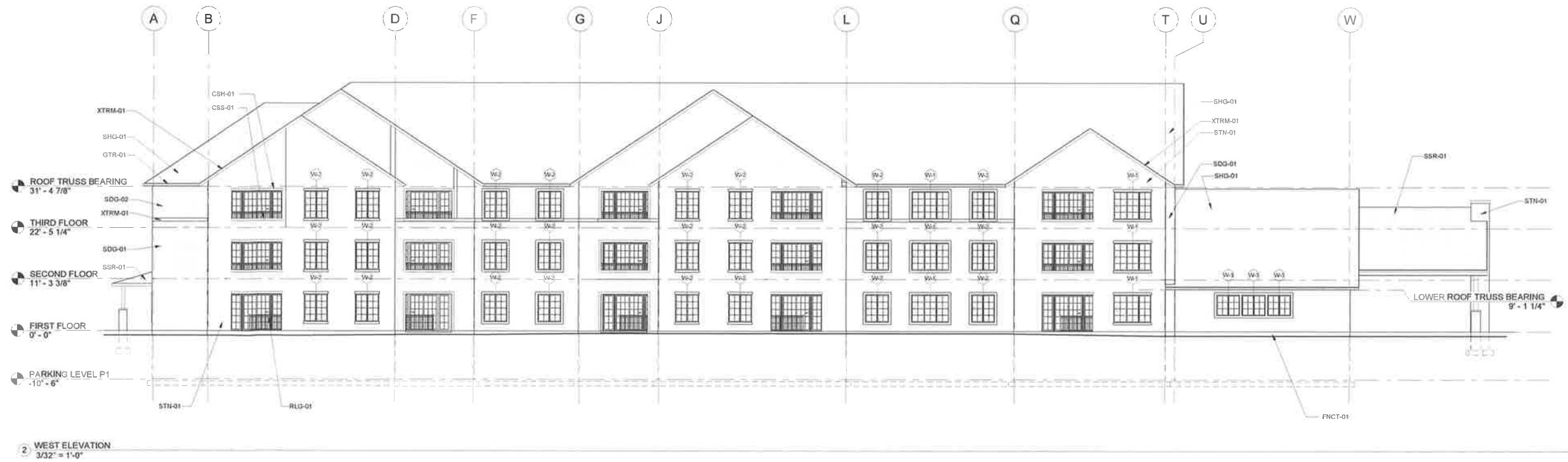
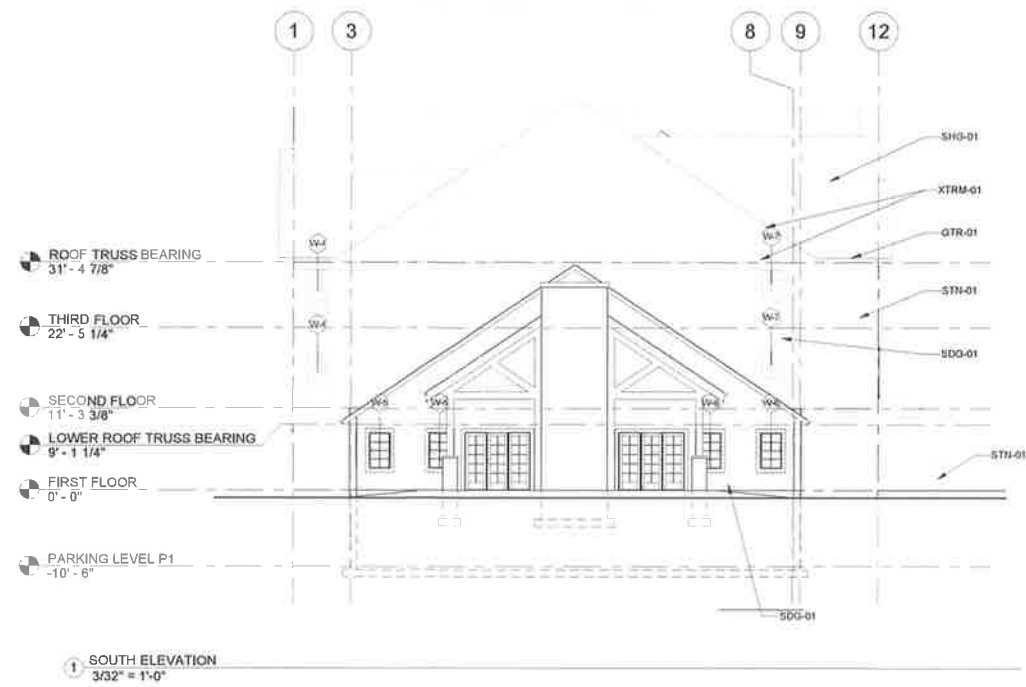
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W-A200

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## WEST BUILDING ELEVATIONS



**Consultant**

[illegible]

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Wisconsin.

Signed

Name: SHANE FRY

License No. A-10754

Date: 05/08/2008

Drawn By: BROWNHOUSE

Checked By SHANE FRY

Document Phase: PHASE

Project No. \_\_\_\_\_

Project Title

THE LAUREL AT KILKENNY -  
WEST BUILDING

Address  
1120 SIMON CRESTWAY  
WAUNAKEE, WI 53597

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Sheet Title  
EXTERIOR ELEVATIONS

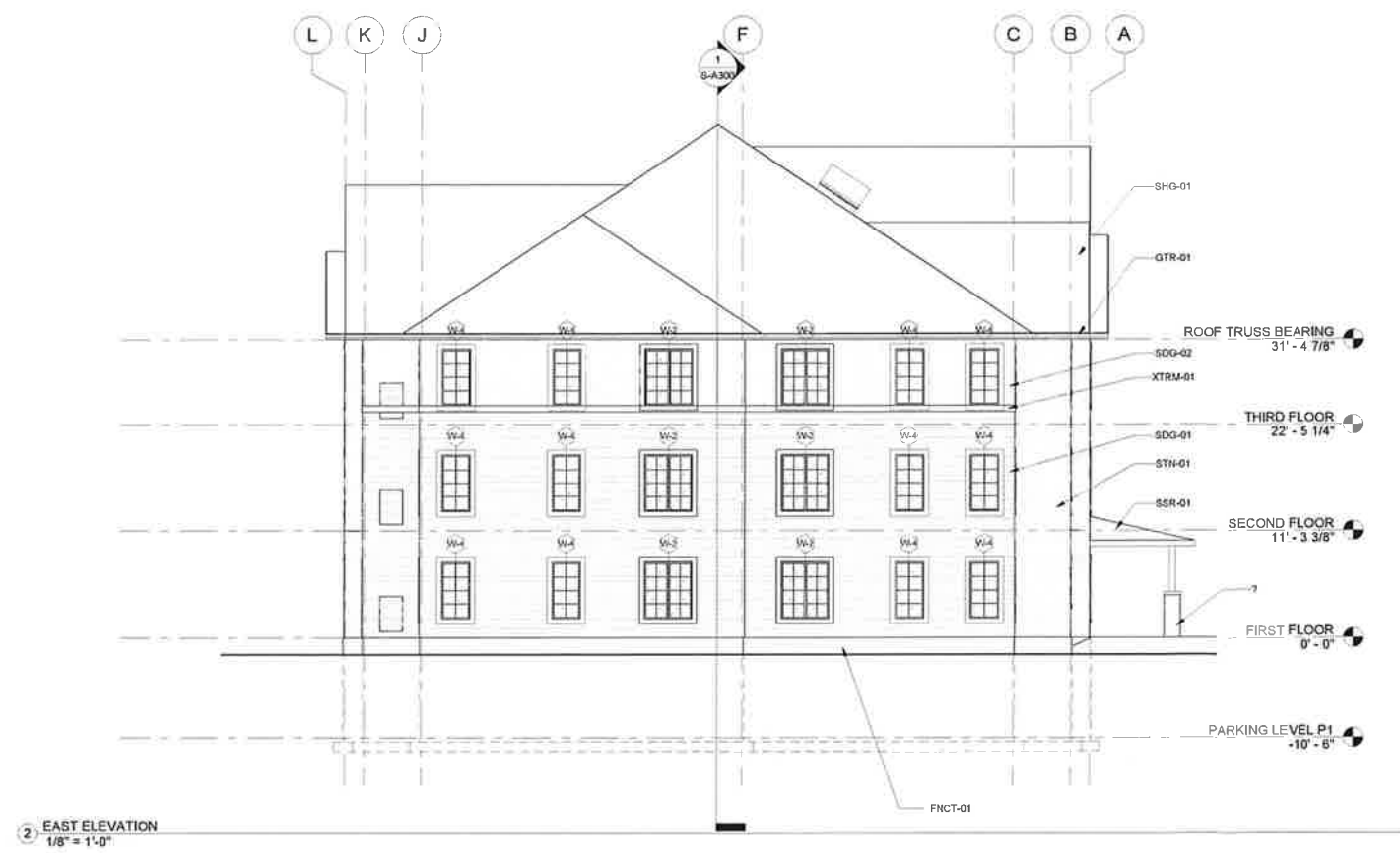
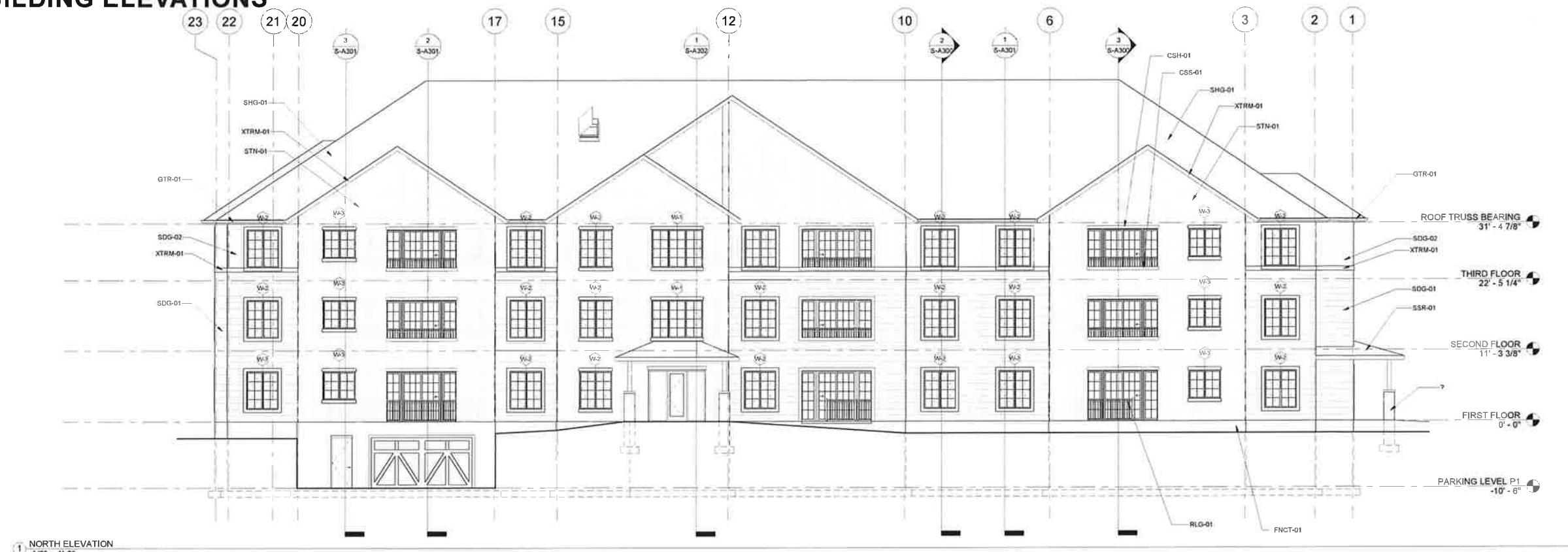
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CONSTRUCTION**

W-A201



SOUTH BUILDING ELEVATIONS



EXTERIOR MATERIAL PRODUCT LIST					
CODE	ITEM	MANUFACTURER	DESCRIPTION	COLOR	NOTES
CD-01	COMPOSITE DECKING	TREX	TRANSCEND COLLECTION	TBD	
CSH-01	CAST STONE HEADER	TBD	---	TBD	
CSS-01	CAST STONE SILL	TBD	---	TBD	
FNCT-01	FOUNDATION WALL COATING	TBD	---	TBD	TO BE USED AT EXPOSED FOUNDATION WALLS ABOVE GRADE, TYP.
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RLG-01	RAILINGS AND HANDRAIL	SUPERIOR	9100 SERIES, OPEN DOUBLE TOP RAIL, USE 3/4" SQUARE PICKETS	TBD	USE SUPERIOR 500 SERIES PIPE RAILING WHERE REQUIRED
SDG-01	PREFINISHED COMPOSITE LAP SIDING	LP SMARTSIDE W/ DIAMOND KOTE	76 SERIES, TEXTURED, 7.84" ACTUAL WIDTH	CUSTOM	
SDG-02	PREFINISHED COMPOSITE VERTICAL SIDING	LP SMARTSIDE W/ DIAMOND KOTE	76 SERIES, TEXTURED, 7.84" ACTUAL WIDTH	CUSTOM	
SHG-01	ASPHALT SHINGLES	TBD	---	TBD	
SSR-01	STANDING SEAM METAL ROOF	PAC CLAD	TITELOC PANEL	TBD	
STN-01	STONE VENEER	TBD	---	TBD	
XTRM-01	EXTERIOR TRIM AND FASCIA	LP SMARTSIDE W/ DIAMOND KOTE	5.5" OUTSIDE CORNERS, 2.5" INSIDE CORNERS, BOTH ONE PIECE	CUSTOM	

GENERAL NOTES: ALL MORTARS TO BE COLORED. CONTRACTOR TO PROVIDE FULL SCALE MOCK-UP OF ALL STONE/SIDING/BRICK COMBINATIONS (WITH MORTARS).

**brownhouse**  
202 West Gorham St.  
Madison, WI 53703  
Tel: 608.663.5100  
Fax: 608.663.5151  
www.brownhousedesigns.com

No.	Date	Description

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Wisconsin.

Signed: \_\_\_\_\_  
Name: SHANE FRY  
License No.: A-10754  
Date: 03/19/2019  
Drawn By: BROWNHOUSE  
Checked By: SHANE FRY  
Document Phase: PHASE  
Project No.: \_\_\_\_\_

Project Title  
THE LAUREL AT KILKENNY - SOUTH BUILDING  
Address  
1120 SIMON CRESTWAY  
WAUNAKEE, WI 53597

Release  
2019-03-19 1:14:52 PM

Sheet Title  
EXTERIOR ELEVATIONS

Sheet Number

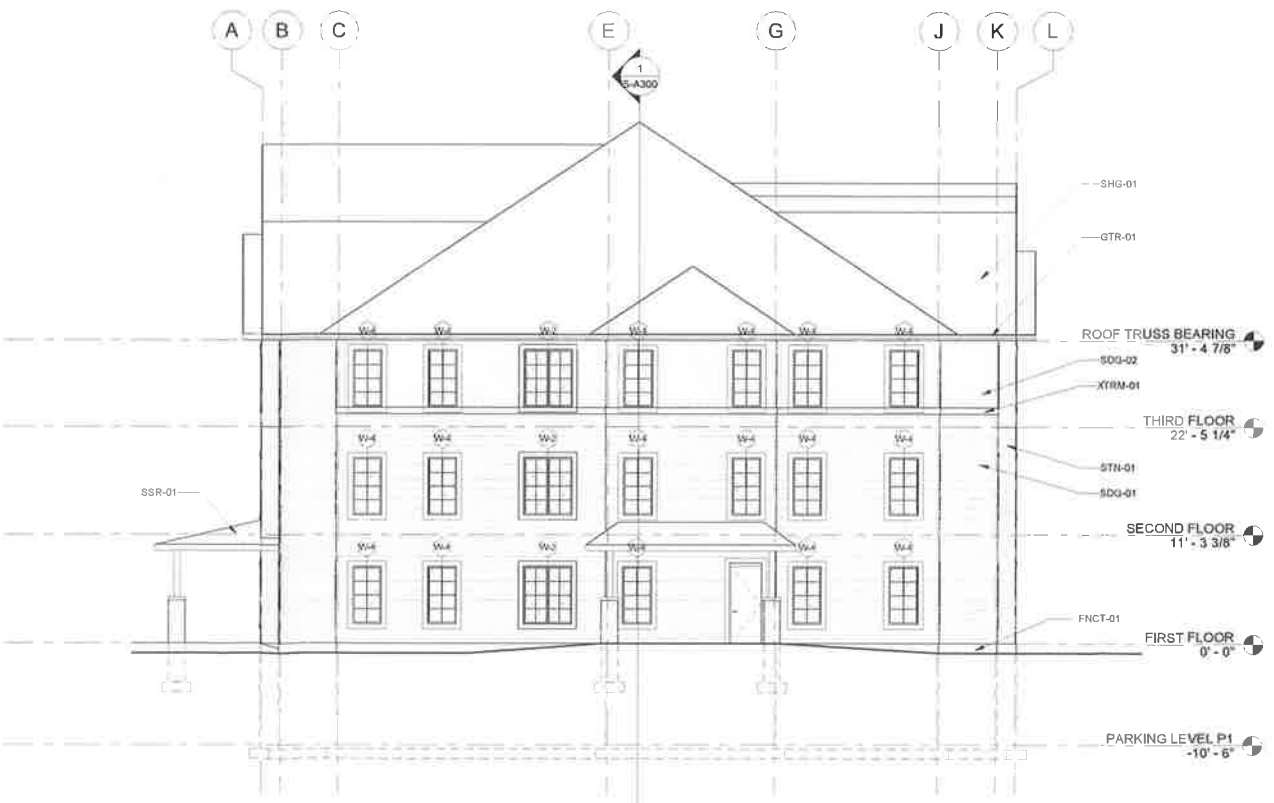
PRELIMINARY  
NOT FOR  
CONSTRUCTION

S-A200

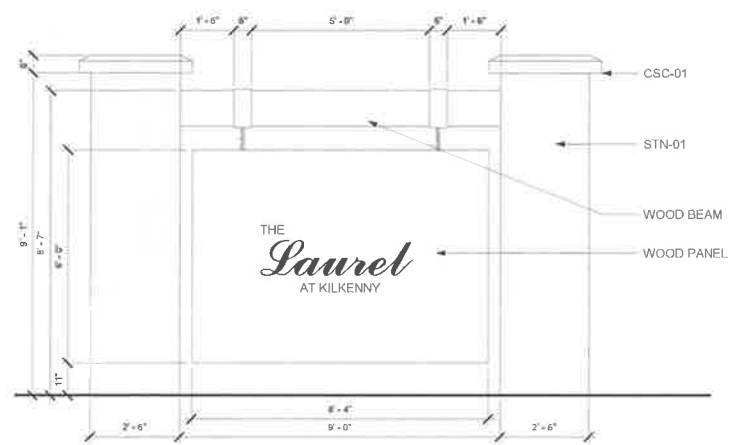
SOUTH BUILDING ELEVATIONS  
& SIGNAGE ELEVATION



1 SOUTH ELEVATION  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"



3 SIGNAGE ELEVATION  
1/2" = 1'-0"

**brownhouse**  
202 West Gorham St.  
Madison, WI 53703  
Tel: 608.663.5100  
Fax: 608.663.5151  
www.brownhousedesigns.com

Consultant

No.	Date	Description

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Wisconsin.

Signed  
Name: SHANE FRY  
License No.: A-10754  
Date: 08/03/2020  
Drawn By: BROWNHOUSE  
Checked By: SHANE FRY  
Document Phase: PHASE  
Project No:

Project Title  
THE LAUREL AT KILKENNY - SOUTH BUILDING  
Address  
1120 SIMON CRESTWAY  
WAUNAKEE, WI 53597

Release  
2019-03-19 1:15:24 PM

Sheet Title  
EXTERIOR ELEVATIONS

Sheet Number

PRELIMINARY  
NOT FOR  
CONSTRUCTION

S-A201



# PREVIOUS PROJECTS



BROWNPOINT RESERVE (Blackhawk Rd, Middleton)



# PREVIOUS PROJECTS



BROWNSTONE ON OLD SAUK (Old Sauk Rd, Middleton)



BROWNRIDGE TERRACE (Pleasant View Rd, Middleton)



KEYSTONE (University Ave, Madison)

LUCKY (University Ave, Madison)



**C-0.2 DEMOLITION PLAN:**

- C-1.0 SITE PLAN:**

- C-2.0 EROSION CONTROL PLAN:**

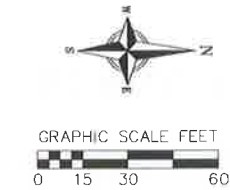
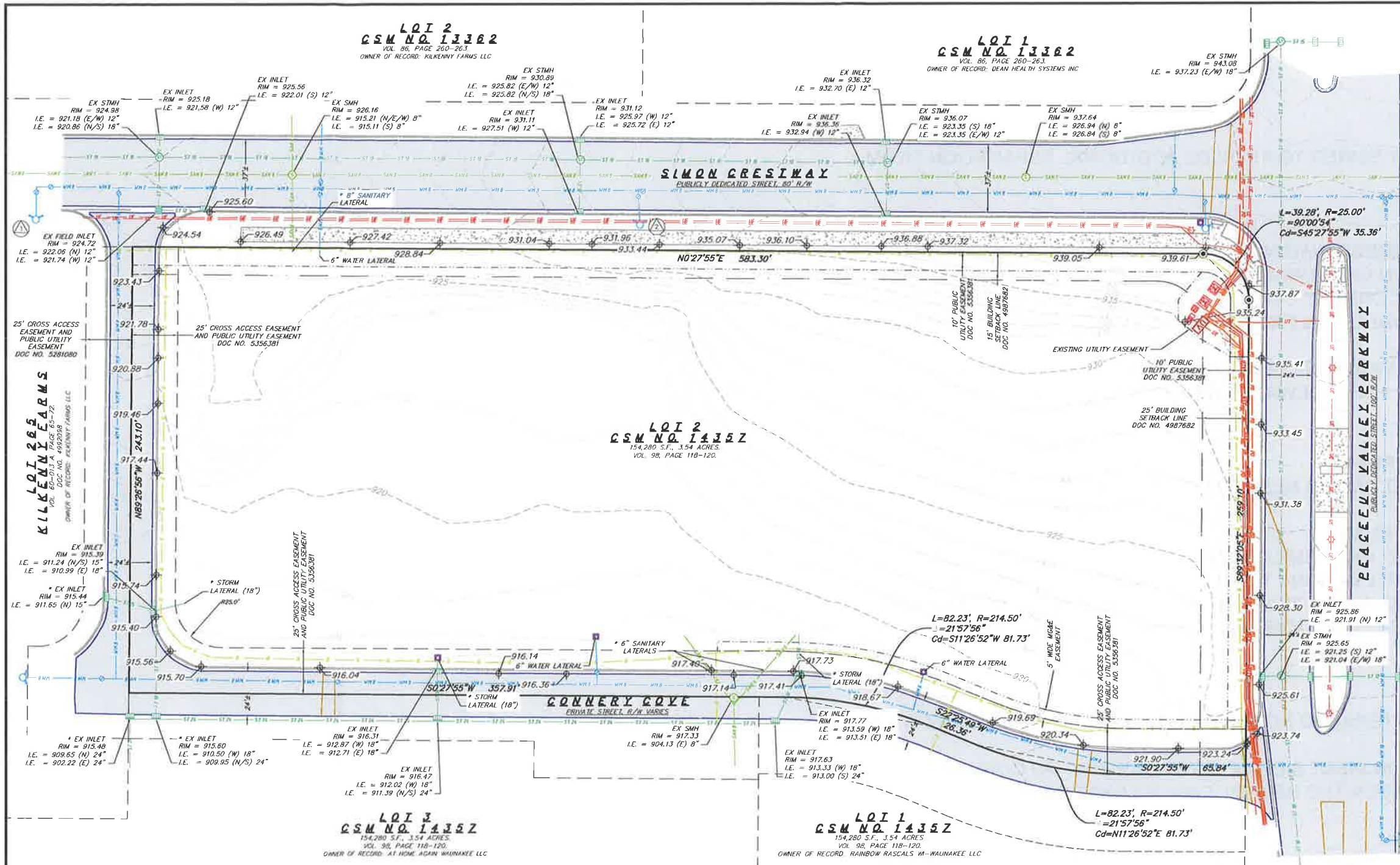
- C-3.0/C-3.1/C-3.2 GRADING PLANS:**

- C-4.0 UTILITY PLAN:**

- L-1.0 LANDSCAPING PLAN:**

- ADDED SHRUBS AROUND SURFACE PARKING AREAS, ADDED POINT SUMMARY CHART, AND ADJUSTED PLANTING LOCATIONS TO AVOID CONFLICTS WITH CAR OVERHANGS/DOOR OPENINGS.
- ADDED LANDSCAPING ALONG NEW WALKS TO ENTRANCES ON WEST SIDE OF WEST BUILDING
- ADDED SOME LANDSCAPING AT NE CORNER TO SCREEN RETAINING WALL

 <b>vierbicher</b> planners   engineers   advisors REEDBURG - MADISON - PRABHU CHEN 999 FORT ARLING DRIVE SUITE 1000 MADISON WISCONSIN 53717 PHONE: (608) 829-8300 FAX: (608) 829-8300		THE LAUREL AT KILKENNY FARMS LOT 2 CSM 14357 VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN	
REVISIONS		REVISIONS	
NO.	DATE	REMARKS	NO. DATE
SCALE			
1" = 30' (22"x34")			
1" = 60' (11"x17")			
DATE			
October 4, 2018			
DRAFTER			
JDJY			
CHECKED			
DGLU			
PROJECT NO.			
180276			
SHEET			
DWG. NO.			



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, WISCONSIN. THE EASTERLY RIGHT-OF-WAY LINE OF SIMON CRESTWAY MEASURED AS BEARING N00°27'55\"

### SURVEY LEGEND

- FIB — FIB — EXISTING UNDERGROUND FIBEROPTIC LINE
  - GAS — GAS — EXISTING GAS LINE
  - UE — UE — EXISTING UNDERGROUND ELECTRIC LINE
  - UT — UT — EXISTING UNDERGROUND CABLE TV
  - UT — UT — EXISTING UNDERGROUND TELEPHONE
  - SANS — SANS — EXISTING 6\"
  - SANS — SANS — EXISTING 8\"
  - ST 12 — ST 12 — EXISTING 12\"
  - ST 15 — ST 15 — EXISTING 15\"
  - ST 18 — ST 18 — EXISTING 18\"
  - ST 24 — ST 24 — EXISTING 24\"
  - WM 6\" — WM 6\" — EXISTING 6\" D.I. WATER MAIN
  - WM 8\" — WM 8\" — EXISTING 8\" D.I. WATER MAIN
  - WM 10\" — WM 10\" — EXISTING 10\" D.I. WATER MAIN
  - E20 — E20 — EXISTING MAJOR CONTOUR
  - E10 — E10 — EXISTING MINOR CONTOUR
  - E10 — E10 — EXISTING 10\" UTILITY EASEMENT
  - E10 — E10 — EXISTING 10\" GAS EASEMENT
  - E10 — E10 — EXISTING ACCESS EASEMENT
  - E10 — E10 — EXISTING BUILDING SETBACK LINE
  - E10 — E10 — PROPERTY BOUNDARY
  - E10 — E10 — ROAD/PARKING STRIPING
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT

- FOUND 1 1/4\"
- EXISTING CURB INLET
- EXISTING STORM MANHOLE RECTANGULAR
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING LIGHT POLE
- EXISTING ELECTRICAL UTILITY VAULT
- EXISTING ELECTRIC PEDESTAL
- EXISTING TRANSFORMER
- EXISTING TELEPHONE PEDESTAL
- BENCHMARK (SEE BENCHMARK NOTES)
- EXISTING POST

### NOTES:

- \* Information provided from asbuilt constructions plans obtained from MSA Professional Services, Project No. 00877008, April 2013.
- Field survey work performed between August 4 and August 6, 2018. Any changes in site conditions after August 6, 2018 are not reflected by this survey.
- No attempt has been made as a part of this survey to obtain or show data concerning condition, or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
- The location of existing underground utilities as shown on the plans has been determined from the best available information and is given for the convenience of the contractor. The owner and the engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.

**SURVEYED FOR:**  
STEVE BROWN APARTMENTS  
ATTN: DAN SEELEY  
120 W. GORHAM ST.  
MADISON, WI 53703

**SURVEYED BY:**  
VIERBICHER ASSOCIATES, INC.  
BY: DAVID N. GULLICKSON  
999 FOURIER DRIVE,  
SUITE 201  
MADISON, WI 53717  
(608)-821-3966  
dgul@vriebicher.com

### PROJECT BENCHMARKS:

- 1 BENCHMARK 1 - ELEV=927.22'  
TOP NUT OF FIRE HYDRANT.
- 2 BENCHMARK 2 - ELEV=934.89'  
TOP NUT OF FIRE HYDRANT.

**DIGGERS HOTLINE**  
Dial 811 or (800) 242-8511  
www.DiggersHotline.com

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE  
1-800-242-8511

**vierbicher**  
planners | engineers | advisors  
REEDSBURG - MADISON - PRABHU DU CHEN  
999 FOURIER DRIVE, SUITE 201  
MADISON, WI 53717  
Phone: (608) 824-3333 Fax: (608) 824-3550

### EXISTING CONDITIONS PLAN

THE LAUREL AT KILKENNY FARMS  
LOT 2 CSM 14357  
VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS			
NO.	DATE	REMARKS	NO.	DATE	REMARKS
1	02/15/18	VILLAGE SUBMITTAL	1	02/15/18	VILLAGE SUBMITTAL
2	03/19/18	VILLAGE SUBMITTAL	2	03/19/18	VILLAGE SUBMITTAL

SCALE  
1"=30' (22"x34")  
1"=60' (11"x17")

DATE  
October 4, 2018

DRAFTER  
J.D.O.

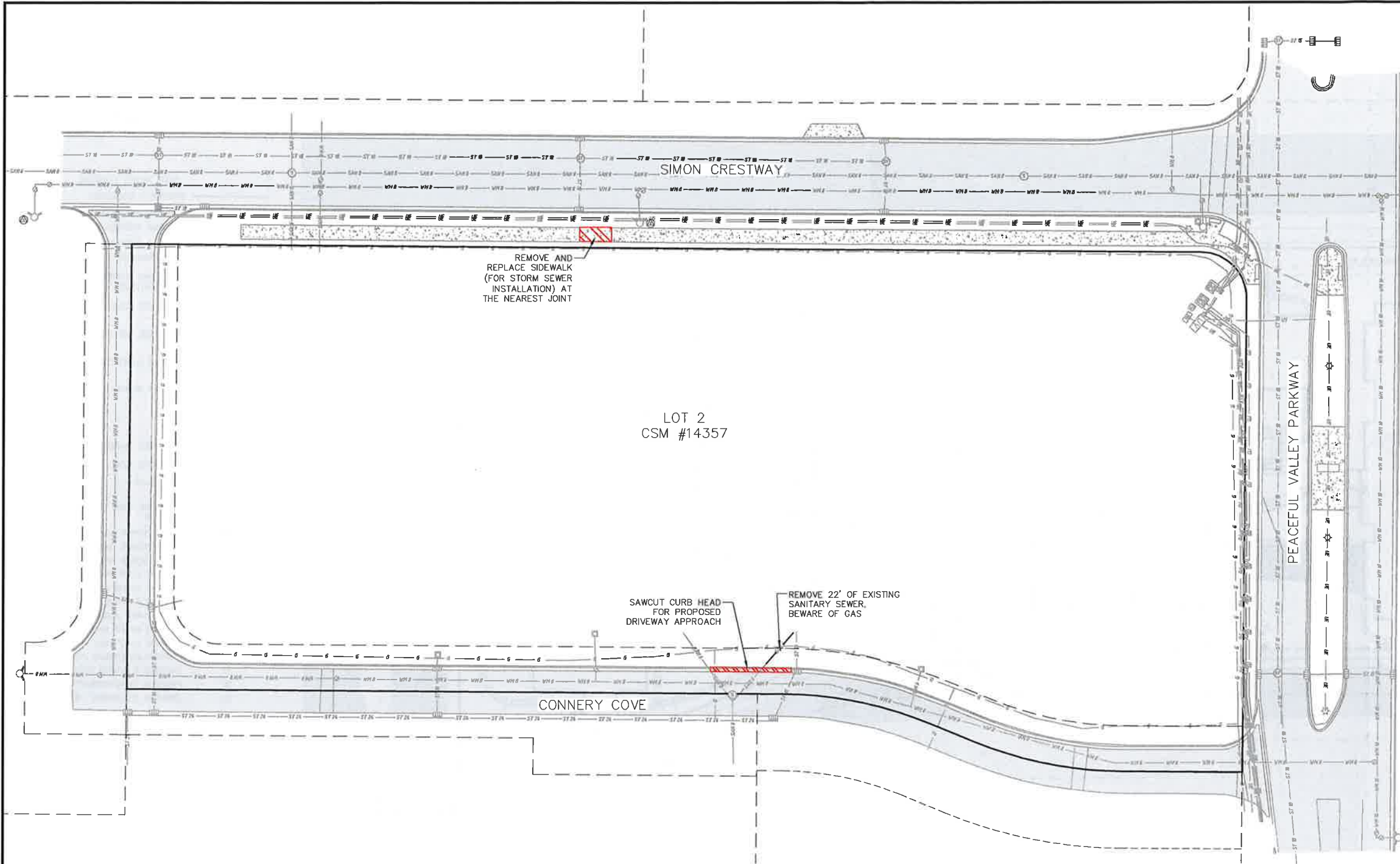
CHECKED  
D.G.U.

PROJECT NO.  
180276

SHEET  
1 OF 11

DWG. NO.  
C-0.1

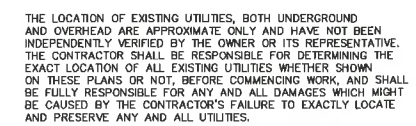




1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
3. CONTRACTOR SHALL REMOVE AND REPLACE ANY PUBLIC IMPROVEMENTS THAT ARE DAMAGED DURING CONSTRUCTION AT THE CONTRACTOR'S EXPENSE

Ⓐ BENCHMARK 1 - ELEV.=927.22'  
TOP NUT OF FIRE HYDRANT.


Ⓐ BENCHMARK 2 - ELEV.=934.89'  
TOP NUT OF FIRE HYDRANT.



CALL DIGGER'S HOTLINE  
1-800-242-8511



GRAPHIC SCALE FEET



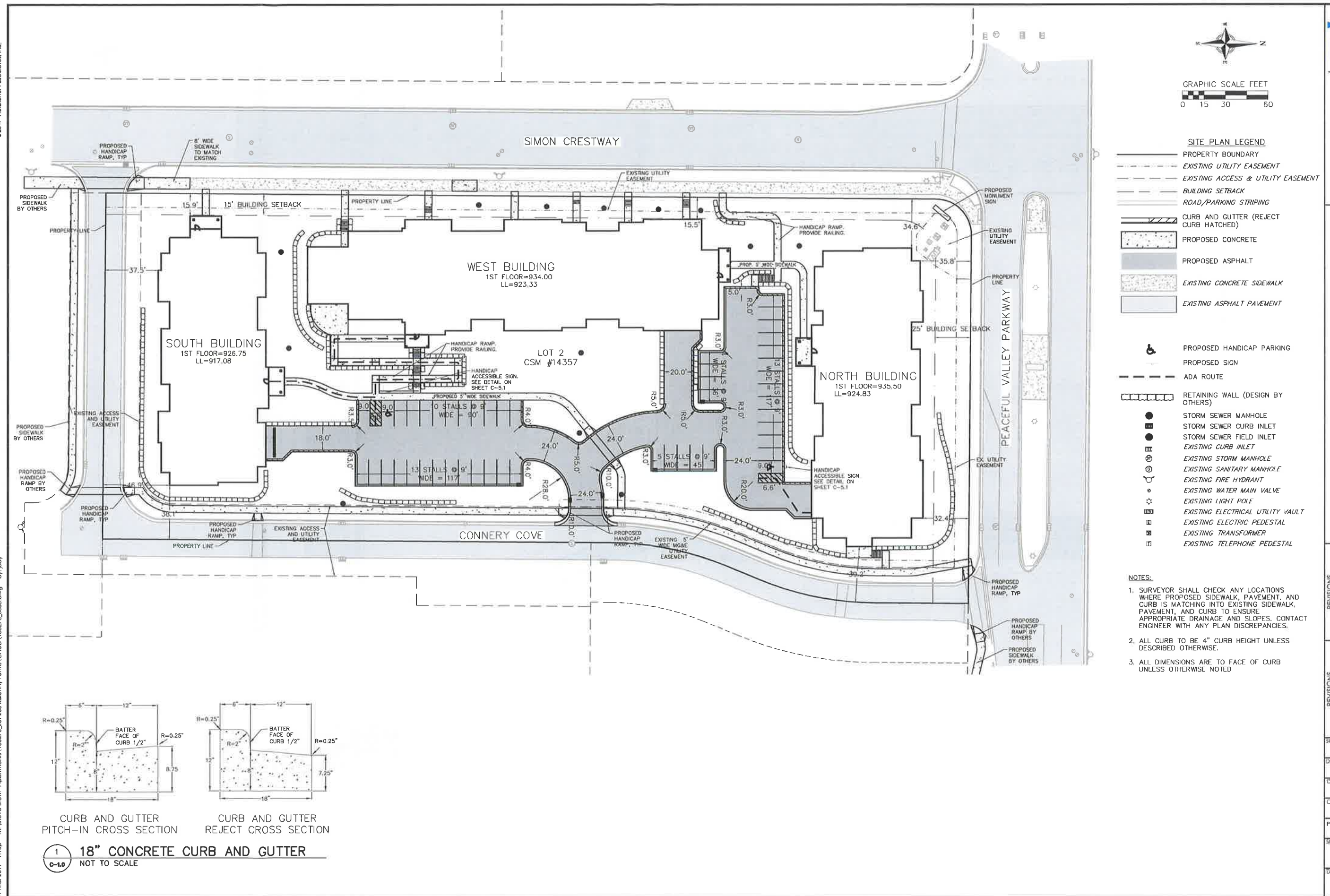
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 PROPOSED LIMITS OF REMOVAL FOR  
SIDEWALK / CURB HEAD

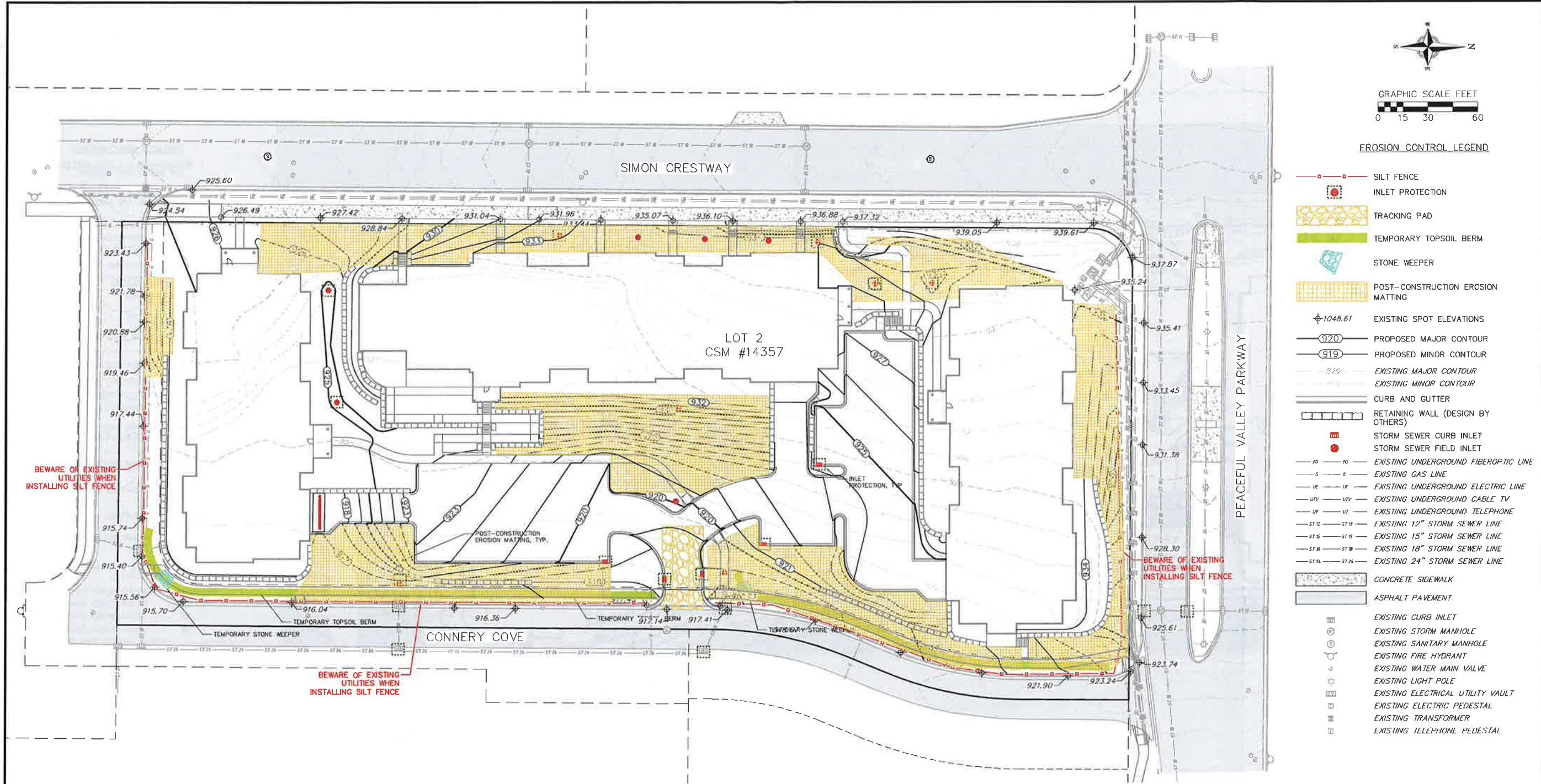
DEMOLITION PLAN  
THE LAUREL AT KILKENNY FARMS  
LOT 2 CSM 14357

THE LAUREL AT KILKENNY FARMS  
LOT 2 CSM 14357  
VILLAGE OF WAUNAKEE, DANE CO

C-0.2		2 OF 11		C. NO.	
ET		PROJECT NO.		CHECKED	
BY		NOY		DATE	
E		= 30' (22"x34")		= 60' (11"x17")	
A		02/15/19		03/19/19	
VILLAGE SUBMITTAL		VILLAGE SUBMITTAL		REMARKS	
NO. DATE		NO. DATE		REMARKS	







**EROSION CONTROL MEASURE NOTES:**

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISCONSIN TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. **STABILIZED DISTURBED GROUND:** TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING,

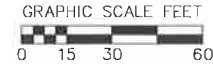
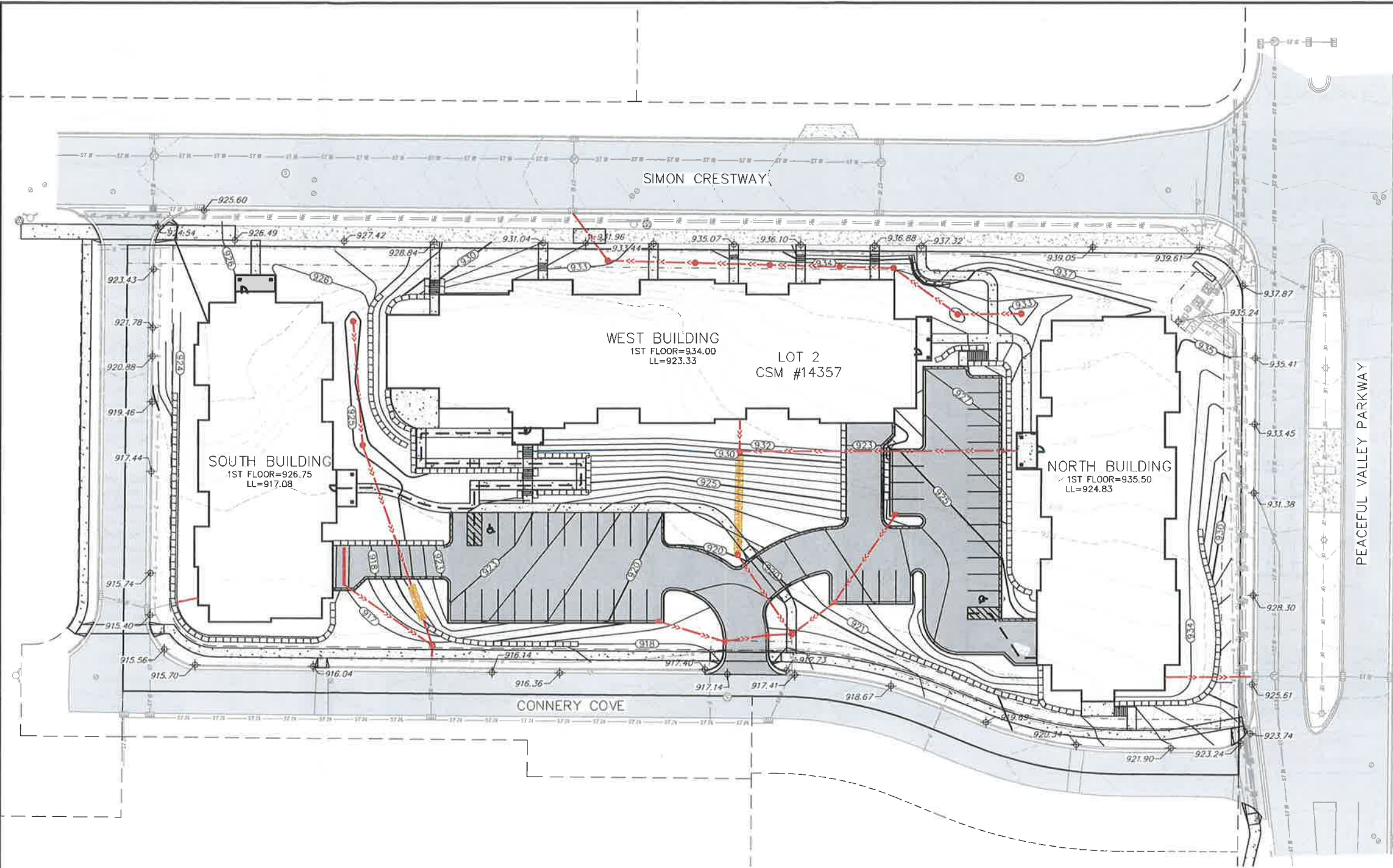
MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.

8. **SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
9. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
11. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.

12. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.

NO.	DATE	REVISIONS	REMARKS	NO.	DATE	REVISIONS	REMARKS
1	02/15/18		VILLAGE SUBMITTAL				
2	03/19/19		VILLAGE SUBMITTAL				
SCALE: 1"=30' (22"x34") 1"=60' (11"x17")							
DATE: 11/5/18							
DRAWN: JDOY							
CHECKED: DGLU							
PROJECT NO.: 180276							
SHEET: 4 OF 11							
DWG. NO.: C-2.0							





**PROJECT BENCHMARKS:**  
BENCHMARK 1 - ELEV=927.22'  
TOP NUT OF FIRE HYDRANT.  
BENCHMARK 2 - ELEV=934.89'  
TOP NUT OF FIRE HYDRANT.

**GRADING PLAN LEGEND**  
2.92% PROPOSED SLOPE ARROWS  
1048.61 EXISTING SPOT ELEVATIONS  
1048.61 PROPOSED SPOT ELEVATIONS

**ABBREVIATIONS**  
TC - TOP OF CURB  
P - PAVEMENT  
R - RIM  
FF - FIRST FLOOR  
TW - TOP OF WALL  
BW - BOTTOM OF WALL  
G - GROUND

- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- ADA ROUTE
- PROPERTY BOUNDARY
- CURB AND GUTTER (REJECT CURB HATCHED)
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED UTILITY EASEMENTS
- PROPOSED HANDICAP PARKING
- RETAINING WALL (DESIGN BY OTHERS)
- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER CURB INLET
- STORM SEWER FIELD INLET
- EXISTING UNDERGROUND FIBEROPTIC LINE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING UNDERGROUND CABLE TV
- EXISTING UNDERGROUND TELEPHONE
- EXISTING 12" STORM SEWER LINE
- EXISTING 15" STORM SEWER LINE
- EXISTING 18" STORM SEWER LINE
- EXISTING 24" STORM SEWER LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING 10' UTILITY EASEMENT
- EXISTING 10' GAS EASEMENT
- EXISTING ACCESS EASEMENT
- PROPERTY BOUNDARY
- ROAD/PARKING STRIPING

EXISTING CONCRETE SIDEWALK  
EXISTING ASPHALT PAVEMENT

- EXISTING CURB INLET
- EXISTING STORM MANHOLE RECTANGULAR
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
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- EXISTING LIGHT POLE
- EXISTING ELECTRICAL UTILITY VAULT
- EXISTING ELECTRIC PEDESTAL
- EXISTING TRANSFORMER
- EXISTING TELEPHONE PEDESTAL
- BENCHMARK (SEE BENCHMARK NOTES)
- EXISTING POST

**NOTES:**  
1. SURVEYOR SHALL CHECK ANY LOCATIONS WHERE PROPOSED SIDEWALK, PAVEMENT, AND CURB IS MATCHING INTO EXISTING SIDEWALK, PAVEMENT, AND CURB TO ENSURE APPROPRIATE DRAINAGE AND SLOPES. CONTACT ENGINEER WITH ANY PLAN DISCREPANCIES.  
2. ALL CURB TO BE 4" UNLESS DESCRIBED OTHERWISE.

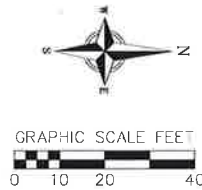
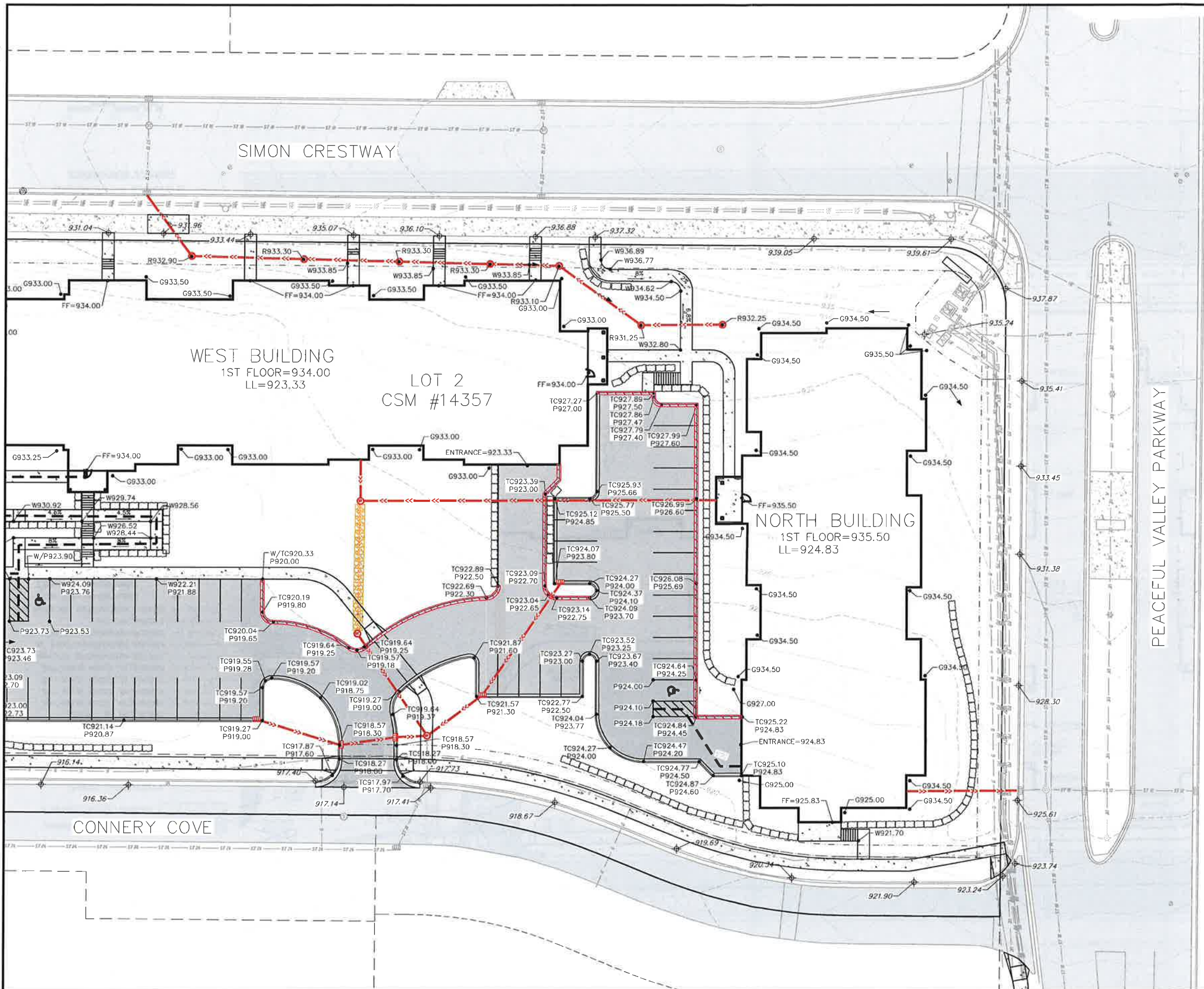
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REVISIONS		NO.	DATE	REMARKS
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	DATE	03/19/19	VILLAGE SUBMITTAL	
SCALE		1"=30' (22"x34")		
		1"=60' (11"x17")		
DATE		11/5/18		
DRAFTER		JDOY		
CHECKED		DGLU		
PROJECT NO.		180276		
SHEET		5 OF 11		
DWG. NO.		C-3.0		





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BENCHMARK 2 - ELEV=934.89'  
TOP NUT OF FIRE HYDRANT.

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2.92% PROPOSED SLOPE ARROWS  
1048.61 EXISTING SPOT ELEVATIONS  
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- ADA ROUTE
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- EXISTING UNDERGROUND TELEPHONE
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- EXISTING 24" STORM SEWER LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING 10' UTILITY EASEMENT
- EXISTING 10' GAS EASEMENT
- EXISTING ACCESS EASEMENT
- PROPERTY BOUNDARY
- ROAD/PARKING STRIPING

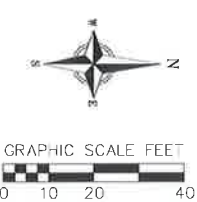
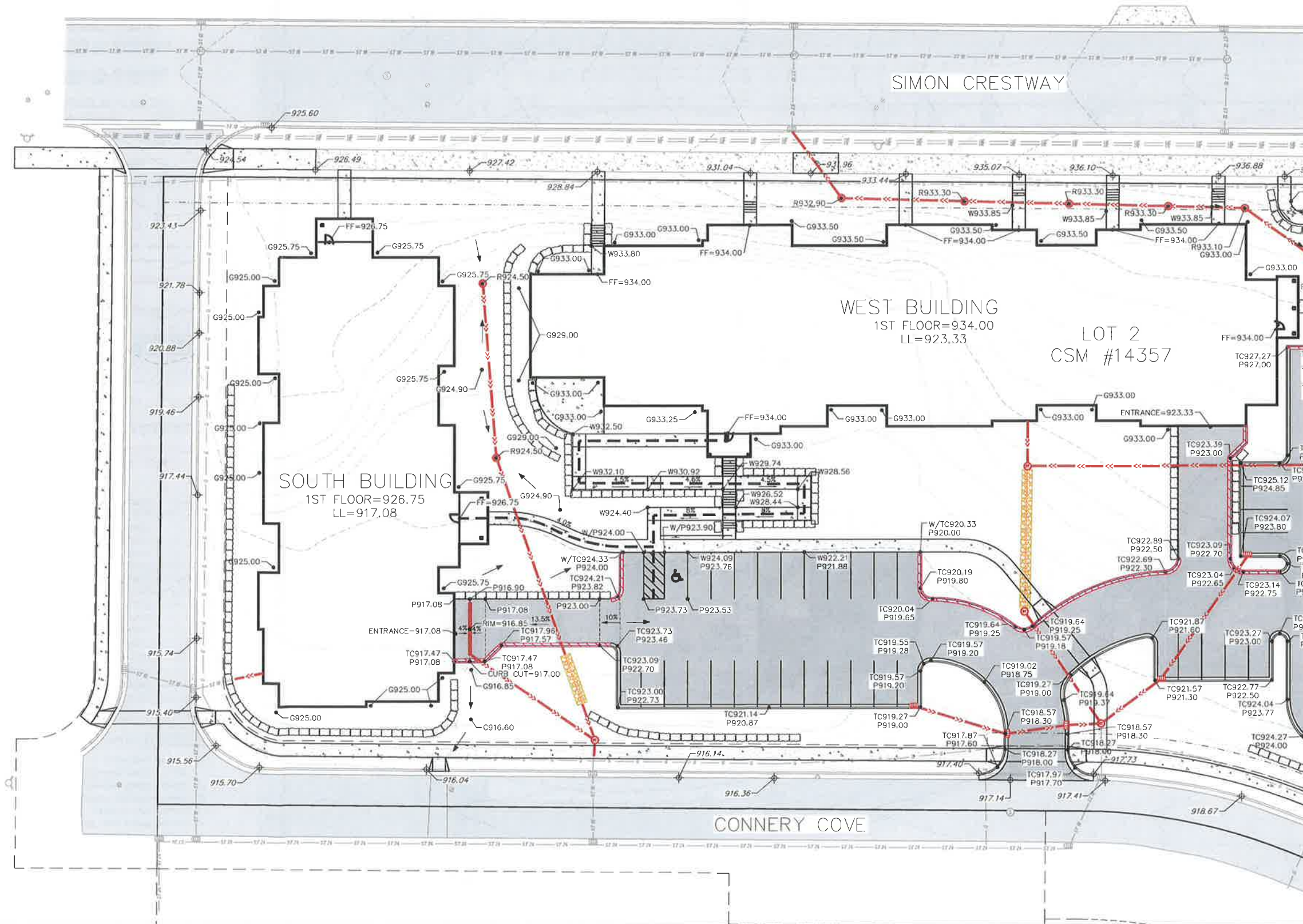
EXISTING CONCRETE SIDEWALK  
EXISTING ASPHALT PAVEMENT

- EXISTING CURB INLET
- EXISTING STORM MANHOLE RECTANGULAR
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING LIGHT POLE
- EXISTING ELECTRICAL UTILITY VAULT
- EXISTING ELECTRIC PEDESTAL
- EXISTING TRANSFORMER
- EXISTING TELEPHONE PEDESTAL
- BENCHMARK (SEE BENCHMARK NOTES)
- EXISTING POST

**DETAILED GRADING PLAN - NORTH**  
THE LAUREL AT KIKENNY FARMS  
LOT 2 CSM #14357  
VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN

REVISIONS		NO.	DATE	REMARKS
1		02/15/19		VILLAGE SUBMITTAL
2		03/19/19		VILLAGE SUBMITTAL
3		03/19/19		VILLAGE SUBMITTAL
4		03/19/19		VILLAGE SUBMITTAL
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99		03/19/19		VILLAGE SUBMITTAL
100		03/19/19		VILLAGE SUBMITTAL





- PROJECT BENCHMARKS:**
- BENCHMARK 1 - ELEV=927.22' TOP NUT OF FIRE HYDRANT.
  - BENCHMARK 2 - ELEV=934.89' TOP NUT OF FIRE HYDRANT.
- GRADING PLAN LEGEND**
- 2.92% PROPOSED SLOPE ARROWS
  - 1048.61 EXISTING SPOT ELEVATIONS
  - 1048.61 PROPOSED SPOT ELEVATIONS

- ABBREVIATIONS**
- TC - TOP OF CURB
  - P - PAVEMENT
  - R - RIM
  - FF - FIRST FLOOR
  - W - SIDEWALK
  - TW - TOP OF WALL
  - BW - BOTTOM OF WALL
  - G - GROUND
- LEGEND**
- ADA ROUTE
  - PROPERTY BOUNDARY
  - CURB AND GUTTER (REJECT CURB HATCHED)
  - PROPOSED CONCRETE
  - PROPOSED ASPHALT
  - PROPOSED UTILITY EASEMENTS
  - PROPOSED HANDICAP PARKING
  - RETAINING WALL (DESIGN BY OTHERS)
  - STORM SEWER PIPE
  - STORM SEWER MANHOLE
  - STORM SEWER CURB INLET
  - STORM SEWER FIELD INLET

- EXISTING UNDERGROUND FIBEROPTIC LINE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING UNDERGROUND CABLE TV
- EXISTING UNDERGROUND TELEPHONE
- EXISTING 12" STORM SEWER LINE
- EXISTING 15" STORM SEWER LINE
- EXISTING 18" STORM SEWER LINE
- EXISTING 24" STORM SEWER LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING 10' UTILITY EASEMENT
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- BENCHMARK (SEE BENCHMARK NOTES)
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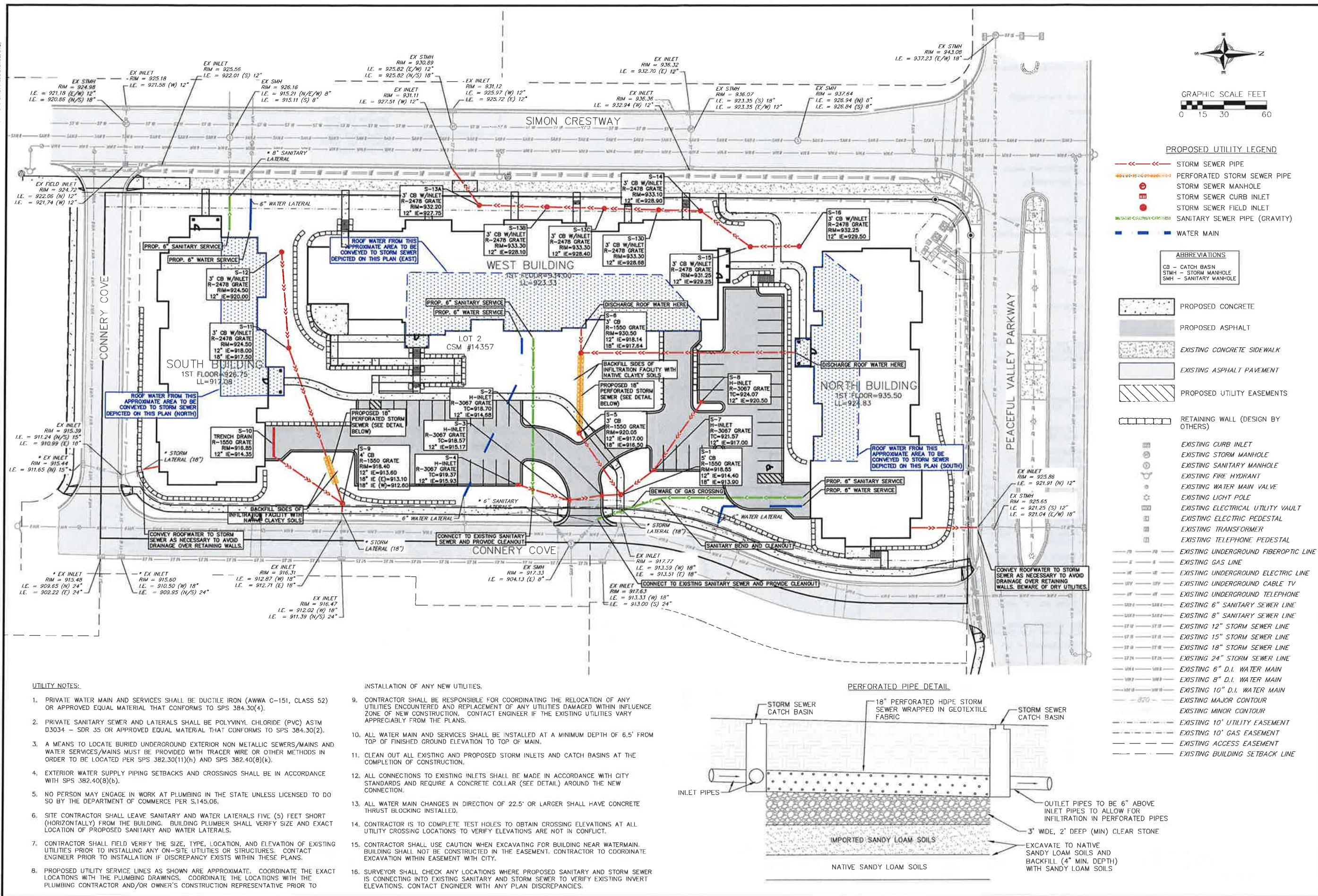
**DETAILED GRADING PLAN - SOUTH**  
THE LAUREL AT KILKENNY FARMS  
LOT 2 CSM 14357  
VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	02/15/18	1	02/15/18
2	03/19/19	2	03/19/19

SCALE: 1"=30' (22"x34")  
1"=60' (11"x17")

DATE: 11/5/18  
DRAFTER: JDOY  
CHECKED: DGLU  
PROJECT NO: 180276  
SHEET: 7 OF 11  
DWG. NO: C-3.2





**vierbicher**  
planners engineers advisors

REEDBURG - MADISON - WAUNAKEE - WAUKESHA  
999 Fourth Drive, Suite 200, Madison, Wisconsin 53717  
Phone: (608) 665-5552 Fax: (608) 665-6550

**UTILITY PLAN**  
THE LAUREL AT KILKENNY FARMS  
LOT 2 CSM 14357  
VILLAGE OF WAUNAKEE, DANE COUNTY, WISCONSIN

**REVISIONS**

NO.	DATE	REMARKS
1	02/15/19	VILLAGE SUBMITTAL
2	02/19/19	VILLAGE SUBMITTAL

**REVISIONS**

NO.	DATE	REMARKS
1	02/15/19	VILLAGE SUBMITTAL
2	02/19/19	VILLAGE SUBMITTAL

SCALE

1"=30' (22"x34")

1"=60' (11"x17")

DATE

October 4, 2018

DRAWN

JDOY

CHECKED

DQU

PROJECT NO.

180276

SHEET

8 OF 11

C-4.0



CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD.
2. INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
3. PERFORM CURB CUT.
4. STRIP SITE TOPSOIL, CREATE BERM/WEEPER AND REMOVE EXCESS.
5. ROUGH GRADE FOR BUILDING PADS AND WALKS.
6. CONSTRUCT UNDERGROUND UTILITIES.
7. INSTALL INLET PROTECTION ON NEW INLETS.
8. CONSTRUCT WALKS, DRIVE, AND CURB AND GUTTER.
9. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH.
10. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED.

SEEDING RATES:

TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

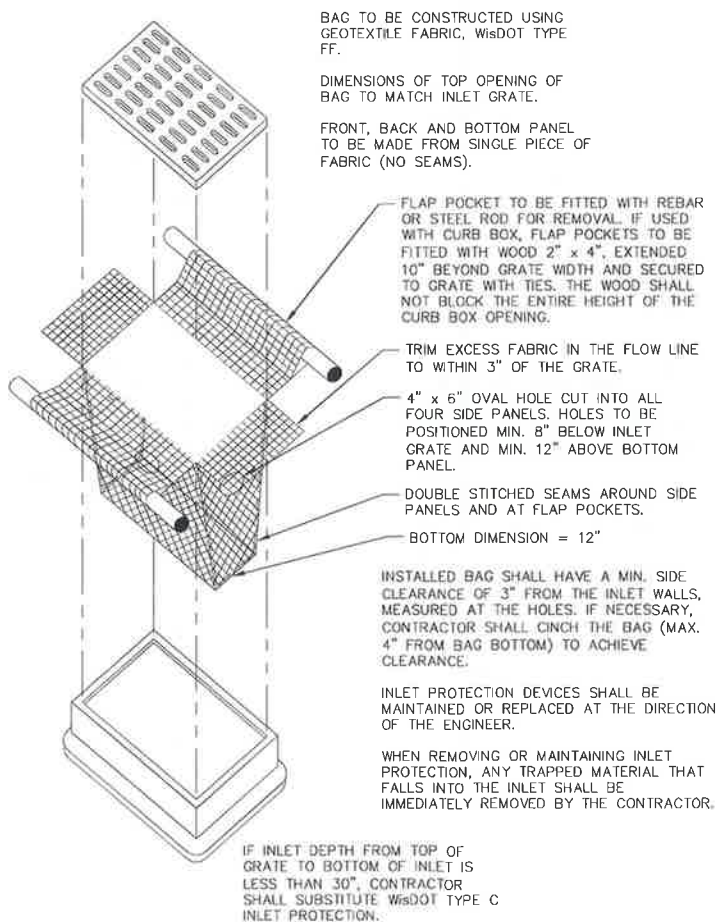
TEMPORARY AND PERMANENT:

- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

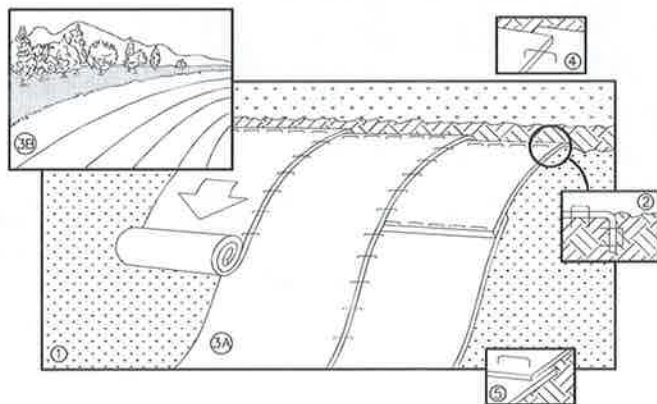
MULCHING RATES:

TEMPORARY AND PERMANENT:

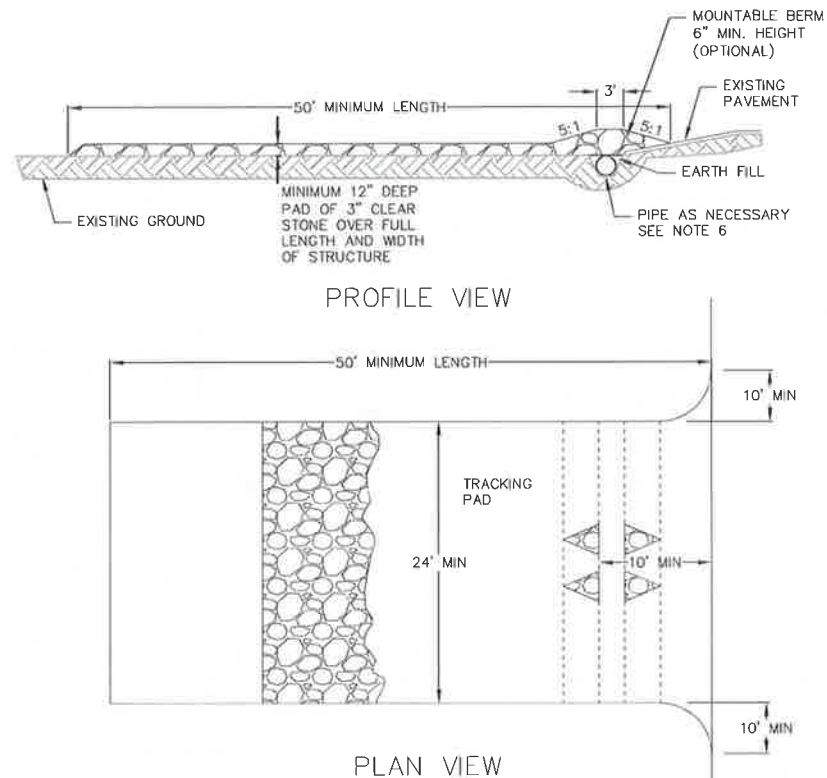
- USE  $\frac{1}{2}$ " TO 1- $\frac{1}{2}$ " STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



1 INLET PROTECTION TYPE D  
C-5.0 NOT TO SCALE

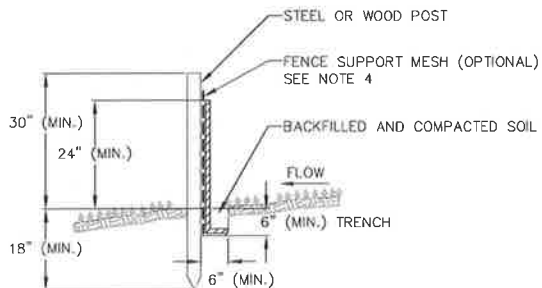


2 EROSION MAT  
C-5.0 NOT TO SCALE



1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'.
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUNDWATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

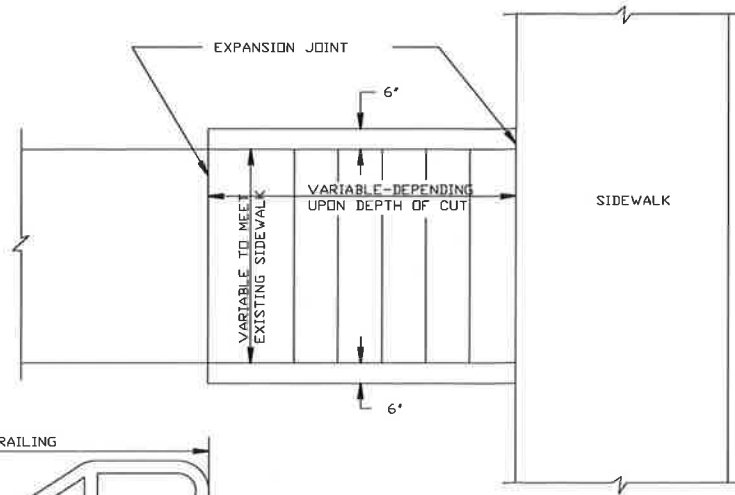
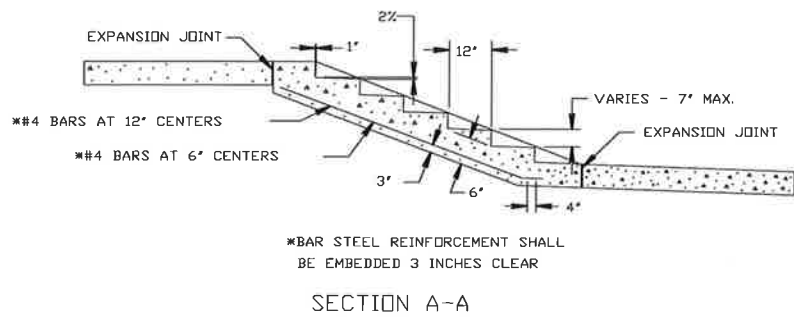
3 TRACKING PAD  
C-5.0 NOT TO SCALE



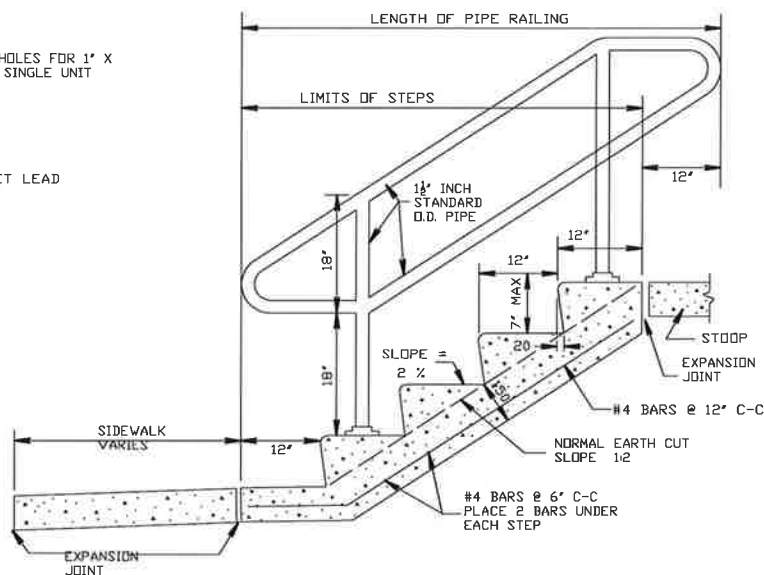
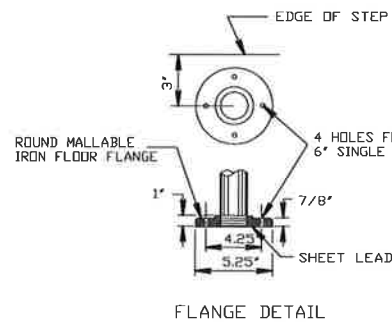
4 SILT FENCE  
C-5.0 NOT TO SCALE

NOTES:

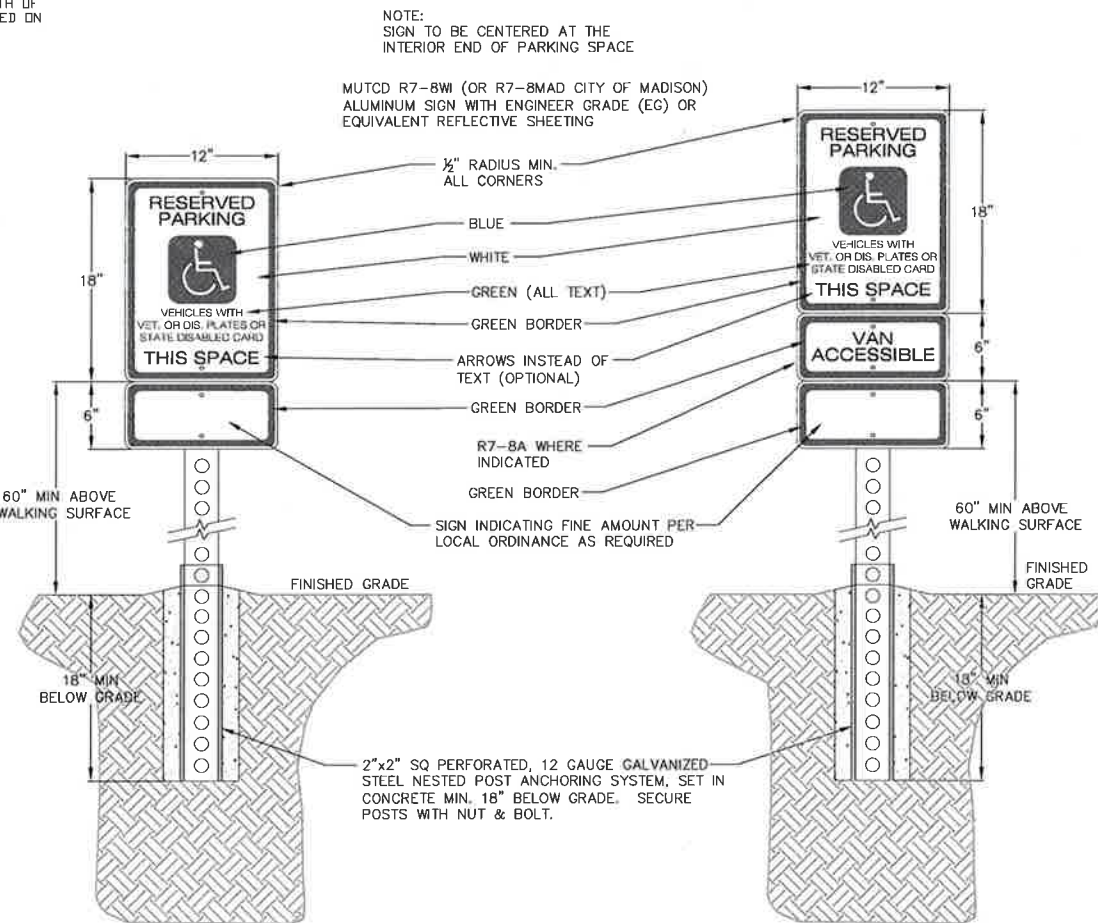
1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)  
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH



NOTE: THE EXACT LOCATION, WIDTHS, & NUMBER OF STEPS TO BE DETERMINED BY THE ENGINEER IN THE FIELD. STEEL REINFORCEMENT AND PIPE RAILING NOT REQUIRED ON STEPS WITH 2 RISERS OR LESS. MINIMUM WIDTH OF STEP EQUALS 12\"/>

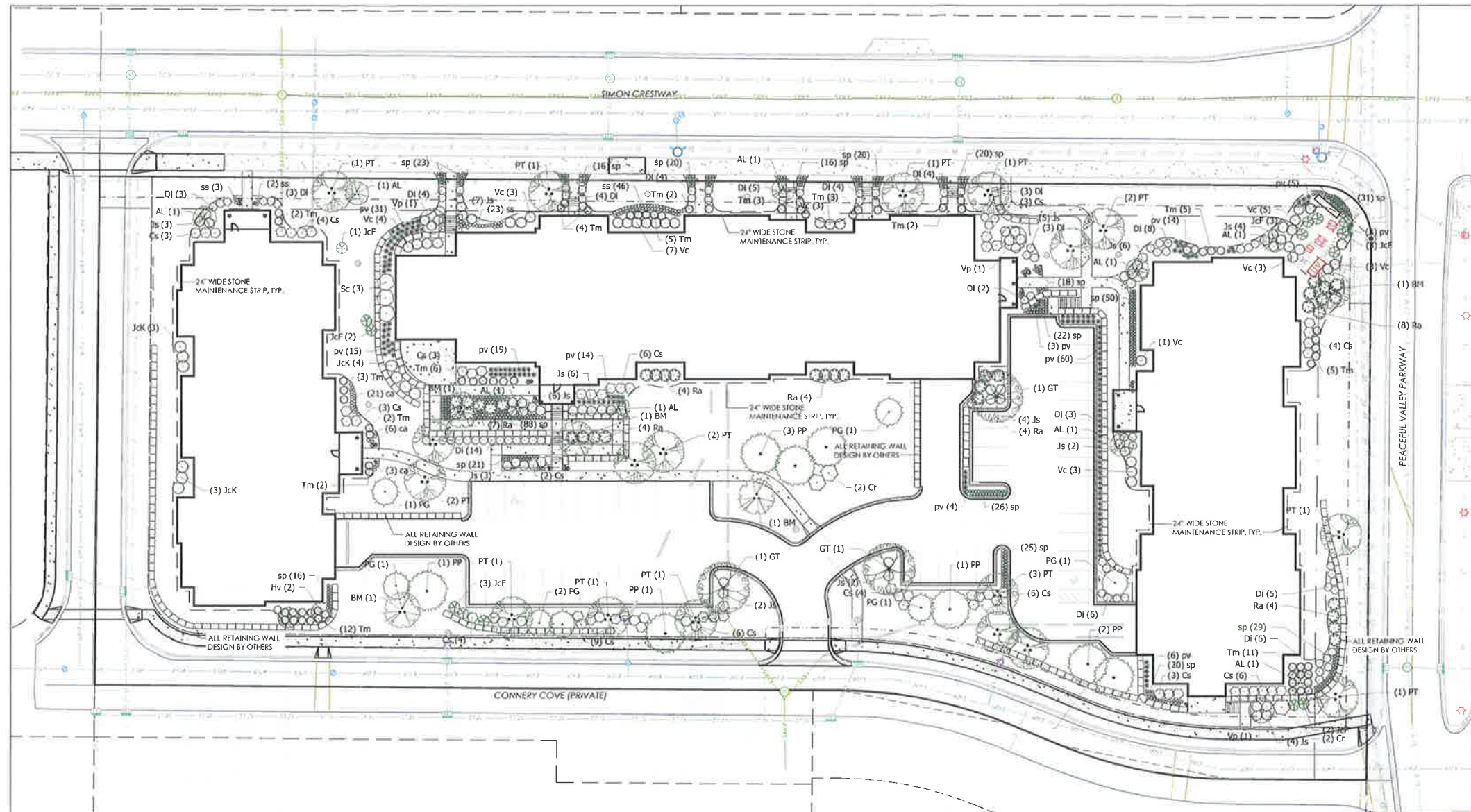


1 CONCRETE STAIRS  
C-5.1 NOT TO SCALE



2 HANDICAP SIGN DETAIL  
C-5.1 NOT TO SCALE





## PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
AL	Amelanchier laevis / Allegheny Serviceberry	B & B		6" ht, multi stem	9
BM	Betula x 'Madison' / White Satin Birch	B & B		7" ht, multi stem	5
GT	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	B & B	3" Cal		3
JcF	Juniperus chinensis 'Fairview' / Fairview Juniper	B & B		5" ht.	14
PG	Picea glauca / White Spruce	B & B		7" ht.	7
PP	Picea canadensis / Colorado Spruce	B & B		7" ht.	8
PT	Populus tremuloides / Quaking Aspen	10 gal		7" ht.	18
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
Cr	Cornus racemosa / Gray Dogwood	5 gal	Cont		4
Cs	Cornus sericea 'Allema's Compact' / Dwarf Red Twig Dogwood	5 gal	Cont		66
DI	Diervilla lonicera / Dwarf Bush Honeysuckle	5 gal	Cont		81
Hv	Hamamelis virginiana / Common Witch Hazel	10 gal	Cont		2
Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	Cont		35
Sc	Sambucus canadensis / Elderberry	7 gal	Cont		3
Vc	Viburnum cassinoides / Viburnum	5 gal	Cont		32
Vp	Viburnum prunifolium / Blackhaw Viburnum	7 gal	Cont		3
EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
JcK	Juniperus chinensis 'Pfitzerana Kallays Compact' / Kally Pfitzer Compact Juniper	5 gal	Cont		10
Js	Juniperus sabina 'Buffalo' / Buffalo Juniper	5 gal			54
Tm	Taxus x media 'Everlow' / Everlow Yew	5 gal	Cont		67
PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
ca	Carex grayi / Morning Star Sedge	4" pot	Cont		30
pv	Panicum virgatum 'Heavy Metal' / Blue Switch Grass	1 gal			174
ss	Schizachyrium scoparium / Little Bluestem Grass	1 gal			74
sp	Sporobolus heterolepis / Prairie Dropseed	1 gal			461

## GENERAL NOTES:

1. All plantings shall conform to quality requirements as per ANSI Z60.1.
2. All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
3. Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
4. All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by LaCrosse Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
5. All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
6. Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
7. Landscape beds along building foundations to be mulched with 1.5" purple quartz stone to 3" depth over weed barrier fabric. Provide 24" wide stone maintenance strip with same stone/fabric where no landscaping is shown adjacent to building foundation. Site landscape beds to be mulched with undyed shredded hardwood bark to 3" depth min. Edge all unenclosed beds with commercial grade aluminum landscape edging, Permaloc Cleanline 1/2" x 4" or equal, color black anodized.
8. Provide 18-24" high purple quartz boulders of entrances as shown on plan. Arrange for natural appearance.

GRAPHIC SCALE FEET  
0 15 30 60

Village of Waunakee Parking Lot Landscaping Requirements				
Minimum Canopy Tree Requirement				
Parking Stalls:			48	
1 Tree/12 Stalls:			4	Trees Req'd
Landscape Point Requirement:				
15 Points/Stall:			720	Points Req'd
Landscape Element				
Canopy Trees	Min. Planted Size	Points	Qty	Total Points
Canopy Trees	2-2.5" or 1-1.5" for multi-stem trees	50	8	400
Canopy Trees	1.5-2" or 8-10"	30		0
Evergreen Trees	4"	30	5	150
Low Ornamental Trees	5' and BB stock	20		0
Tall Shrubs	2.5-4"	9	3	27
Medium Shrubs	18"-36"	6	31	186
Low Shrubs	15-24"	3	17	51
Points Provided:				814

vierbicher  
planners | engineers | advisors

Phone: (800) 261-3898

LANDSCAPE PLAN  
THE LAUREL AT KILKENNY FARMS  
VILLAGE OF WAUNAKEE  
DANE COUNTY, WISCONSINREVISIONS  
NO. DATE REMARKSSCALE  
1" = 30' (22"x34")  
1" = 60' (11"x17")DATE  
March 19, 2019DRAFTER  
SVNCHECKED  
JDOYPROJECT NO.  
180276SHEET  
11 OF 11DWG. NO.  
L-1,0





Schedule								
Symbol	Label	QTY	Catalog Number	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	A	4	PRV-A40-D-UNV-T3-BZ		2	7605	0.9	143
	B	7	PWY-EDG-5M-xx-02-E-UL-350-40K / BXPx518E-UH7	Eighteen type XP-G2 LEDs	1	1779	0.9	21.3
	C	3	XTOR2B-W	EATON LED 4000K	1	2102	0.9	18.2

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.5 fc	9.5 fc	0.1 fc	95.0:1	15.0:1

Designer  
Date  
2/5/2019  
Scale  
Not to Scale  
Drawing No.  
Summary



## DESCRIPTION

The Prevail LED area, site luminaire combines optical performance, energy efficiency and long term reliability in an advanced, patent pending modern design. Utilizing the latest LED technology, the Prevail luminaire delivers unparalleled uniformity resulting in greater pole spacing. A versatile mount standard arm facilitates ease of installation for both retrofit and new installations. With energy savings greater than 62%, the Prevail fixture replaces 150-450W metal halide fixtures in general area lighting applications such as parking lots, walkways, roadways and building areas.

## SPECIFICATION FEATURES

### Construction

Construction is comprised of a heavy duty, single piece die-cast aluminum housing. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. The die-cast aluminum door is inherent to provide easy access to the driver if replacement is required. A one-piece silicone gasket seals the door to the fixture housing. The optics is mounted on a versatile, aluminum plate that dissipates heat from the LEDs resulting in longer life of the fixture. The fixture is IP68 and 3G vibration rated (ANSI C136.31) to insure strength of construction and longevity in the selected application.

### Optics

Precision molded, high efficiency optics are precisely designed to shape the distribution, maximizing efficiency and application spacing. Available in Type II, III, IV and V distributions with lumen packages ranging from 6,100 to 18,900 nominal lumens. Light engine configurations consist of 1 or 2 high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L92-60,000 hours at 25°C) per IESNA TM-21. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed.

### Electrical

LED drivers are mounted to the fixture for optimal heat sinking and ease of maintenance. Thermal management incorporates both conduction and convection to transfer heat rapidly away from the LED source for optimal efficiency and light output. Class 1 electronic drivers have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Available in 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. 10kV/10 kA surge protection standard. 0-10V dimming driver is standard with leads external to the fixture to accommodate controls capability such as dimming and occupancy. Suitable for ambient temperatures from -40°C to 40°C. Optional 50°C HA (high ambient) available. Standard NEMA 3-PIN twistlock photocontrol receptacle and NEMA 7-PIN twistlock photocontrol receptacles are available as options.

### Controls

The Prevail LED luminaire control options are designed to be simple and cost-effective ASHRAE and California Title 24 compliant solutions. The ANSI C136.41 compliant NEMA 3-PIN receptacle enables wireless dimming when used with compatible photocontrol. An integrated dimming and occupancy sensor is a standalone control option available in on/off (MSP) and bi-level dimming.

Catalog #	Type
Project	
Comments	Date
Prepared by	



PRV PREVAIL

LED

AREA / SITE / ROADWAY LUMINAIRE



**CERTIFICATION DATA**  
UL and cUL Wet Location Listed  
IP68 Rated  
3G Vibration Rated  
ISO 9001  
DesignLights Consortium® Qualified\*

**ENERGY DATA**  
Electronic LED Driver  
0.9 Power Factor  
<20% Total Harmonic Distortion  
120-277/50 and 60Hz  
347V/60Hz, 480V/60Hz  
40°C Minimum Temperature Rating  
+42°C Ambient Temperature Rating

**SHIPPING DATA**  
Approximate Net Weight  
20 lbs. 19.00 kg (1)



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\*www.designlights.org

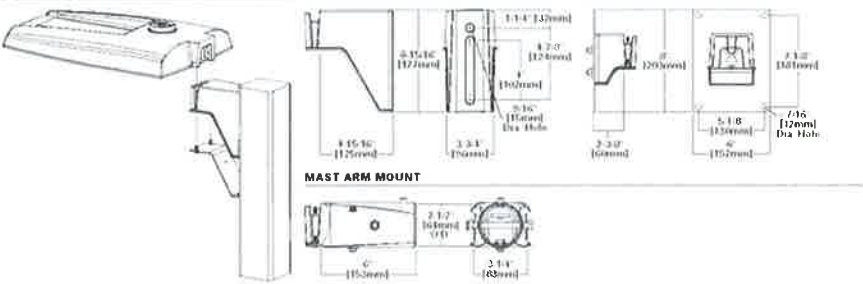
## DIMENSIONS



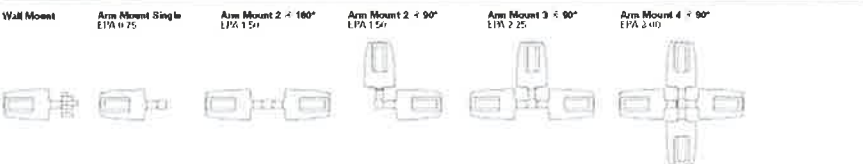
Powering Business Worldwide

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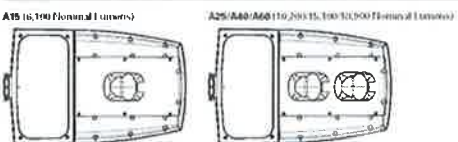
## VERSATILE MOUNT SYSTEM



## MOUNTING CONFIGURATIONS AND EPAS



## OPTICAL CONFIGURATIONS



## POWER AND LUMENS

Light Engine	A15	A25	A40	A60
Nominal Power (Watt)	57W	97W	143W	163W
Input Current @ 120V (A)	0.49	0.76	1.22	1.38
Input Current @ 277V (A)	0.22	0.35	0.54	0.60
Input Current @ 347V (A)	0.18	0.28	0.45	0.49
Input Current @ 480V (A)	0.13	0.21	0.33	0.35
Lumens	6100	10204	15043	18900
Type II	BLK Rating	B1 L10 G1	B2 L10 G1	B3 L10 G1
Type III	Lumens	6192	10292	15203
BLK Rating	B1 L10 G1	B2 L10 G1	B3 L10 G1	B4 L10 G1
Type IV	Lumens	6173	10261	15157
BLK Rating	B1 L10 G1	B2 L10 G1	B3 L10 G1	B4 L10 G1
Type V	Lumens	6303	10497	15597
BLK Rating	B1 L10 G1	B2 L10 G1	B3 L10 G1	B4 L10 G1

NOTE: Lumen output of this fixture is based on IESNA TM-21-10. Lumen output is based on a 100,000 hour life expectancy. Lumen output is based on a 100,000 hour life expectancy.



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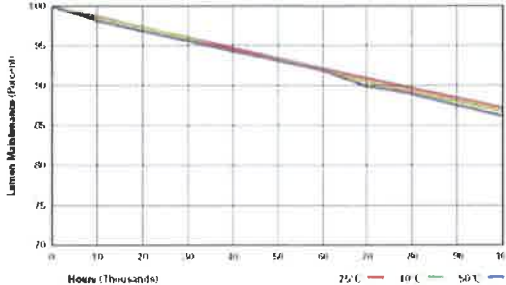
## LUMEN MAINTENANCE

Ambient Temperature	25,000 Hours*	50,000 Hours*	100,000 Hours*	Theoretical L70 (Hours)*	Theoretical L70 (Hours)*
25°C	> 96%	> 93%	> 92%	> 87%	> 760,000
40°C	> 96%	> 93%	> 92%	> 87%	> 760,000
50°C	> 95%	> 92%	> 91%	> 86%	> 750,000

\*Per IESNA TM-21-10

## LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99



## ORDERING INFORMATION

Sample Number: PRV A25-U-URV-13-5A-02

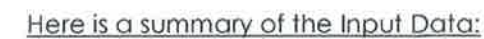
Product Family <sup>1,2</sup>	Light Engine <sup>3</sup>	Driver <sup>4</sup>	Voltage	Distribution	Mounting	Color <sup>5</sup>
PRV, Prevail	A15-11 LED 6,100 Nominal Lumens A25-12 LED 10,204 Nominal Lumens A40-12 LED 15,043 Nominal Lumens A60-12 LED 18,900 Nominal Lumens	D-Dimming (0-10V)	URV-Universal (120-277V) 347-347V 480-480V	T2-Type II T3-Type III T4-Type IV T5-Type V	SA-Standard Versatile Arm MA-Mast Arm WM-Wall Mount Arm	AP-Grey BZ-Bronze (Standard) BK-Black DP-Dark Platinum GM-Graphite Metallic WH-White
Options (Add as Suffix)				Accessories (Order Separately) <sup>6</sup>		
2030-70 (30) Break Out				PRVWM-XX-Wall Mount Kit		
2030-70 (30) Break Out				PRVMA-XX-Mast Arm Mounting Kit		
URV-LW-LumaVatt Pro Wireless Sensor, Wide Area for 0-10V Dimming Height				HSE-VERD-Verde Safety Shield		
URV-LW-LumaVatt Pro Wireless Sensor, Narrow Area for 0-10V Dimming Height				MA1010-XX-Single Tension Adapter for 3 1/2" O.D. Tension		
MSP/DMA-L12-Integrated Sensor for Dimming Operation, 0-10V Dimming Height				MA1012-XX-3 1/2" Tension Adapter for 3 1/2" O.D. Tension		
MSP/DMA-L12-Integrated Sensor for Dimming Operation, 0-10V Dimming Height				MA1013-XX-4 1/2" Tension Adapter for 3 1/2" O.D. Tension		
MSP-L30-Integrated Sensor for On/Off Operation, 0-10V Dimming Height				MA1014-XX-2 1/2" Tension Adapter for 3 1/2" O.D. Tension		
PBR-18 MA 3 1/2" Twistlock Photocontrol Receptacle				MA1015-XX-2 1/2" Tension Adapter for 3 1/2" O.D. Tension		
PBR-18 MA 3 1/2" Twistlock Photocontrol Receptacle				MA1016-XX-3 1/2" Tension Adapter for 3 1/2" O.D. Tension		
HSS-House Side Shield				MA1017-XX-Single Tension Adapter for 2 3/8" O.D. Tension		
HA-HAFC High Ambient Temperature				MA1018-XX-2 1/2" Tension Adapter for 2 3/8" O.D. Tension		
LDB-Lights Isolated 50° Beam				MA1019-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
R60-Optics Rotated 60° Right				MA1020-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1021-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1022-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1023-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
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				MA1025-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
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				MA1191-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1192-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1193-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1194-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1195-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1196-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1197-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1198-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1199-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1200-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1201-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1202-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1203-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1204-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1205-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1206-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1207-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1208-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1209-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1210-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1211-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1212-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1213-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1214-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1215-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1216-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1217-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1218-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1219-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1220-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1221-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1222-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1223-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1224-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1225-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1226-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1227-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1228-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1229-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1230-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1231-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1232-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1233-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1234-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1235-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1236-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1237-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1238-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1239-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1240-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1241-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1242-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1243-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1244-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1245-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1246-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1247-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1248-XX-4 1/2" Tension Adapter for 2 3/8" O.D. Tension		
				MA1249-XX-3 1/2" Tension Adapter for 2 3/8" O.D. Tension		



[illegible]

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3 Feb 2019 - 11:04a Mc'Steve Brown Apartments\180276\_Lol 266 Kilkenny Farms\CADD\180276\_Base.dwg by: iday



2



3





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**vierbicher**  
planners | engineers | advisors  
REEDSBLUIG • MADSON • FRAISE DU CHEN  
399 Tautou Drive, Suite 201  
Madison, Wisconsin 53717  
Phone: (608) 628-0330 Fax: (608) 628-0330

[illegible]

CGC Inc.					LOG OF TEST BORING		Boring No. <span style="float: right;">6</span>				
<div style="display: flex; justify-content: space-between;"> <span>2921 Perry Street, Madison, WI 53713</span> <span>(608) 288-4100, FAX (608) 288-7887</span> </div>					Project <span style="float: right;">Kilkenny Site Apartments</span>		Surface Elevation (ft) <span style="float: right;">925 +/-</span>				
					Location <span style="float: right;">Peaceful Valley Parkway Waunakee, Wisconsin</span>		Job No. <span style="float: right;">C18357</span>				
					Sheet <span style="float: right;">1 of 1</span>						
SAMPLE					VISUAL CLASSIFICATION and Remarks		SOIL PROPERTIES				
No.	TYPE	Rec (in.)	Moist	N	Depth (ft)		q <sub>u</sub> (qa) (tsf)	W	LL	PL	LI
1		18	M	6		3.5 in. TOPSOIL FILL (OL)					
2		14	M	17		FILL: Medium Dense, Brown Fine to Medium Sand, Some Silt and Gravel					
3		16	M	9		Very Stiff, Brown Lean CLAY (CL)	(3.0)				
4		10	M	6			(2.5)				
5		14	M	22		Medium Dense, Brown Fine to Medium SAND, Some Silt and Gravel, Scattered Cobbles/Boulders (SM)					
6		16	M	17							
7		18	M	25		End of Boring at 25 ft					
Borehole Backfilled with Bentonite Chips											
WATER LEVEL OBSERVATIONS						GENERAL NOTES					
While Drilling <input checked="" type="checkbox"/> NW      Upon Completion of Drilling _____ Time After Drilling _____ Depth to Water _____ Depth to Cave in _____						Start <span style="float: right;">8/22/18</span> End <span style="float: right;">8/22/18</span> Driller <span style="float: right;">BSD</span> Chief <span style="float: right;">MC</span> Rig <span style="float: right;">D-50</span> Logger <span style="float: right;">MG</span> Editor <span style="float: right;">BSM</span> Drill Method <span style="float: right;">2.25" HSA; Autohammer</span>					
The stratification lines represent the approximate boundary between soil types and the transition may be gradual.											





**JOINT PLAN COMMISSION SUMMARY SHEET**

**MEETING DATE:** 04/08/2019

**ITEM:** OLD BUSINESS

**TITLE:** Discussion of HyVee Specific Implementation Plan and Request for Conditional Use Permit

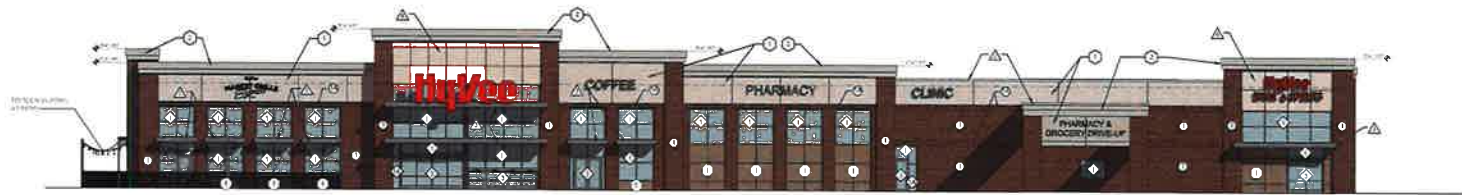
**ISSUE SUMMARY:** The conditional use permit was noticed as a public hearing. The Village Board deferred action on the Woodland Crest General Development Plan on April 1st, therefore the public hearing for the Plan Commission will be deferred until the May Plan Commission meeting. This is on for discussion only.

**STAFF RECOMMENDATION:** None

**RECOMMENDED MOTION:** None, but the Plan Commission should provide feedback on the proposed plan.

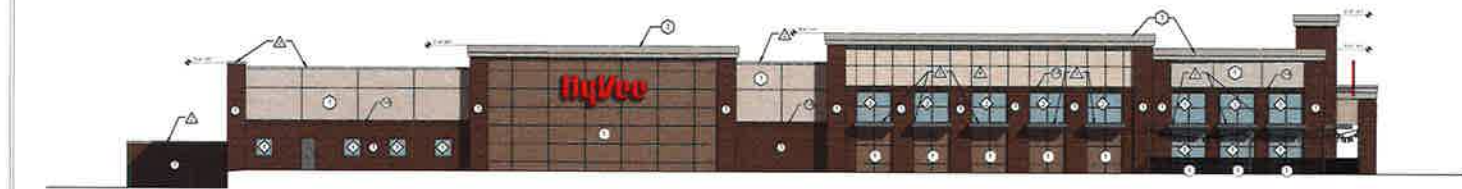
**ATTACHMENT(S):** HyVee submittal

**FOR MORE INFORMATION CONTACT:** [kevin@waunakee.com](mailto:kevin@waunakee.com) or (608) 849-6276



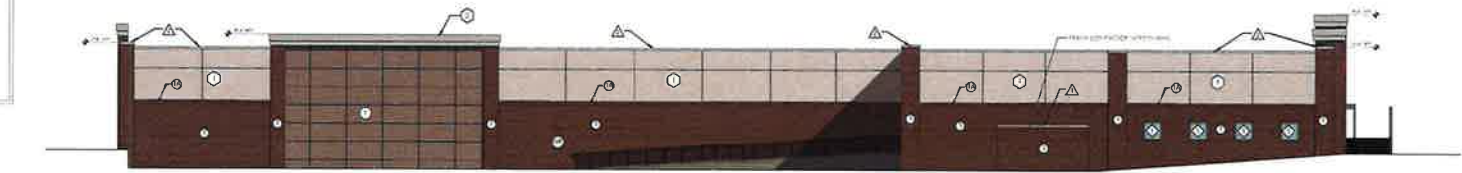
1 WEST ELEVATION

SCALE: 3/32" = 1'-0"



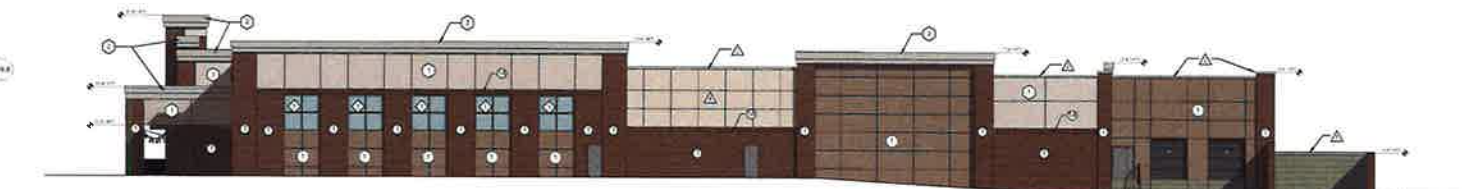
2 NORTH ELEVATION

SCALE: 3/32" = 1'-0"



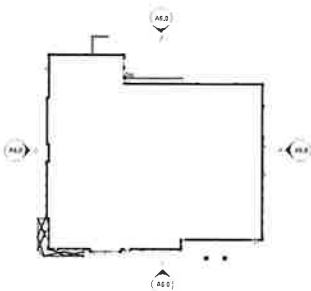
3 EAST ELEVATION

SCALE: 3/32" = 1'-0"



4 SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



KEY PLAN

SCALE: N.T.S.

REVISION	DATE

DESIGNED BY  
**Waunakee, Wisconsin**

**HyVee**  
A Division of InVivo Specific

HYVEE, INC.  
10000 WISCONSIN DRIVE  
WEST DES MOINES, IOWA 50396  
(515) 281-2000  
FAX: (515) 281-2035



EXTERIOR ELEVATIONS

TITLE	DATE
As indicated	MAY 2016

A6.0



### EXTERIOR MATERIALS LEGEND

MASONRY UNITS:

- 1) KINGSBURY BRICK & LUMBER CO.  
KINGSBURY BRICK & LUMBER CO.  
KINGSBURY BRICK & LUMBER CO.
- 2) KINGSBURY BRICK & LUMBER CO.  
KINGSBURY BRICK & LUMBER CO.  
KINGSBURY BRICK & LUMBER CO.
- 3) KINGSBURY BRICK & LUMBER CO.  
KINGSBURY BRICK & LUMBER CO.  
KINGSBURY BRICK & LUMBER CO.
- 4) KINGSBURY BRICK & LUMBER CO.  
KINGSBURY BRICK & LUMBER CO.  
KINGSBURY BRICK & LUMBER CO.
- 5) KINGSBURY BRICK & LUMBER CO.  
KINGSBURY BRICK & LUMBER CO.  
KINGSBURY BRICK & LUMBER CO.

E.I.F.S. COLORS:

- 1)  $1 \text{ CHARGE} = 1.0 \times 0.00042 \times 1$   
 $\text{PARALLEL} = 95.11^\circ$
- 2)  $1 \text{ SPHERICALITY} = 1.0 \times 0.00042 \times 1$   
 $\text{PARALLEL} = 95.11^\circ$
- 3) MATCH PREVIOUS UNLAD CHARGED COLOR  
(1) MATCH PREVIOUS UNLAD TO SPHERICAL COLOR  
(1) F.S. OR ALIQUOT DENSITY, SPARE EQUATIONS OF MATCHING POINT, AND  
UNLAD ON PARALLEL

GLASS & GLAZING:

- 1. VISION GLASS: 1" CLEAR ANTIREFLECT INSULATED GLAZING, LOW E 42 SURFACE
- 2A. VISION GLASS: 1" CLEAR TEMPERED INSULATED GLAZING, LOW E 42 SURFACE
- 3. SPACED GLASS: 1" CLEAR ANTIREFLECT INSULATED GLAZING, SPACED UNIT 42 SURFACE, MOPHY COFFIN, N. ARCHITECT
- 2B. SPACED GLASS: 1" CLEAR TEMPERED INSULATED GLAZING, SPACED UNIT 42 SURFACE, MOPHY COFFIN, N. ARCHITECT
- 4. VISION GLASS: 1/2" CLEAR TEMPERED INSULATED GLAZING, LOW E 42 SURFACE

**METAL PANELS & TRIM:**

1. NOT USED
2. PREFORMED METAL CAP IN MATCH DRILL STEP  
GEORGE: PRESTONE THANGALAI SIDDHA TARI SR
3. ONCE DRILL DRILLING IS FINISHED THE METAL TO MATCH DRILL STEP  
LEAKS PRESTONE THANGALAI SIDDHA TARI SR  
PRESTONE THANGALAI SIDDHA TARI SR
4. IN CASE A PREFORMED METAL CAP IS NOT AVAILABLE  
A PREFORMED METAL CAP IS NOT AVAILABLE
5. PREFORMED METAL CAP  
GEORGE: PRESTONE THANGALAI SIDDHA TARI SR

## CANOPY/CLADDING

- ⚠️ **HAZARDOUS WASTE DISPOSAL:** Do not touch or drink from the container. Transport in original container.
- ⚠️ **HAZARDOUS MATERIALS:** Do not touch or drink from the container. Transport in original container.
- ⚠️ **HAZARDOUS WASTE:** Do not touch or drink from the container. Transport in original container.
- ⚠️ **HAZARDOUS WASTE:** Do not touch or drink from the container. Transport in original container.

GENERAL NOTES:

- $\text{SINUSOIDAL} = \sin(2\pi \cdot \text{FREQ} \cdot \text{TIME})$
  - $\text{FREQ} = 100$
  - $\text{TIME} = 100$
  - $\text{SINUSOID} \cdot \text{COS}(\text{ANGLE}) = 0.47$
  - $\text{ANGLE} = \text{ASIN}(\text{SINUSOID} \cdot \text{COS}(\text{ANGLE})) = 0.47$
  - $\text{COS}(\text{ANGLE}) = \text{COS}(0.47) = 0.89$
  - $\text{SINUSOID} = \text{SIN}(\text{ANGLE}) = 0.47$
- ANALOGUE COMPUTATION USING LOGIC
- $\text{FREQ} = 100$  AND  $\text{TIME} = 100$  ARE SUPPLIED TO THE LOGIC DEVICE
  - $\text{SINUSOID} = \sin(2\pi \cdot \text{FREQ} \cdot \text{TIME})$
  - $\text{ANGLE} = \text{ASIN}(\text{SINUSOID} \cdot \text{COS}(\text{ANGLE}))$
  - $\text{COS}(\text{ANGLE}) = \text{COS}(0.47) = 0.89$  AND  $\text{SINUSOID} = \text{SIN}(\text{ANGLE}) = 0.47$
- NOTE: THE LOGIC DEVICE PROVIDES THE LOGIC FUNCTION

1 NORTH ELEVATION

SCALE: 3/16" = 1'-0"

2 SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

### 3 EAST ELEVATION

SCALE: 3/16" = 1'-0"

4 WEST ELEVATION

SCALE: 3/16" = 1'-0"

[illegible]

1000

**Waukegan, Wisconsin**

**Hydrex®**  
EMPLOYEE OWNED

HYDREX INC.  
300 WEST MAIN PARKWAY  
WEST DES MOINES, IOWA 50266  
TELEPHONE (515) 267-2900  
FAX (515) 267-2935

EXTERIOR  
ELEVATIONS

A6.0







# SITE CONSTRUCTION DOCUMENT PACKAGE

## HY-VEE WAUNAKEE #1

### WOODLAND CREST

## PLANS ISSUED

REV	DATE	DESCRIPTION
1	05/14/2018	SIP SUBMITTAL
2	06/20/2018	SIP RESUBMITTAL
3	06/29/2018	SIP RESUBMITTAL
4	02/15/2019	SIP RESUBMITTAL

### OWNER/DEVELOPER

JOHN BREHM  
HY-VEE, INC.  
5820 WESTOWN PARKWAY  
WEST DES MOINES, IOWA  
515-453-2795

### CIVIL ENGINEER

BILL DUNLOP, PE  
JSD PROFESSIONAL SERVICES, INC.  
161 HORIZON DRIVE, SUITE 101  
VERONA, WI 53593  
608-848-5060

COREY HUHTA, PE  
JSD PROFESSIONAL SERVICES, INC.  
161 HORIZON DRIVE, SUITE 101  
VERONA, WI 53593  
608-848-5060

### GEOTECHNICAL ENGINEER

TED A CERA, PE  
MIDWEST ENGINEERING SERVICE, INC.  
821 CORPORATE COURT, SUITE 102  
WAUKESHA, WI 53189-5010  
262-521-2125

### LANDSCAPE ARCHITECT

MIKE SCHMELTZER, PLA  
JSD PROFESSIONAL SERVICES, INC.  
161 HORIZON DRIVE, SUITE 101  
VERONA, WI 53593  
608-848-5060

### SITE SURVEY

TODD BUHR, PLS  
JSD PROFESSIONAL SERVICES, INC.  
161 HORIZON DRIVE, SUITE 101  
VERONA, WI 53593

### REGULATORY AGENCIES

VILLAGE ADMINISTRATOR  
TODD SCHMIDT  
608-850-5227

TOWN ADMINISTRATOR  
TOM WILSON  
608-849-4372

VILLAGE ENGINEER/PUBLIC WORKS  
KEVIN EVEN  
608-849-6276

WAUNAKEE UTILITIES  
TIM HERLITZKA  
608-849-8111

FIRE CHIEF  
DAVE KOPP  
608-848-5488

POLICE CHIEF  
KEVIN PLENDL  
608-849-4523

### UTILITY CONTACTS

STATE ONE CALL  
800-242-8111

GAS/ELECTRIC  
MADISON GAS AND ELECTRIC CO  
STEVE BEVERSDORF  
608-252-1552

TELEPHONE  
TDS TELECOM  
JERRY MYERS  
608-664-4889

CABLE TV  
CHARTER COMMUNICATIONS  
KIRK UPPERMAN  
608-274-3822

### SHEET INDEX

- C0.0 COVER SHEET
- C1.0 EXISTING CONDITIONS
- C2.0 SITE PLAN
- C3.0 EROSION CONTROL PLAN
- C3.1 GRADING PLAN
- C4.0 UTILITY PLAN
- C5.0 LANDSCAPE PLAN
- C5.1 LANDSCAPE DETAILS AND NOTES
- C6.0 CONSTRUCTION DETAILS
- C6.1 CONSTRUCTION DETAILS
- C6.2 CONSTRUCTION DETAILS
- C6.3 CONSTRUCTION DETAILS
- C6.4 CONSTRUCTION DETAILS
- C6.5 CONSTRUCTION DETAILS
- C6.6 CONSTRUCTION DETAILS
- C7.0 STORMWATER MANAGEMENT FACILITY DETAIL
- C8.0 PHOTOMETRIC PLAN

### SHOP DRAWINGS REQUIRED PRIOR TO INSTALLATION

#### DIVISION 31 - EARTHWORK

(312323) FILL:  
PRODUCT DATA  
MATERIAL SOURCE

#### DIVISION 32 - EXTERIOR IMPROVEMENTS

(321216) ASPHALT PAVING:  
LIGHT DUTY MIX DESIGN  
HEAVY DUTY MIX DESIGN

(321313) CONCRETE PAVING:  
LIGHT DUTY MIX DESIGN  
HEAVY DUTY MIX DESIGN  
PAVING PHASING PLAN LAYOUT  
PAVING JOINT PLAN LAYOUT  
CURE COMPOUND PRODUCT DATA

(321316) DECORATIVE CONCRETE PAVING:  
CONCRETE STAIN PRODUCT DATA

(321373) CONCRETE PAVING JOINT SEALANTS:  
TAR JOINT SEALANT PRODUCT DATA

(321613) CURBS AND GUTTERS:  
CURB AND GUTTER DESIGN MIX

(321623) SIDEWALKS:  
SIDEWALK MIX DESIGN

(321723) PAVEMENT MARKINGS:  
PAVEMENT MARKING PRODUCT DATA

(323100) FENCES AND GATES:  
FENCE AND GATE PRODUCT DATA

(323200) RETAINING WALLS:  
RETAINING WALL PRODUCT DATA  
RETAINING WALL SHOPS

(323913) BOLLARDS:  
PRODUCT DATA

(328000) IRRIGATION:  
IRRIGATION CONTROLS PRODUCT DATA  
IRRIGATION LAYOUT

### SHOP DRAWINGS REQUIRED PRIOR TO INSTALLATION

(329000) PLANTINGS:  
PLANT SUBSTITUTION SCHEDULE  
MULCH PRODUCT DATA

(329113) SOIL PREPARATION:  
AMEND SOIL MIX

(329219) SEEDING:  
SEEDING PRODUCT DATA

(329223) SOD:  
SOD PRODUCT DATA

#### DIVISION 33 - UTILITIES

(331400) WATER MAIN APPURTENANCES:  
WATER MAIN AND APPURTENANCES

(333100) SANITARY SEWER:  
SANITARY SEWER AND  
MANHOLES

(333400) GREASE INTERCEPTOR:  
GREASE INTERCEPTOR SHOPS

(334100) STORM DRAIN PIPING:  
STORM SEWER MANHOLES  
TRENCH DRAINS  
DRAIN TILE

(334400) STORMWATER TREATMENT  
STRUCTURES:  
STORMWATER TREATMENT SHOPS

### SITE LOCATION MAP



PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 08 NORTH, RANGE 09 EAST, TOWN OF WESTPORT, DANE COUNTY, WISCONSIN.

[illegible]

BENCHMARKS		
MOCK DATA	ELEMENT	DESCRIPTION
Sm-1	947.1	TOP SURF OF STRATIGRAPHIC UNIT OF QUARTZITE OF THE WATKINS AND TOP OF #1 (30' OF CH 0)
Sm-2	531.44	TOP SURF OF STRATIGRAPHIC UNIT OF SIDE OF WATKINS AND #4, 30' WATKINS DISTANCE
Sm-3	951.05	SHOULDER OF IN NORTH SIDE OF CLASHED ON PLACER, VALLEY FURNACE THE 1/2-1/2 OF THE

**Hy-Vee**  
EMPLOYEE OWNED

HY-VEE, INC.  
3820 WESTOWN PARKWAY  
WEST DES MOINES, IOWA 50356  
P 515-281-2300  
F 515-267-2935

LOCATION  
HY-VEE WAUNAKEE #1  
WOODLAND CREST

REVISIONS		DATE
		DRAWN BY
1	SP RESUBMITAL	08-14-2018 CJ/ALB/MSK
2	SP RESUBMITAL	08-20-2018 CJ/ALB/MSK
3	SP RESUBMITAL	08-29-2018 CJ/ALB/MSK
4	SP RESUBMITAL	02-15-2019 CJ/ALB/MSK

### EXISTING CONDITIONS

DRAWN BY CJY/MSW	DATE 8/1/89
SCALE	
SHEET	

C1.0

**NOT FOR CONSTRUCTION**





LEADS	
PROPERTY NAME	
ADDRESS - MAP	
EXTENSION LINE	
SEWER/STORM FACILITY	
EXISTING SUTTER	
PLAN DESIGN	
COST OF PROJECT	
STANDARD SUTTER AND SUTTER	
SUBJECT SUTTER AND SUTTER	
CONCRETE PAVEMENT	
MARK WITH CONCRETE PAVEMENT	
LIGHT VIAL DESIGN TO PROTECT	
PARENT DOLLAR	
ADA PARENT DOLLAR/STATION	

BAY APPOINTMENT 12/20/04	
BAY APPOINTMENT 12/20/04	
Unit Size Area	453.127 S.F. (2) x 40.000 S.F.
Use of property	Commercial
Number of parking stalls	
Large car - normal	20
Large car - Pumping Station	25
Motorcycle	14
Total	59
Net Building Square Footage	52,290 S.F.
1-Store Building Square Footage	4,460 S.F.
Net Building Square Footage	47,830 S.F.
Proposed improvement Square Area	203,200 S.F.
Proposed Project Square Area	155,369 S.F.
Improvement Square Area	0.43

## GENERAL NOTES

- [illegible]

## HAZARDOUS SUBSTANCE NOTES

1. SUBSTANCES ACCUMULATED BY FEDERAL LAY UNDER THE RESOURCE CONSERVATION AND RECOVERY ACT (RCRA) OR THE COMPREHENSIVE ENVIRONMENTAL RESPONSE, COMPENSATION AND LIABILITY ACT (CERCLA) WHICH ARE TRANSPORTED, STORED OR USED FOR MAINTENANCE, CLEANING OR REPAIRS SHALL BE MANAGED ACCORDING TO THE PROVISIONS OF RCRA AND CERCLA.
2. ALL PAINTS, SOLVENTS, PETROLEUM PRODUCTS AND PHOSPHORUS WASTE, PESTICIDES (BIOFIT FUELS) AND STORAGE CONTAINERS SUCH AS DRUMS, CANS OR CARTRIDGES SHALL BE STORED SUCH THAT THESE MATERIALS ARE NOT EXPOSED TO STEAM WATER. SUFFICIENT PRACTICES OF SPILL PREVENTION, CONTROL, AND/OR MANAGEMENT SHALL BE PROVIDED TO PREVENT ANY SPILLS OF THESE MATERIALS FROM ENTERING A WATER OF THE STATE. ANY CONTAMINANT SYSTEM USED TO MAINTAIN THIS CONTAINER SHALL BE MAINTAINED AND OPERATED TO PREVENT ACCUMULATING THE SUBSTANCES THIS CONTAINER SHALL ALSO PREVENT THE CONTAMINATION OF GROUNDWATER.

### SITE PLAN NOTES

- [illegible]

### SIGNAGE AND STRIPING SPECIFICATIONS:

- [illegible]

OWNER

HY-VUE, INC.  
5870 WESTBOROUGH PARKWAY  
WEST BORO, MASSACHUSETTS 01581

**APPLICANT**

HY-VEE, INC.  
5520 WESTOWN PARKWAY  
WLS / DES MOINES IOWA 50266  
(515) 267-2800

CONTACT: JEFF STEIN,  
JOHN BRITIV, RANDY DOWNS

CIVIL ENGINEER

2D PROFESSIONAL SERVICES INC  
141 HORTON DRIVE, SUITE 101  
VERONA, WI 53593  
(608) 849-5050

CONTACT: BILL DUNN, OF

---

**JSD Professional Services, Inc.**  
• Engineers • Architects • Planners  
MADISON REGIONAL OFFICE  
4115 W. PRAIRIE AVENUE  
SUITE 200  
MADISON, WISCONSIN 53713-1500  
TEL: 608/278-1100 FAX: 608/278-1101  
WWW.JSDP.COM

**HyVee.**  
EMPLOYEE OWNED

HY-VEE, INC.  
5820 WESTOWN PARKWAY  
WEST DES MOINES, IOWA 50266  
P 515-267-2800  
F 515-267-2805

LOCATION  
HY-VEE WAUNAKEE #1  
WOODLAND CREST

REVISIONS	DATE	DRAWN BY
1	01-10-2006	22-02-2006
2	01-10-2006	22-02-2006
3	01-10-2006	22-02-2006
4	01-10-2006	22-02-2006

## SITE PLAN

DRAWN BY S.W.V.S.	DATE 02/12/2019
SCALE	
SHEET	

C2.0

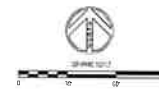
NOT FOR CONSTRUCTION

## DIGGERS HOTLINE

Toll Free (800) 242-8511







## DIGGERS HOTLINE

HY-VEE INC.  
5820 WESTOWN PARKWAY  
WEST DES MOINES IOWA 50266  
P 515-267-2800  
F 515-267-2935

HY-VEE WAUNAKEE #1  
WOODLAND CREST

REVISIONS		DATE
		DRAWN BY
	1P Submittal	08-10-2008 C. HARTLEY/ASH
	2P REVISIONS	08-20-2008 C. HARTLEY/ASH
	3P REVISIONS	08-28-2008 C. HARTLEY/ASH
	4P REVISIONS	09-15-2008 C. HARTLEY/ASH

**DETAILED  
GRADING PLAN**

DESIGN BY CAYLOR	DATE 02/15/2018
SCALE	
SHEET	

### C3.1

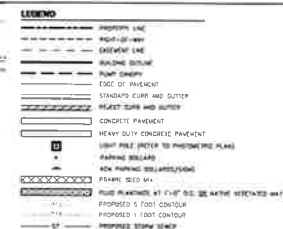




**NOT FOR CONSTRUCTION**

C4.0





1. PROVIDE 15 LANDSCAPE POINTS PER PARKING STALL.

1. PROVIDE 15 LANDSCAPE POINTS PER PARKING STALL.

PARKING STALLS	405
POINTS REQUIRED	8 075

POINTS PROVIDED 8781

I PROVIDE 1 CANOPY TREE FOR EACH 10 PARKING STALLS

TREES REQUIRED	34
TREES PROVIDED	58

[illegible]

LOCATION  
HY-VEE WAUNAKEE #1  
WOODLAND CREST

REVISIONS		DATE
1	OF SUBMITTAL	05-14-2018 C/L/MS/K/MT
2	OF PCS/SUBMITAL	08-09-2018 C/L/MS/K/MT
3	OF PCS/SUBMITAL	08-16-2018 C/L/MS/K/MT
4	OF PCS/SUBMITAL	08-15-2018 C/L/MS/K/MT

LANDSCAPE PLAN

Drawn by S. J. J. J.	Date 12/12/1998
-------------------------	--------------------

QUEST

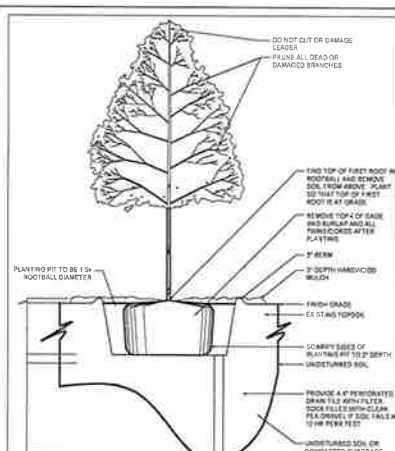
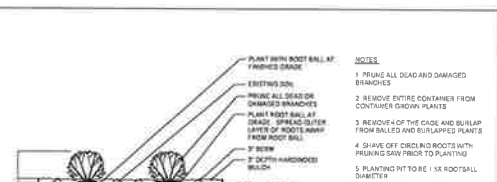
C5.0

**JSD** Professional Services, Inc.  
• Engineers • Surveyors • Planners  
MADISON REGIONAL OFFICE  
201 LYONS DRIVE SUITE 100  
MADISON, WI 53704  
608/271-1100 • FAX 608/271-1101  
MADISON • MILWAUKEE • MEWAUNA • OPAUC

**HyVee**  
EMPLOYEE OWNED  
HY-VEE, INC.  
5520 WESTOWN PARKWAY  
WEST DES MOINES, IOWA 50265  
P 515-267-2800  
F 515-267-2033

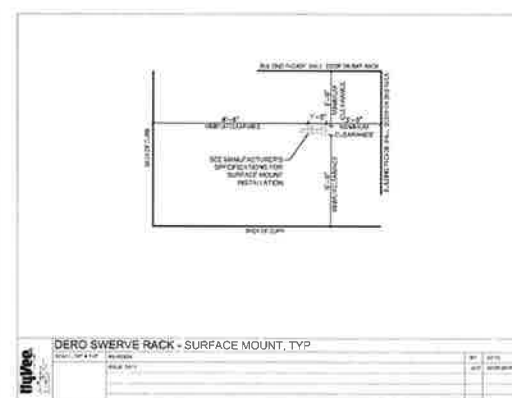
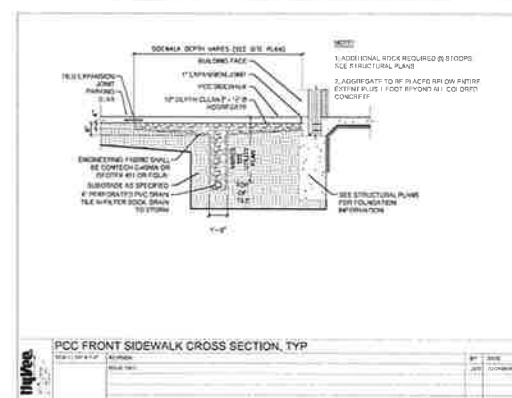
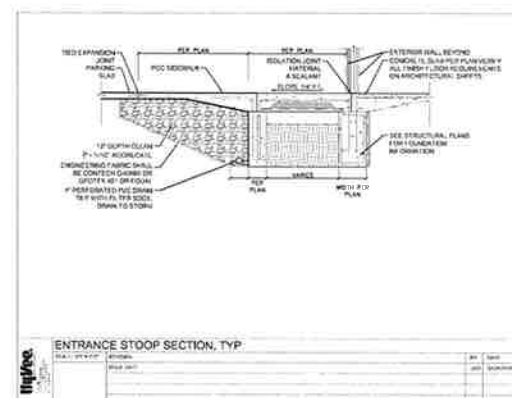
**DIGGERS HOTLINE**  
Toll Free (800) 243-8571

**NOT FOR CONSTRUCTION**

[illegible]

504





**HyVee**  
EMPLOYEE OWNED  
HY-VEE, INC.  
5820 WERTOWIN PARKWAY  
WEST DES MOINES, IOWA 50266  
P 515-267-2800  
F 515-267-0825

LOCATION  
HY-VEE WAUNAKEE #1  
WOODLAND CREST

REVISIONS		DATE
		DRAWN BY
1	SP SUBMITTAL	02-14-2018 CJ/vjs/ab
2	TP SUBMITTAL	08-09-2018 CJ/vjs/ab
3	CP SUBMITTAL	04-26-2018 CJ/vjs/ab
4	SP SUBMITTAL	02-15-2018 CJ/vjs/ab

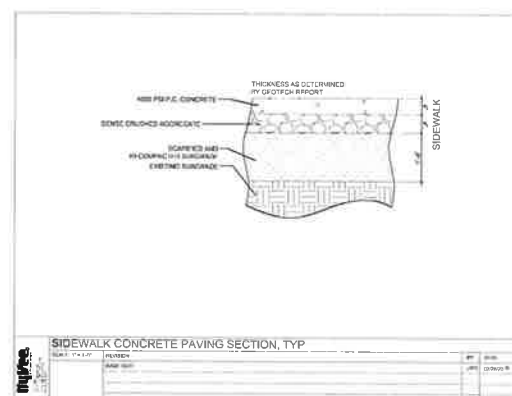
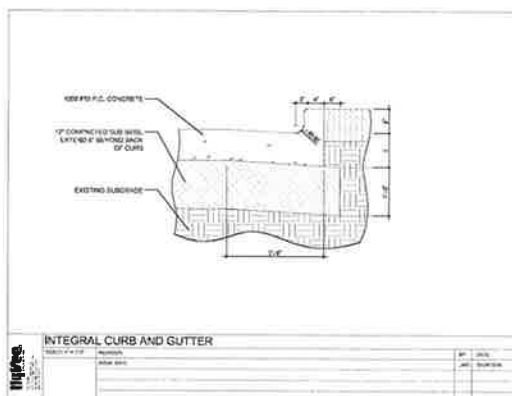
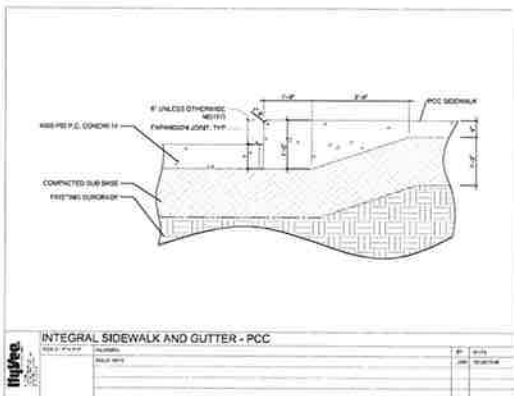
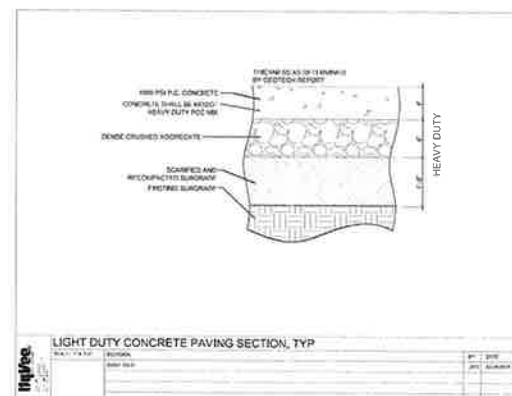
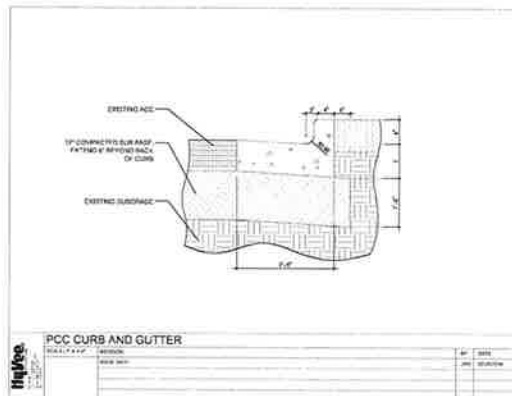
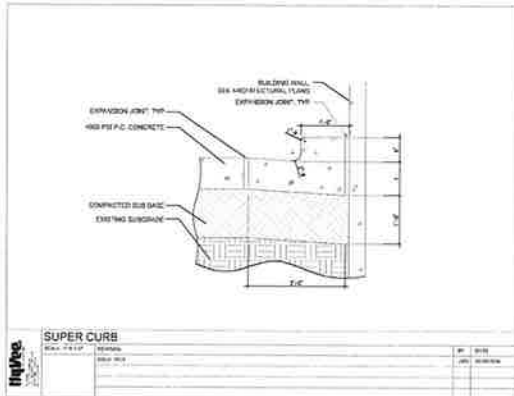
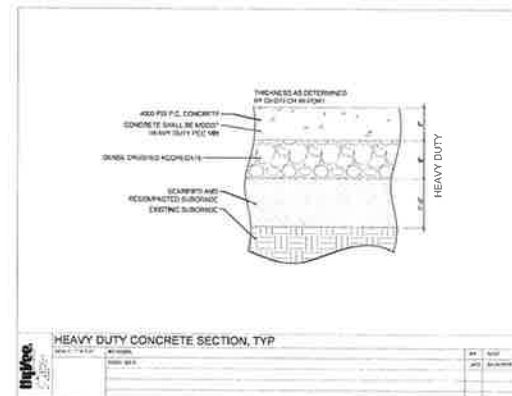
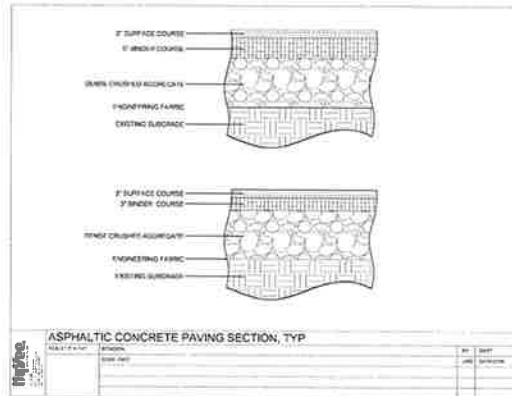
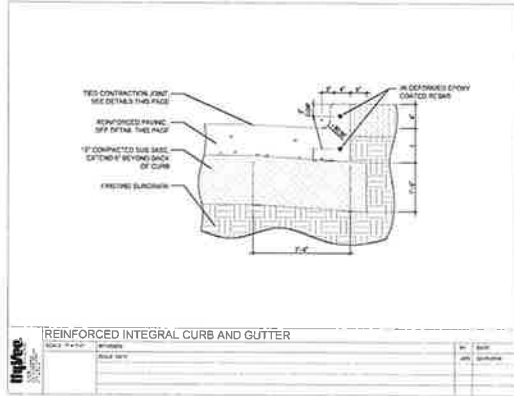
## DETAILS

Drawn By S.A.P./J.W.	DATE 10/15/2019
SCALE	
Sheet	

**DIGGERS HOTLINE**  
Toll Free (800) 343-8277

**NOT FOR CONSTRUCTION**

## C6.0



**JSD** Professional Services, Inc.  
 Engineers • Surveyors • Planners  
 11110 26th Ave. S.W.  
 Golden, CO 80601  
 303.440.1000 • FAX 303.440.1001  
 14000 E. Harvard Ave. • Suite 100  
 Denver, CO 80231 • 303.751.1000

**Hy-Vee**  
 EMPLOYEE OWNED  
 HY-VEE, INC.  
 340 WEST 20th AVE  
 WEST DES MOINES, IOWA 50309  
 515.281.2000  
 F 515.287.2000

**HY-VEE WAUNAKEE #1**  
**WOODLAND CREST**

REVISIONS	DATE	DRAWN BY
1	07/20/2016	CHADWICK
2	07/20/2016	CHADWICK
3	07/20/2016	CHADWICK
4	07/20/2016	CHADWICK

**DETAILS**

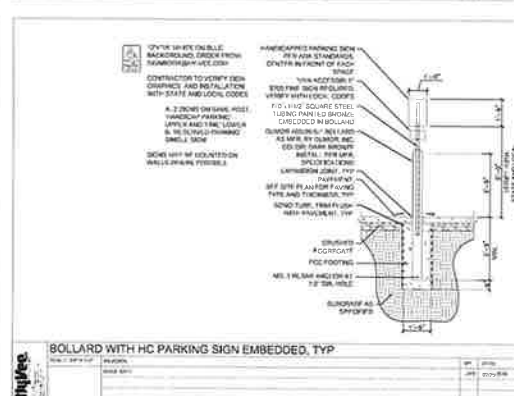
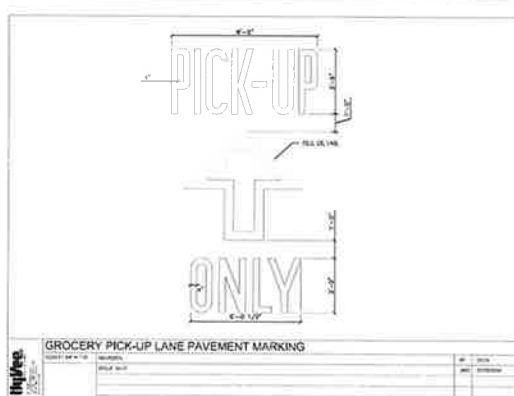
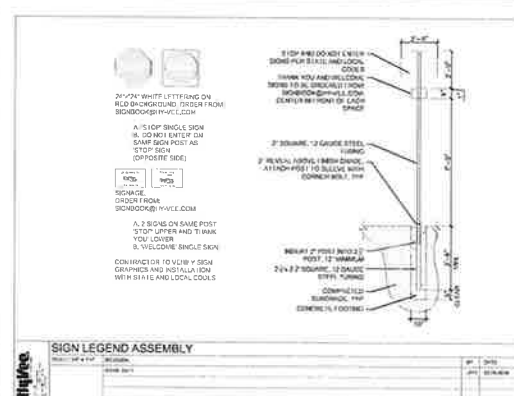
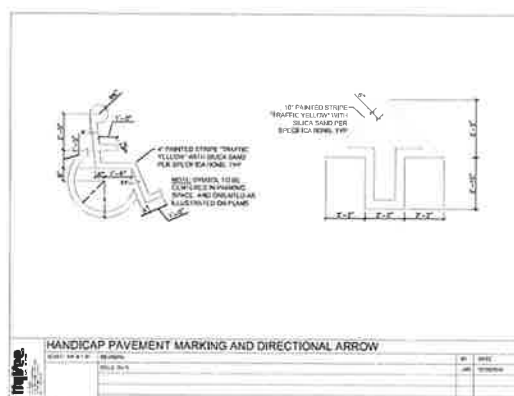
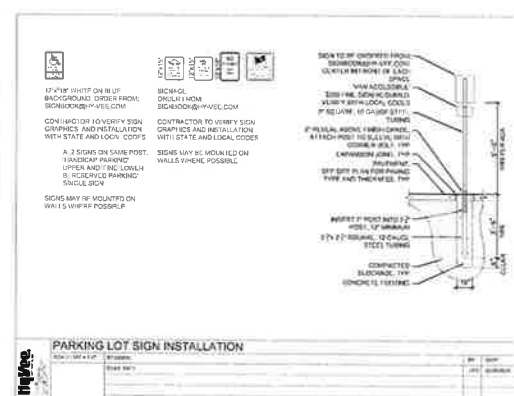
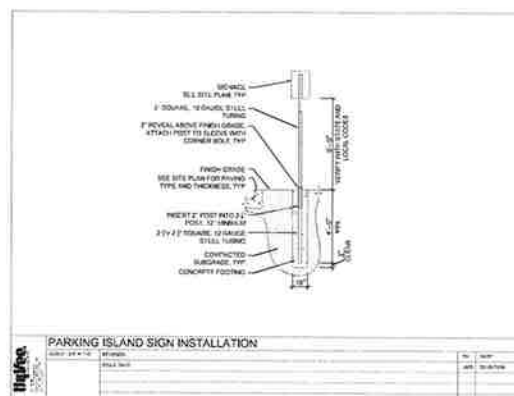
DRAWN BY	DATE
CHADWICK	07/20/2016
SHEET	

**DIGGERS & MOTLINE**  
 Toll Free (800) 342-6338

**NOT FOR CONSTRUCTION**

**C6.1**





LOCATION  
PHY-VEE WAUNAKEE #1  
WOODLAND CREST

REVISIONS		DATE
		DRAWN BY
1	SIP SUBMITTAL	09-14-2018 CLY/WEB/JAN
2	SIP RESUBMITTAL	09-20-2018 CLY/WEB/JAN
3	SIP RESUBMITTAL	09-28-2018 CLY/WEB/JAN
4	SIP RESUBMITTAL	09-13-2019 CLY/WEB/JAN

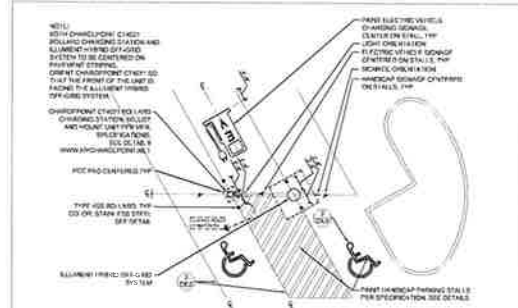
## DETAILS

DESIGNED BY D. J. WILSON	DATE 12/15/2018
SCALE	
SHEET NO.	

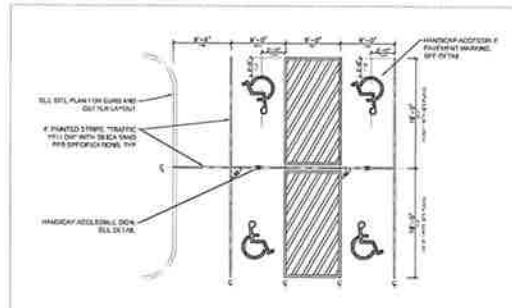
**DIGGERS HOTLINE**  
Toll Free (800) 243-8078

**NOT FOR CONSTRUCTION**

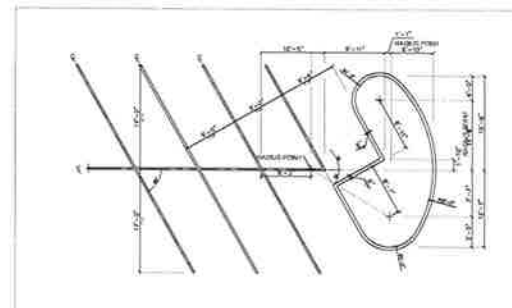
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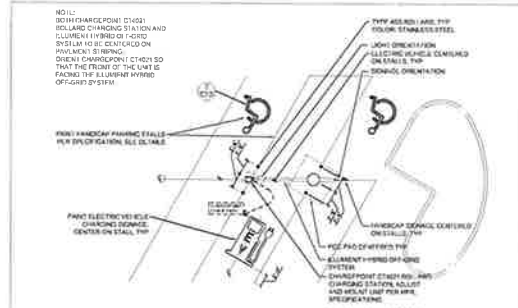
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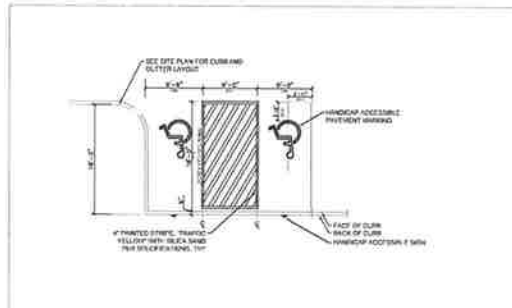
**HANDICAP PARKING AND PERPENDICULAR PAVEMENT STRIPING**



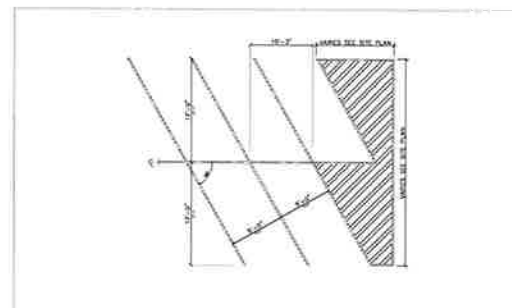
**DIAGONAL PARKING AND PCC ISLAND DETAIL**



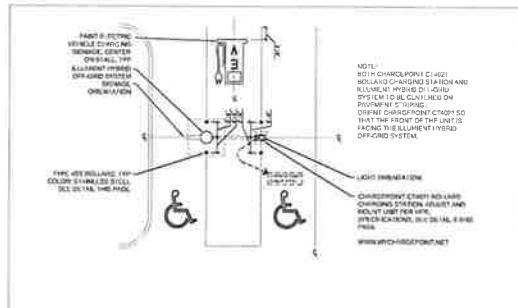
**CHARGEPOINT CHARGING STATION AND ILLUMINANT SYSTEM - 60 DEGREE**



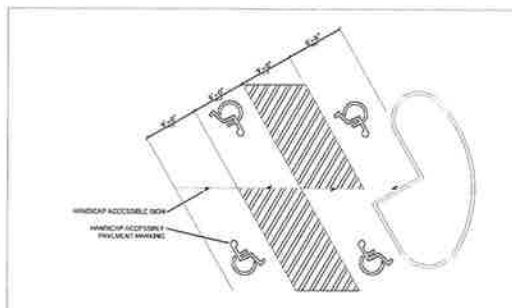
**HANDICAP PARKING AND PERPENDICULAR PAVEMENT STRIPING**



**DIAGONAL PARKING AND STRIPED ISLAND DETAIL**



**CHARGEPOINT CHARGING STATION AND ILLUMINANT SYSTEM - 90 DEGREE**



**HANDICAP PARKING STALL LAYOUT**

**JSD** Professional Services, Inc.  
Engineers • Surveyors • Planners  
10000 13th Avenue S.W.  
Burien, OR 97149  
Phone: (503) 464-1111  
Fax: (503) 464-1112  
www.jsdps.com

**Hy-Vee**  
EMPLOYEE SERVICES  
HY-VEE, INC.  
3620 WEST 11TH AVENUE  
WEST DES MOINES, IOWA 50319  
P 515-281-2000  
F 515-281-2001  
www.hy-vee.com

**HY-VEE WAUNAKEE #1**  
**WOODLAND CREST**

REVISIONS	DATE	DRAWN BY
1	01-15-2016	01-15-2016
2	01-15-2016	01-15-2016
3	01-15-2016	01-15-2016
4	01-15-2016	01-15-2016

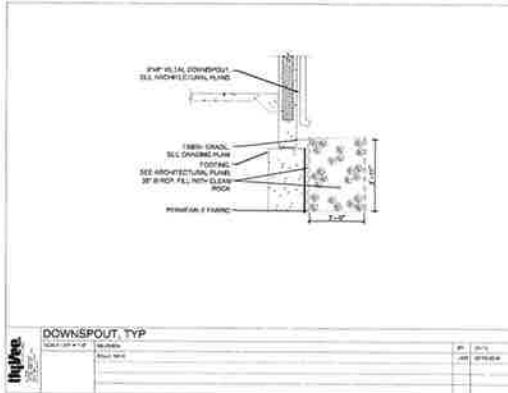
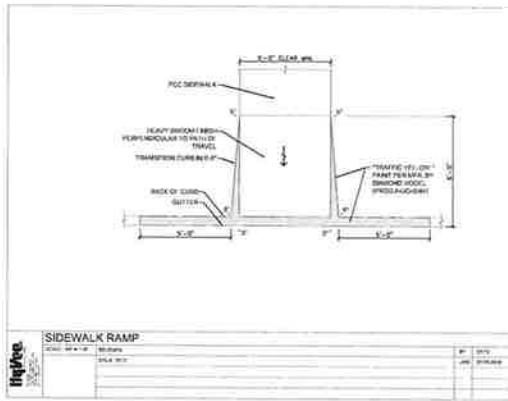
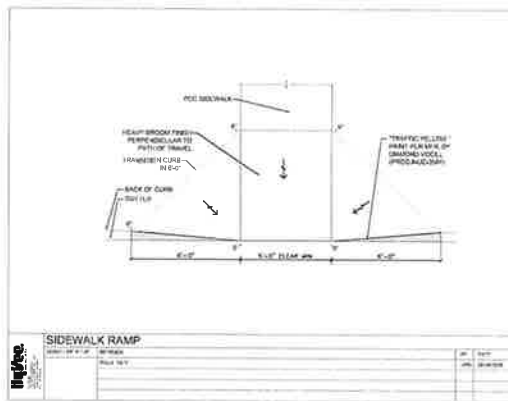
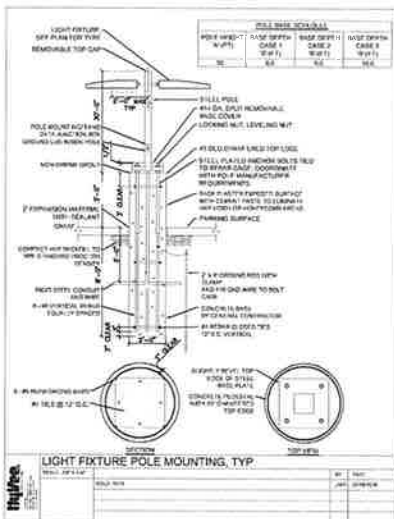
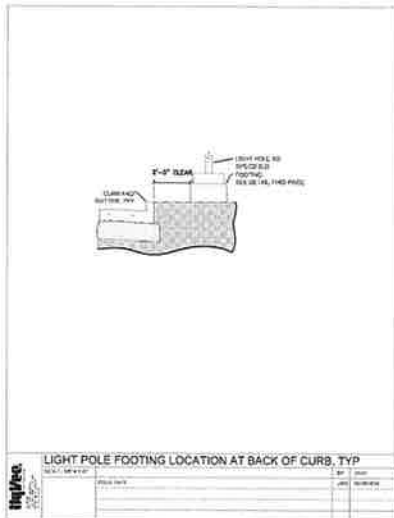
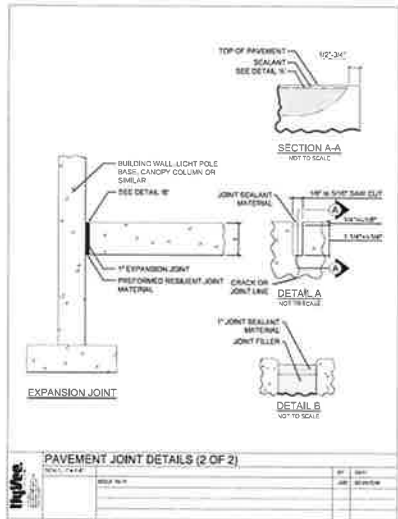
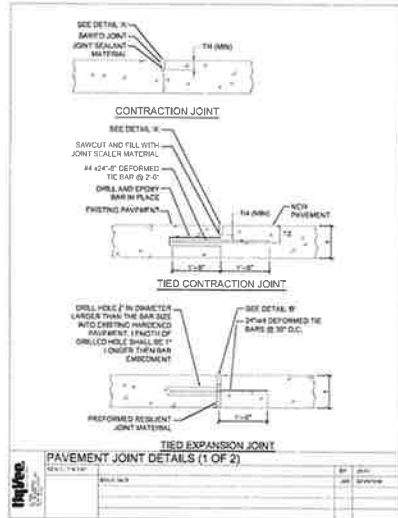
DETAILS	DATE	REVISION
1	01-15-2016	01-15-2016
2	01-15-2016	01-15-2016
3	01-15-2016	01-15-2016
4	01-15-2016	01-15-2016

**DIGGERS** **HOTLINE**  
Toll Free (800) 242-8531

NOT FOR CONSTRUCTION

**C6.3**





**JSD** Professional Services, Inc.  
Engineers • Surveyors • Planners  
1111 LEXINGTON AVENUE, SUITE 1100  
NEW YORK, NY 10017  
HY-VEE DESIGN CENTER, 10000 HY-VEE DRIVE  
MADISON, WISCONSIN 53719 | PHONE: 608.271.1111

**Hy-Vee**  
EMPLOYEE OWNED  
HY-VEE, INC.  
300 WEST TOWN PARKWAY  
WEST DES MOINES, IOWA 50308  
P 515.281.2800  
F 515.281.2802

HY-VEE WAUNAKEE #1  
WOODLAND CREST

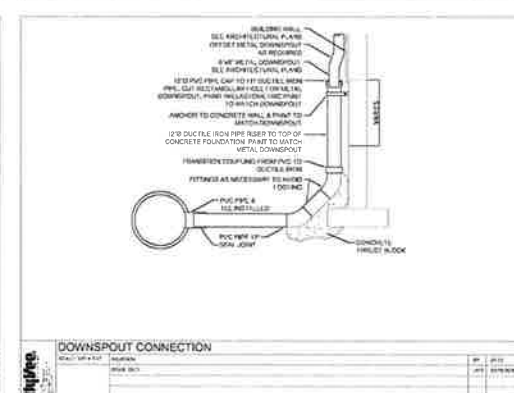
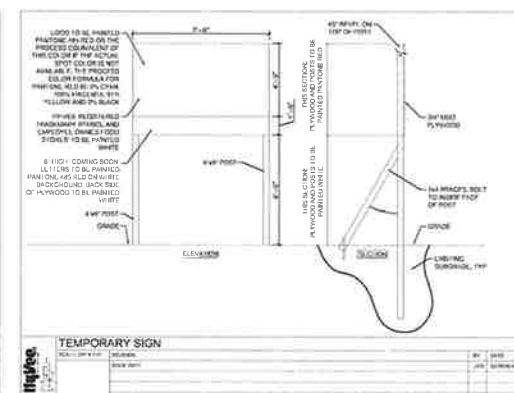
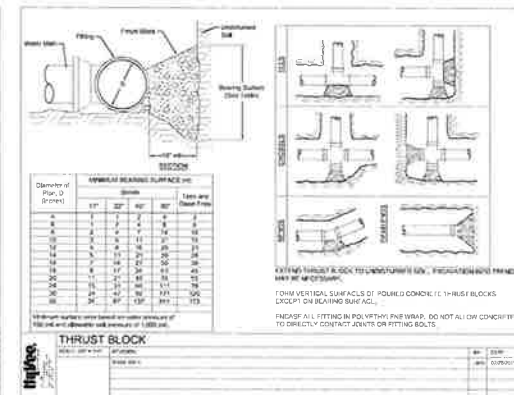
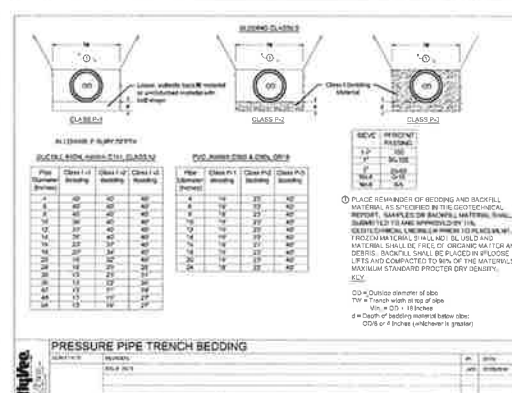
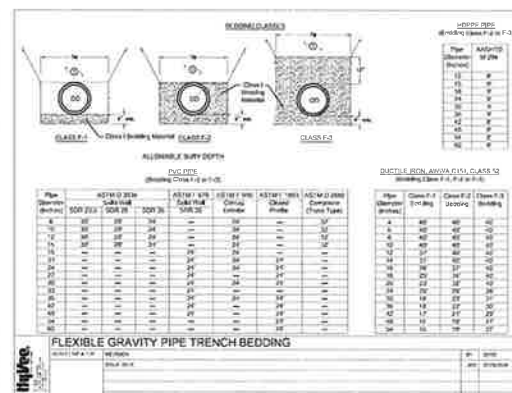
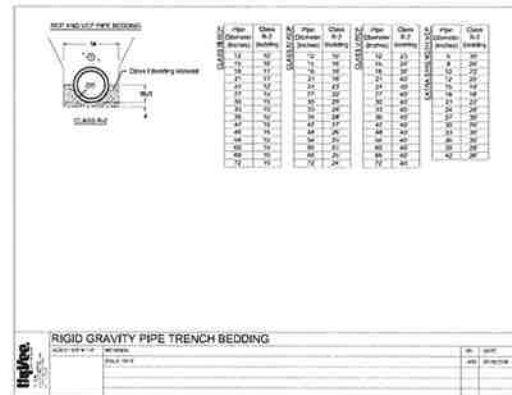
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2. BY: [initials]	04/11/2017
3. BY: [initials]	04/11/2017
4. BY: [initials]	04/11/2017

DETAILS
1. BY: [initials]
2. BY: [initials]
3. BY: [initials]
4. BY: [initials]

**DIGGERS** **ON** **THE** **LINE**  
Toll Free (800) 242-8021

NOT FOR CONSTRUCTION

C6.4



HY-VEE WAUNAKEE #1  
WOODLAND CREST

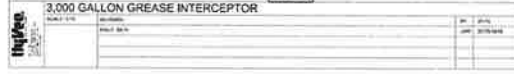
REVISIONS		DATE
		DRAWN BY
1	FOR SUBMITTAL	02-14-2018 C.L.H./M.S.H.
2	FOR PCS/SH/MT/AS	08-20-2018 C.L.H./M.S.H.
3	FOR PCS/SH/MT/AS	08-28-2018 C.L.H./M.S.H.
4	FOR PCS/SH/MT/AS	09-10-2018 C.L.H./M.S.H.

## DETAILS

ORDER BY COLUMBIA	DATE 07/07/08
SCALE	
SHEET	

## C6.5

**NOT FOR CONSTRUCTION**



**HyVee.**  
EMPLOYEE OWNED  
HY-VEE, INC.  
5820 WESTERN PARKWAY  
WEST DES MOINES, IOWA 50255

HY-VEE WAUNAKEE #1  
WOODLAND CREST

REVISED	DATE	REVISION BY
1	20-1-2018	C. J. M. M. M.
2	20-1-2018	C. J. M. M. M.
3	20-1-2018	C. J. M. M. M.
4	20-1-2018	C. J. M. M. M.

## DETAILS

DRAWN BY C. A. WOLFE	DATE 22/12/2019
SCALE	
SHEET	

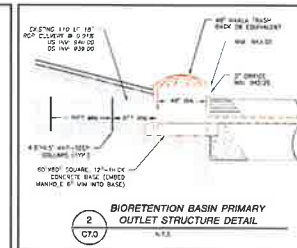
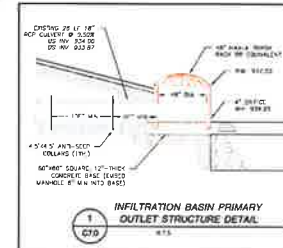
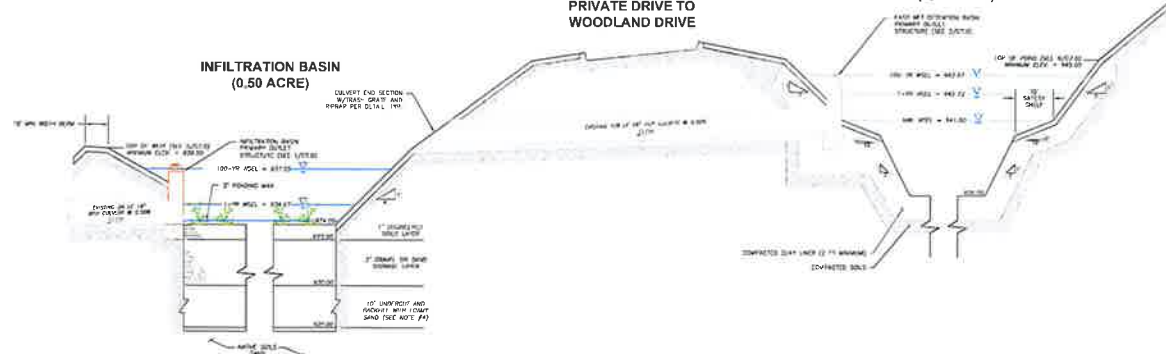
## C6.6

**DIGGERS HOTLINE**  
Toll Free (800) 242-8571

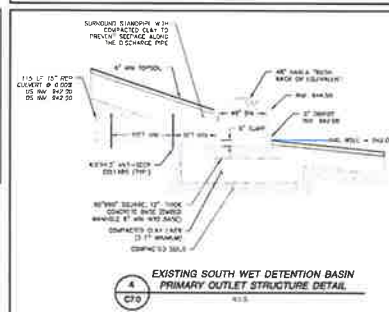
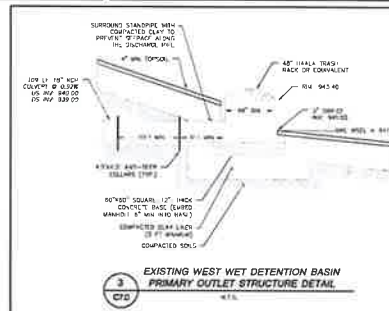
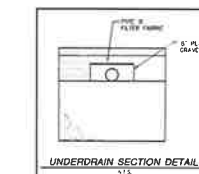
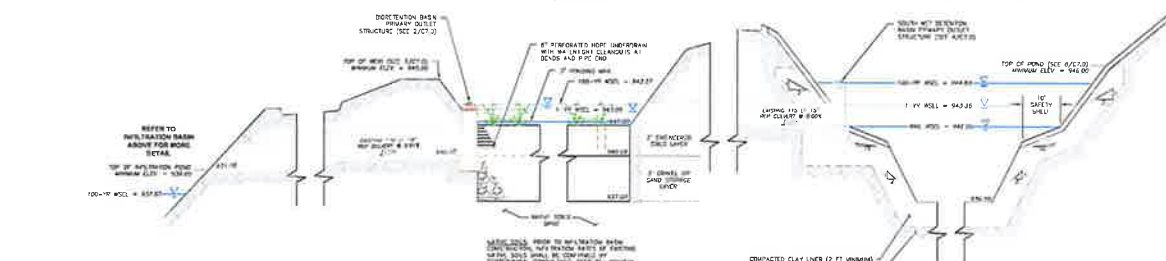
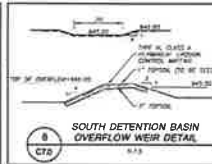
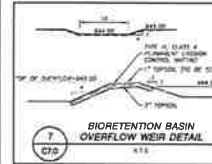
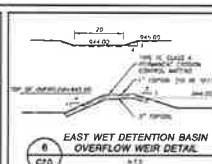
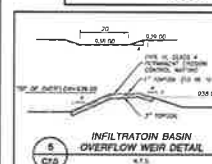
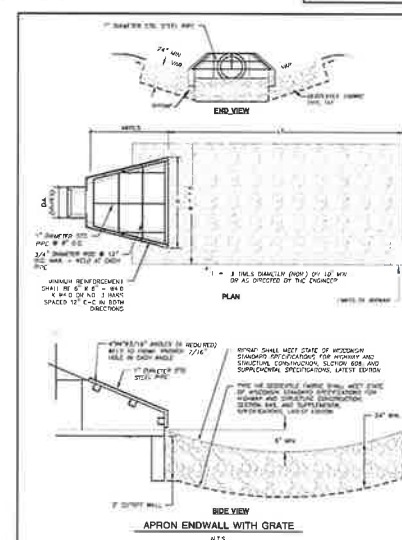
**NOT FOR CONSTRUCTION**



PRIVATE DRIVE TO  
WOODLAND DRIVE



**SOUTH WET DETENTION BASIN  
(0.26 ACRE)**

[illegible][illegible][illegible]

LOCATION  
HY-VEE WAUNAKEE #1  
WOODLAND CREST

REVISIONS	DATE	DESCRIPTION
1	01/10/2018	Initial Design
2	01/10/2018	Initial Design
3	01/10/2018	Initial Design
4	01/10/2018	Initial Design

## STORMWATER MANAGEMENT FACILITY DETAILS

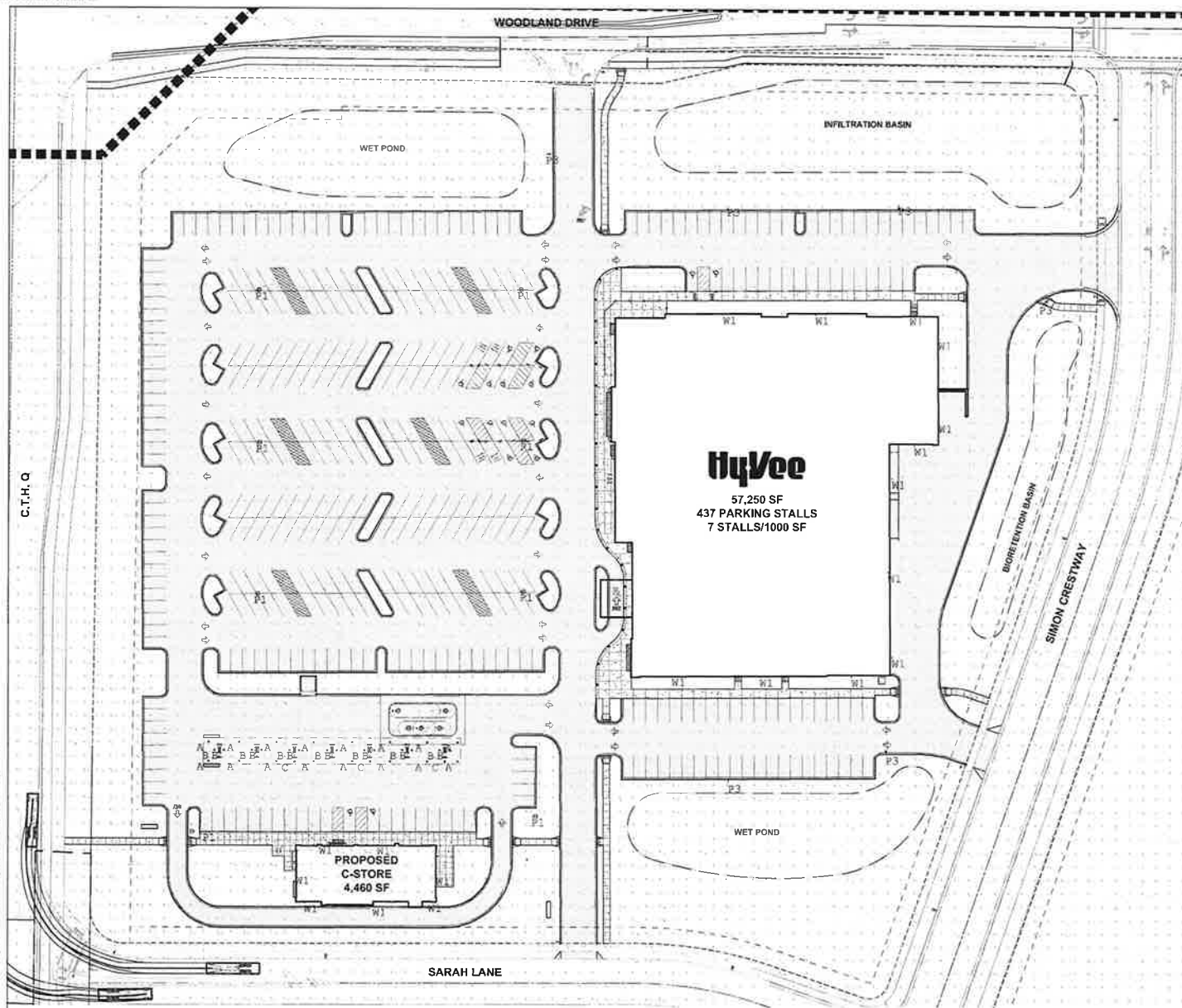
DRAWN BY J. L. V. / M. M.	DATE 10/10/97
SCALE	

2437

**DIGGERS HOTLINE**

**NOT FOR CONSTRUCTION**

C7.0



**LEGEND**

- PROTECTIVE LINE
- WIND-UP UNIT
- SECONDARY LINE
- BULKHEAD OUTLINE
- ARMED CABLE
- END OF PROTECTIVE
- STANDARD CABLE AND CABLE
- WIND-UP CABLE AND CABLE
- CONTROL CABLE
- MAIN BUS

**MAIN BUS**

WIND-UP CABLE

WIND-UP CABLE

SPT 800000000.0000	
Total = 278 SPT/0.000000	
Total Value	953,127.55
Cost of Property	300,000.00
Number of parking stalls	
Large stall	14
Small Parking Stall	14
Station	0.00
Rate	0.35
Pay-Per-Rolling Surface Fee/yr	\$7,250.00
2-Year Rolling Surface Fee/yr	\$,680.00
Rolling Surface Fee/yr	\$,750.00
Proposed Asph/Conc Surface Area	288,000.00
Proposed Annual Surface Cost	\$18,000.00
Required Surface Area	0.00

### GENERAL NOTES

- [illegible]

## HAZARDOUS SUBSTANCE NOTES

1. SUBSTANCES REGULATED BY FEDERAL LAW UNDER THE RESOURCE CONSERVATION AND RECOVER ACT (RCRA) OF THE COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY ACT (CERCLA) WHICH ARE TRANSPORTED, STORED OR USED FOR MAINTENANCE, CLEANING OR REPAIRS SHALL BE MANAGED ACCORDING TO THE PROVISIONS OF RCRA AND CERCLA.
2. ALL PAINTS, SOLVENTS, HYDROCARBON PRODUCTS AND PETROLEUM SHALL BE STORED IN EXCEPT FUELS AND STORAGE CONTAINERS SUCH AS DRUMS, CANS OR CARTONS, SHALL BE STORED SUCH THAT THESE MATERIALS ARE NOT EXPOSED TO GROUND WATER. SUCH PRACTICES OF SPILL PREVENTION, CONTROL, AND/OR MANAGEMENT SHALL BE USED TO PREVENT ANY SPILLS OF THESE POLLUTANTS FROM ENTERING A WATER OF THE STATE. ANY CONTAMINANT SYSTEM USED TO PREVENT OR REDUCE THE RISK OF SUCH SPILLS SHALL BE MAINTAINED AND MONITORED. THE SUBSTANCES CONTAINED AND MANAGED SHALL ALSO PREVENT THE CONTAMINATION OF GROUNDWATER.

### SITE LIGHTING NOTES

- [illegible]

### LIGHTING SCHEDULE

LaskRisiko-Berechnung						
Symbol	QW	Code	Alternativen	Preis-Länge-Lösung	SLP	Investig. Typ, Lsg.
	0	00	STRECK	W.R.	2.450	FFZ=971+100=1071 € = 40% FOLGE 2.° RASE
	0	01	STRECK	W.R.	7.450	FZ2=151+100=251 € = 50% FOLGE 0.° RASE
	00	00	STRECK	W.R.	1.000	ENK=300
	00	01	STRECK	W.R.	1.100	CRS=200+100=300 €
	00	02	STRECK	W.R.	1.700	CFO=170+100=270 € = 100% FOLGE 2.° RASE
	00	03	STRECK	W.R.	1.600	CRS=160+100=260 €

FRONT STORE LOT

Illuminance (Fc)  
 Average = 2.13  
 Maximum = 4.2  
 Minimum = 0.7  
 Avg/Min Ratio = 3.04  
 Max/Min Ratio = 6.00



## OWNER

HY-VEE, INC.  
5820 WESTOWN PARKWAY  
WEST DES MOINES, IOWA 50266  
APPLICANT

**APPLICANT**

HY-VEE, INC.  
5820 WESTOWN PARKWAY  
WEST DES MOINES, IOWA 50366  
(515) 267-2900

CONTACT: JEFF STEIN,  
JOHN GUTENY, SANDY F.

## CIVIL ENGINEER

JSD PROFESSIONAL SERVICES INC  
161 HORIZON DRIVE, SUITE 101  
VERONA, WI 53593  
800.844.4100  
CONTACT: BILL DUNN

CONTACT: 888.826.0000

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**AS** Professional Services, Inc.  
 • Engineers • Surveyors • Planners  
 1415 MONROE DRIVE, SUITE 100  
 MADISON, WISCONSIN 53703  
 (608) 261-1100

**HyVee**  
EMPLOYEE SERVICES

HY-VEE INC  
5120 WESTOWN PARKWAY  
WEST DES MOINES, IOWA 50265  
P 515-261-2900  
F 515-261-2900

HY-VEE WAUNAKEE #1

WOODLAND CREST

REVISIONS		DATE
1	for submittal	10/10/2010
2	for submittal	10/10/2010
3	for submittal	10/10/2010
4	for submittal	10/10/2010

PHOTOMETRIC  
PLAN

Drawn By JLW/MS/ML	DATE 12/13/2018
SCALE	
SHEET	

24-25

## DIGGERS HOTLINE

Toll Free (800) 242-8251

C8 0

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