



**VILLAGE OF WAUNAKEE / TOWN OF WESTPORT
JOINT PLAN COMMISSION**

**Town of Westport Community Room
5387 Mary Lake Road
May 14, 2019 6:00 PM**

Agendas may change prior to the commencement of the meeting.
Please check the posting board at the Village Hall, 500 W. Main Street,
Waunakee, Wisconsin for the current agenda.

AGENDA

CALL TO ORDER

**ROLL CALL: Ken Sipsma, Dean Grosskopf, Eileen Bruskewitz, Brad Zeman, Brian Malich,
Brian Wallace**

MINUTES

1 April 8, 2019

PUBLIC COMMENT

NEW BUSINESS

- 1 Initial Consultation, Lot Line Adjustment and Rezone (Continue Current Use),
Meffert/Pineview, CTH K, Town of Westport**
- 2 Public Hearing and Discussion/Action on HyVee Specific Implementation Plan (Site
Plan) and Conditional Use Permit to Exceed the Maximum Allowable Building
Square Footage in the Woodland Crest Development**
- 3 Update on Festival Foods Specific Implementation Plan**

ADJOURN

Any person who has a qualifying disability as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format should contact the municipal clerk at (608) 850-8500, 500 West Main Street, Waunakee, Wisconsin, at least twenty-four hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

**VILLAGE OF WAUNAKEE BOARD AND PLAN COMMISSION MEETING
TOWN OF WESTPORT BOARD AND PLAN COMMISSION MEETING**

Notice is hereby given that the Village or Town Board or Village or Town Plan Commission may attend this meeting. No action will be taken by the Village or Town Board or Village or Town Plan Commission at this meeting.

Next scheduled meeting is 6/11/2019 6:00:00 PM.

**VILLAGE OF WAUNAKEE/TOWN OF WESTPORT
JOINT PLAN COMMISSION MEETING
Town of Westport Community Room
5387 Mary Lake Road, Town of Westport
April 9, 2019 6:00 PM**

Meeting Minutes

CALL TO ORDER

The meeting was called to order at 6:00 p.m.

ROLL CALL:

Present: Ken Sipsma, Dean Grosskopf, Eileen Bruskewitz, Chris Thomas, Brian Malich,

Absent: Brad Zeman

Also Present: Tom Wilson, Kevin Even, Tracy Meinholz, Ed Freer, Brian Bauman, Michael Stengl, Kylee Breaker, Shane Fry, Dan O’Callighan, Aaron Aspenson, Grant Duchac, Mike Lawton, Jerry Tierney, Dan Seeley.

MINUTES

1 March 12, 2019

Motion Grosskopf, second Thomas, to approve the minutes from the March 12, 2019 Joint Plan Commission meeting as presented. Motion carried 5-0.

PUBLIC COMMENT: None

NEW BUSINESS

1 Initial Consultation, Lot Line Adjustment and Rezone (Continue Current Use), Meffert/Pineview, CTH K, Town of Westport

The applicant asked to be taken off the agenda.

2 Conceptual Review, Festival Foods, to be Located in the Kilkenny Farms West Commercial Center at the Southwest Corner of Woodland Drive and County Highway Q

Representatives from Festival Foods made a presentation showing updates as a result of working with Village Staff. No action taken.

3 Public Hearing and Discussion/Action on a Request from Kilkenny Farms West, LLC to Approve a General Development Plan (GDP) for Kilkenny Farms West Commercial Center at the Southwest Corner of Woodland Drive and County Highway Q

After a brief introduction by staff, the public hearing was opened at 6:36 p.m. Dan O’Callighan spoke on behalf of Forward Development Group regarding concerns with impacts to traffic, stormwater, and utilities along with the alignment of the roadways. The public hearing was closed at 6:39 p.m. Motion Malich, second Grosskopf, to recommend approval of the GDP to the Village Board with the condition that all staff comments are resolved to the satisfaction of the Village

Engineer and Village Attorney consistent with the Village Plan Commission approval. Motion carried.

4 Discuss and Take Action on a Certified Survey Map for Kilkenny Farms West Commercial Center at the Southwest Corner of Woodland Drive and County Highway Q

Motion Grosskopf, second Thomas, to recommend approval of the certified survey map to the Village Board with all staff concerns addressed consistent with the Village Plan Commission recommendation. Motion carried.

5 Public Hearing and Discussion/Action on Request by The Laurel Apartment Complex, Kilkenny Commons, for a Conditional Use Permit to Exceed the Maximum Height Limit for Portions of the Gabled Roof

Mr. Even outlined the reason for the conditional use permit to allow a portion of the roofline to exceed the height limit. The public hearing was opened at 6:46 p.m. There was no one present that wished to speak. The public hearing was closed at 6:47 p.m. Motion Thomas, second Bruskewitz to approve the conditional use permit for the height above 45 feet, but not to exceed 52 feet as recommended by the Village Plan Commission. Motion carried.

6 Discuss and Take Action on Site Plan/Specific Implementation Plan for The Laurel Apartment Complex, Kilkenny Commons

Staff explained that the applicant has now received the CUP for the roof height, and the Commission can now take action on the site plan/SIP. They have been working to resolve some sidewalk and architectural issues and staff is pleased with the results. Motion Bruskewitz, second Grosskopf, to approve the SIP conditioned upon all staff comments as recommended by the Village Plan Commission. Motion carried.

7 Discussion of HyVee Specific Implementation Plan and Request for Conditional Use Permit

The applicant asked to be taken off the agenda.

ADJOURN

Motion Bruskewitz, second Malich, to adjourn the meeting at 6:53 p.m. Motion carried.

Respectfully Submitted:

Tracy Meinholz, Joint Plan Commission Secretary



WAUNAKEE/WESTPORT JOINT PLAN COMMISSION SUMMARY SHEET

MEETING DATE: 05/14/2019

ITEM: NEW BUSINESS

TITLE: Initial Consultation, Lot Line Adjustment and Rezone (Continue Current Use), Meffert/Pineview, CTH K, Town of Westport

ISSUE SUMMARY: This item is back on the agenda after being postponed last month at the request of the applicant. They would like to adjust the size of three adjacent lots located on CTH K for estate planning purposes. Staff will need to review hte lots and determne the appropriate zoning for each.

STAFF RECOMMENDATION: None

RECOMMENDED MOTION: None

ATTACHMENT(S): Proposed CSM and Letter of Intent

FOR MORE INFORMATION CONTACT: kevin@waunakee.com or (608) 849-6276



WILLIAMSON SURVEYING & ASSOCIATES, LLC

104A WEST MAIN STREET, WAUNAKEE, WI 53597

NOA T. PRIEVE and CHRIS W. ADAMS

PHONE: 1-608-255-5705 WEB: WILLIAMSONSURVEYING.COM

Letter of Intent

Randy and Laura Meffert are trying to complete some estate planning for their home property and business that is located on County Trunk Highway "K". They currently own 3 parcels, the veterinary clinic parcel, their home parcel and a small piece of land that was purchased between the 2 parcels. Currently there is the existing veterinary clinic and kennels on the far western part of their land and their existing House and a couple of sheds/garage located toward the far eastern part of their land. There is a large gap of land between the 2 existing structures that the Meffert's had always intended to create an additional residential parcel. As part of the estate planning, they also would like to make the veterinary clinic parcel smaller for when Laura retires and they sell the business.

The proposed rezone and CSM request would modify/solidify the Veterinary Clinic parcel and zoning, square up and give the Meffert's existing home and buildings more room for side and rear yards, and would create 1 new residential lot between the existing structures. It is understood that a new driveway would most likely not be approved by the county and a shared driveway would be necessary for the is new lots access.

The proposed veterinary clinic parcel would be zoned Commercial and would be 3.10 acres. the proposed new residential lot would be zoned A-1 and would be 6.19 acres. The Meffert's existing home site would also be zoned A-1 and would be 7.06 acres.

There are no plans for changes to any of the properties at this time. At a later date, the new residential lot could be sold off and a new owner would need to apply for building permits at that time.





CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE & CHRIS W. ADAMS, REGISTERED LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

PART OF THE SE ¼ & SW ¼ OF THE SW ¼ OF SECTION 20, T8N R9E,
TOWN OF WESTPORT, DANE COUNTY, WISCONSIN

NOTES:

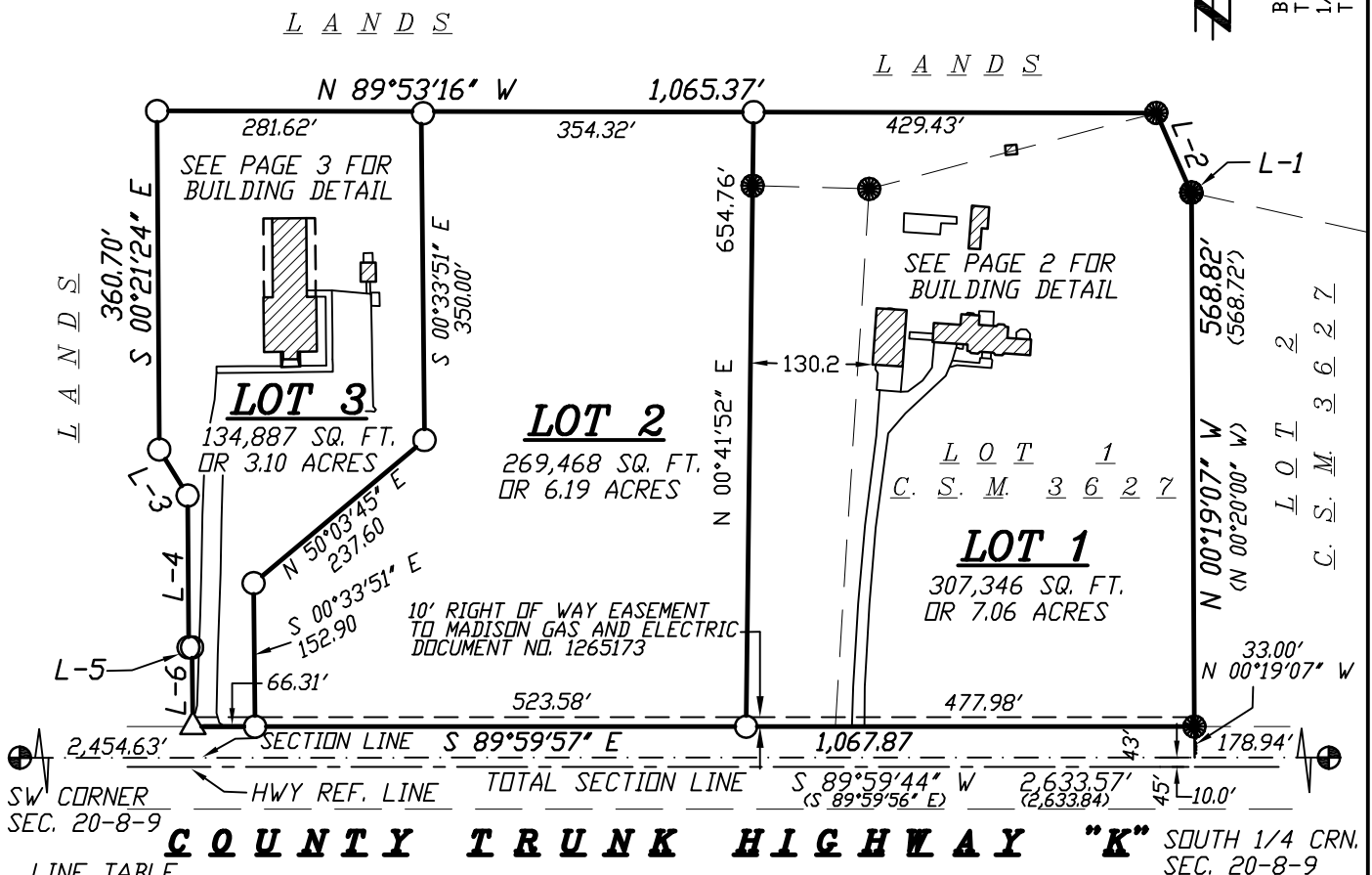
1.) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.

2.) WETLANDS AND FLOOD PLAIN, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.

PREPARED FOR:

RANDY MEFFERT
5964 C.T.H. "K"
WAUNAKEE, WI 53597

SCALE 1" = 200'



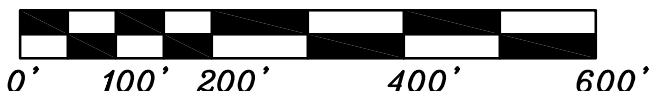
L-#	BEARING	DIST.
L-1	(N 78°19'13" W) N 77°23'09" W	(0.26') 0.28'
L-2	(N 23°27'37" W) N 23°36'19" W	(92.69') 92.77'
L-3	S 31°43'45" E	57.62'
L-4	S 00°21'24" E	161.85'
L-5	N 89°59'44" E	3.69'
L-6	S 00°33'51" E	84.41'

LEGEND:

- = SET 3/4"x24" REBAR
WT 1.5 LB PER LIN FT
△ = SET STEEL SURVEY SPIKE
● = FOUND 3/4" REBAR
⊕ = FOUND DANE COUNTY
SECTION CORNER
(##) = RECORDED AS

SURVEYORS SEAL

SCALE 1" = 200'

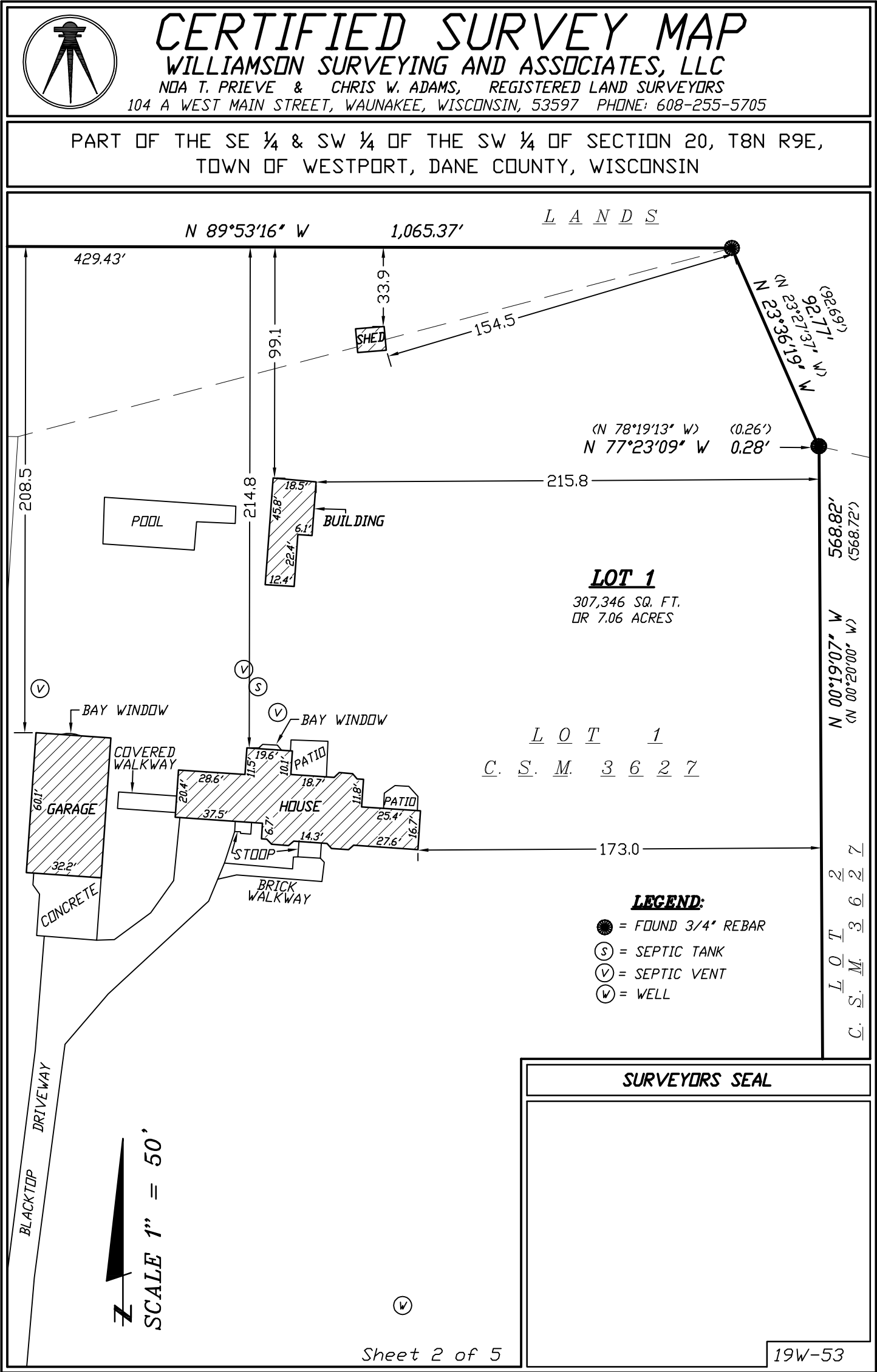


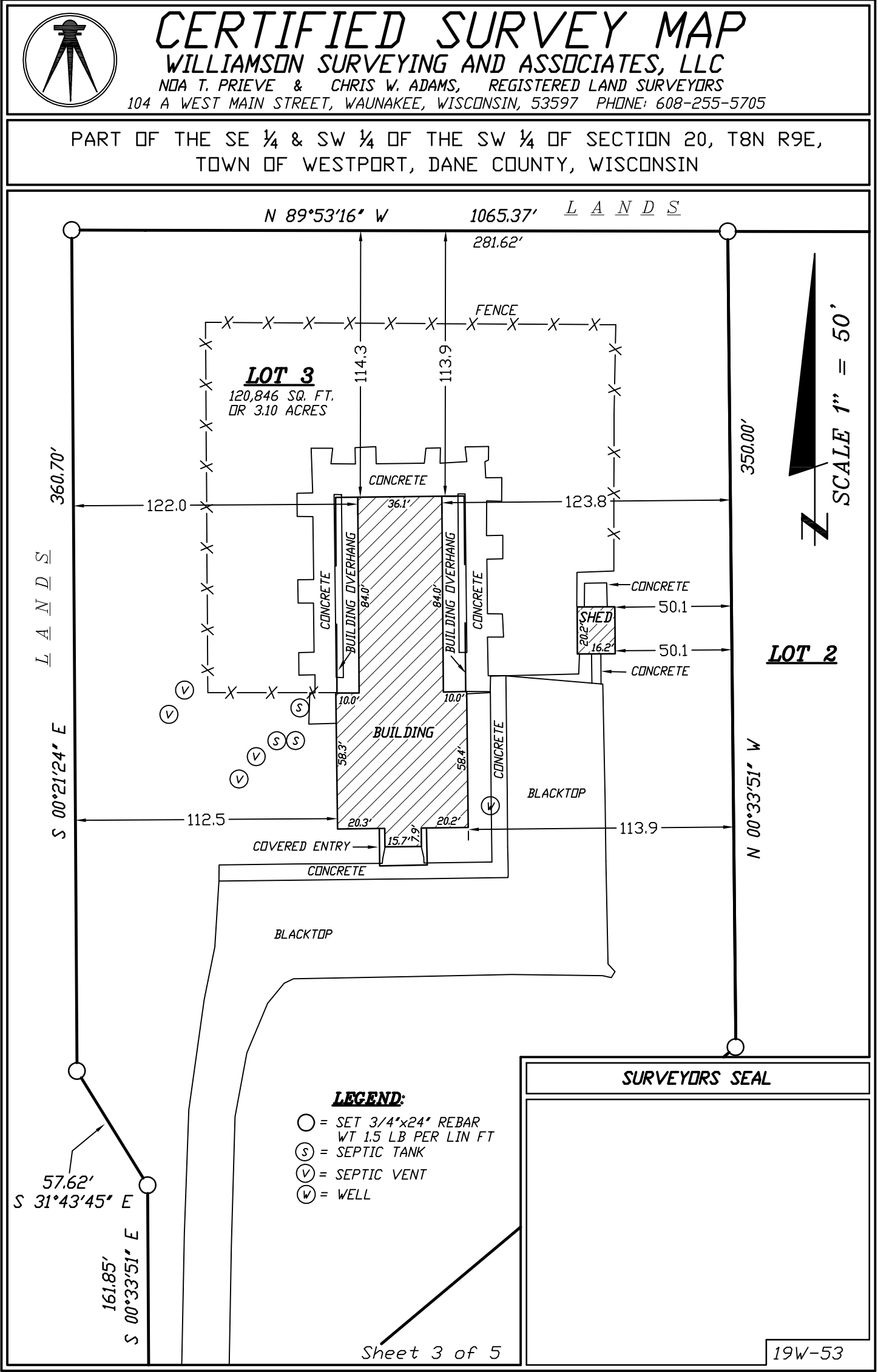
DOCUMENT NO.


CERTIFIED SURVEY MAP NO.

Sheet 1 of 5

19W-53







CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NDA T. PRIEVE & CHRIS W. ADAMS, REGISTERED LAND SURVEYORS

104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

PART OF THE SE ¼ & SW ¼ OF THE SW ¼ OF SECTION 20, T8N R9E,
TOWN OF WESTPORT, DANE COUNTY, WISCONSIN

OWNERS' CERTIFICATE:

RLM Holdings, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this Certified Survey Map to be surveyed, divided and mapped as represented on the Certified Survey Map.

RLM Holdings, LLC, does further certify that this Certified Survey Map is required to be submitted to the Village of Waunakee and the Town of Westport for approval.

IN WITNESS WHEREOF, the said RLM Holdings, LLC, has caused these present to be signed by _____ on this _____ day of _____, 20____.

RLM Holdings, LLC

STATE OF WISCONSIN) _____
DANE COUNTY) RANDAL J. MEFFERT

Personally came before me this _____ day of _____, 20__ the above named Randal J. Meffert, the authorized representative of the above named company, to me know to be the person who executed the foregoing instrument and to me known to be such officer of said company, and acknowledge that they executed the foregoing instrument as such officer as the deed of said company, by its authority.

_____ County, Wisconsin. _____
My commission expires _____ Notary Public
_____ Print Name

OWNERS' CERTIFICATE:

As owners, we hereby certify that we caused the land described on this certified survey map to be surveyed, divided and mapped as represented on the certified survey map. We also certify that this certified survey map is required to be submitted to the Town of Westport and Village of Waunakee for approval.

WITNESS the hand seal of said owners this _____day of _____,20____.

STATE OF WISCONSIN) _____
DANE COUNTY) RANDAL J. MEFFERT LAURA C. MEFFERT

Personally came before me this _____ day of _____, 20__ the above named Randal J. and Laura C. Meffert to me known to be the persons who executed the foregoing instrument and acknowledge the same.

_____ County, Wisconsin.
My commission expires _____

Notary Public


Print Name

SURVEYORS SEAL

Sheet 4 of 5

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CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE & CHRIS W. ADAMS, REGISTERED LAND SURVEYORS

104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

PART OF THE SE ¼ & SW ¼ OF THE SW ¼ OF SECTION 20, T8N R9E,
TOWN OF WESTPORT, DANE COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, Chris W. Adams, Registered Land Surveyor hereby certify that in full compliance with the provisions of Chapter 236.34 Wisconsin Statutes, the subdivision regulations of the Town of Westport, and by the direction of the owners listed below, I have surveyed, divided, and mapped a correct representation of the exterior boundaries of the land surveyed and the division of that land, being part of the Southeast ¼ and Southwest ¼ of the Southwest ¼, Section 20, T8N, R9E, Town of Westport, Dane County, Wisconsin, including all of Lot 1, Certified Survey Map No. 3627 recorded in Volume 14, on Pages 294-296 as Document No. 1885817, all being more particularly described as follows:

Commencing at the South ¼ corner of said Section 20; thence S 89°59'44" W, 178.94 feet along the South line of Southwest 1/4 thence N 00°19'07" W, 33.00 feet to the Southwest corner of Lot 2 Certified Survey Map No. 3627 and to the point of beginning.

thence continue N 00°19'07" W, 568.82 feet along the West line of Lot 2 Certified Survey Map No. 3627 to the Northwest corner of Lot 2 Certified Survey Map No. 3627; thence N 77°23'09" W, 0.28 feet along the Northeast line of Lot 1 Certified Survey Map No. 3627; thence N 23°36'19" W, 92.77 feet along the Northeast line of said Lot 1 Certified Survey Map No. 3627; thence N 89°53'16" W, 1,065.37 feet; thence S 00°21'24" E, 360.70 feet; thence S 31°43'45" E, 57.62 feet; thence S 00°21'24" E, 161.85 feet; thence N 89°59'44" E, 3.69 feet; thence S 00°33'51" E, 84.41 feet to the North right of way of County Trunk Highway "K"; thence along North right of way of County Trunk Highway "K" S 89°59'57" E, 1,067.87 feet to the point of beginning. This parcel contains 711,701 sq. ft. or 16.34 acres thereof.

Williamson Surveying and Associates, LLC

by Noa T. Prieve & Chris W. Adams

Date_____

Chris W. Adams S-2748

Registered Land Surveyor - Owner

TOWN BOARD RESOLUTION

Resolved that this certified survey map is hereby acknowledged and approved by the Town of Westport on this _____day of _____, 20__.

Thomas G. Wilson

Town Clerk

VILLAGE OF WAUNAKEE APPROVAL

Resolved that this certified survey map in the Town of Westport is hereby acknowledged and approved by the Village of Waunakee on this _____day of _____, 20__.

Caitlin Stene

Village Clerk

REGISTER OF DEEDS:

Received for recording this ____ day of _____, 20__ at ____ o'clock ____M. and recorded in Volume _____ of Dane County Certified Surveys on pages _____ through _____.

Kristi Chlebowski

Register of Deeds

DOCUMENT NO. _____

CERTIFIED SURVEY MAP NO. _____

Sheet 5 of 5

SURVEYORS SEAL

19W-53

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STAFF AGENDA MEMORANDUM
TOWN OF WESTPORT
REGULAR PLAN COMMISSION MEETING
Kennedy Administration Building
Community Meeting Room
5387 Mary Lake Road
Town of Westport, Wisconsin

Monday, April 8, 2019 7:00 p.m.

1. Call to Order
2. Public Comment On Matters Not On the Agenda
3. Approve Minutes.

For the 3/11/19 meeting minutes.

4. Initial Consultation, Lot Line Adjustment and Rezone (Continue Current Uses),
Meffert/Pineview, 5964 and 6000 CTH K

The Mefferts would like to take the three parcels they have along CTH K, which include an open parcel, their home, and the Pineview Vet Clinic and Hospital, and recreate them in a size and zoning classification for each which makes sense. They have the appropriate zoning now for all, but would really like to size the vet facility parcel to better fit the use and buildings. This would mean taking land from that parcel and adding it to the smaller parcel which is sandwiched between the home and vet facility. There is a previous land division for the home site which did restrict the property to no further land division, so that is something to take in to consideration. Right now it is arguable whether this sandwiched parcel is buildable based on its size, these previous restrictions, and because it appears it might have been purchased by the owners of the home lot from the neighboring parcel to add land needed to make sure the buildings were legally placed. You could clarify that buildability one way or the other here. All of the land except that on which the vet facility sits is zoned County RH-3 to allow rural homes (8 acres minimum) and located in the Waunakee ETZ area. The land between the clinic and the home is farmed currently.

If you do clarify that the middle parcel is buildable, then it should probably share a driveway with the current home to limit access on CTH K, the no further land division or building site creation restriction should carry through, and we may want to them straighten the parcel border to create a more appropriately and even sized lot rather than have two odd shaped lots here.

The lands are within the Rural Preservation District of our Comprehensive Plan, which provides that any non-farm development is not to have an adverse impact on adjoining farms. This land division and clarifying zoning would not impact access to the Ken Hellenbrand 220 acre farmed land north and east of these parcels.

RECOMMENDATION: This is a consult so no action is to be taken but please advise the owners of concerns.

5. Park Committee Report/Items for Action
Terry, if present, will give a report on recent Committee work.
6. Historic Preservation Committee Report/Items for Action
Joe, if present, will give a report on recent Committee work.
7. Waunakee/Westport Joint Planning Committee Report/Items for Action
An oral report will be provided as necessary.
8. Middleton/Westport Joint Zoning Committee Report/Items for Action
An oral report will be provided as necessary.
9. Miscellaneous/Forthcoming Events
An oral report will be provided as necessary.
10. Adjourn



WAUNAKEE/WESTPORT JOINT PLAN COMMISSION SUMMARY SHEET

MEETING DATE: 05/13/2019

ITEM: PUBLIC HEARING

TITLE: Public Hearing and Discussion/Action on HyVee Specific Implementation Plan (Site Plan) and Conditional Use Permit to Exceed the Maximum Allowable Building Square Footage in the Woodland Crest Development

ISSUE SUMMARY: Attached is the CU and SIP for consideration for the HyVee plan.

STAFF RECOMMENDATION: Conditionally Approve

RECOMMENDED MOTION: See attached documents

ATTACHMENT(S): SIP Application, Staff comments and SIP and CUP approval forms prepared by the Village Attorney.

FOR MORE INFORMATION CONTACT: kevin@waunakee.com or (608) 849-6276

CONDITIONAL USE PERMIT

Pursuant Chapter 133, Article 5, and Section 133-19 of the Village of Waunakee Zoning Code, and pursuant to the General Development Plan for the Woodland Crest Development, the Village of Waunakee / Town of Westport Joint Plan Commission (the “Joint Plan Commission”) hereby issues the conditional use permit, as set forth herein, to the Applicant, Hy-Vee, Inc., an Iowa corporation.

Recitals

- A. The Applicant has acquired, or has a right to acquire, Lot 1 of the plat of Woodland Crest, recorded with the Dane County Register of Deeds Office on the ____ day of _____, 2019, in Volume ____ - ____ of Plats, pages ____ to ____, as Document No. _____, located in the Village of Waunakee, Dane County, Wisconsin (the “Property”).
- B. The Applicant proposes to construct and operate a grocery store on the Property, which grocery store shall have more than 50,000 square feet of floor area, thereby requiring a conditional use permit pursuant to Section 133-19 of the Village of Waunakee Zoning Code.
- C. The Joint Plan Commission held a public hearing on the Applicant’s conditional use permit application on May 14, 2019, which public hearing was properly noticed.

Issuance of Conditional Use Permit with Conditions

- 1. The Joint Plan Commission finds that the standards set forth in Sections 133-19 and 133-936 of the Village of Waunakee Zoning Code are satisfied by granting the Applicant the conditional use permit as set forth herein.
- 2. The Joint Plan Commission approves the building size for the grocery store, and finds that the following conditions shall apply to the conditional use permit granted herein:
 - a. The Applicant shall construct the grocery store pursuant to the site plan and specific implementation plan approved by the Joint Plan Commission.
 - b. [Insert additional conditions.]
- 3. The Joint Plan Commission reserves the right to revoke this conditional use permit if the Applicant fails to satisfy any of the conditions identified in Section 2 and

maintains all of its powers and authority over the conditional use permit as set forth in the Village Zoning Code.

The Conditional Use Permit set forth herein was issued by the Village of Waunakee / Town of Westport Joint Plan Commission on May 14, 2019.

APPROVED:

Ken Sipsma, Joint Plan Commission Chair

Tracy Meinholz, Joint Plan Commission Clerk

**SPECIFIC IMPLEMENTATION PLAN
FOR THE DEVELOPMENT OF LOT 1
OF THE PLAT OF WOODLAND CREST
(HY-VEE SIP)**

The undersigned, Hy-Vee, Inc., an Iowa corporation (“Hy-Vee”), owner of Lot 1 of the plat of Woodland Crest, recorded with the Dane County Register of Deeds Office on the ____ day of _____, 2019, in Volume ____ - _____ of Plats, pages ____ to ____, as Document No. _____, located in the Village of Waunakee, Dane County, Wisconsin (the “Property”), submits the following Specific Implementation Plan (SIP) for the development of the Property, pursuant to Section 133-896 of the Village of Waunakee Zoning Code:

1. The Property is zoned Planned Unit Development District (PUD) under Sections 133-892 – 133-898 of the Village of Waunakee Zoning code, and is subject to the terms of the General Development Plan for the Property approved by the Village Board.

2. The use of the Property shall be limited to a grocery store and convenience store with accessory facilities as identified in the General Development Plan. No other uses shall be permitted on the Property without the approval of the Village of Waunakee.

3. The improvements on the Property shall be constructed substantially in accordance with the site plan approved by the Village of Waunakee – Town of Westport Joint Plan Commission on May 14, 2019, including, but not limited to, the approved exterior building plans and images, site layout plan, utility plan, grading plan, storm water pollution prevention plan, site photometric plan, site landscaping plan and exterior elevations, all identified as follows:

THIS SPACE RESERVED FOR RECORDING DATA

RETURN TO:

Village of Waunakee
Attn: Village Clerk
500 W. Main Street
Waunakee, WI 53597

P.I.N.

Sheet Number

Description

Issue Date

Floor Plan

Exterior Elevations

Existing Site Plan

Storm water Pollution

Prevention Plan

Site Utility Plan

<u>Sheet Number</u>	<u>Description</u>	<u>Issue Date</u>
	Site Grading Plan	
	Site Layout Plan	
	Site Landscape Plan	
	Site Detail Sheet	
	Landscape Detail Sheet	
	Site Photometric Plan	
	North East Perspective	
	North West Perspective	
	East Elevation	
	North Elevation	
	South West Perspective	

The above-referenced plans, elevations, and images are incorporated herein by reference. Any material changes to such plans, elevations, and images must be approved by the Village of Waunakee.

4. It is anticipated that construction by Hy-Vee on the Property in accordance with this Specific Implementation Plan will commence in 2020, and will be completed in 2021, although these dates are subject to change.

5. This instrument may not be amended without the consent of the Village of Waunakee.

[Signature Page Follows]

Dated this ____ day of _____, 2019.

HY-VEE, INC.

By: _____
Peter Hosch, Vice President

By: _____
Nathan Allen, Assistant Secretary

STATE OF IOWA,
COUNTY OF POLK, ss

On this ____ day of _____, 20____, before me, the undersigned, a Notary Public in and for the state of Iowa, personally appeared Peter Hosch and Nathan Allen, to me personally known, who being by me duly sworn did say that they are the Vice President and Assistant Secretary, respectively, of Hy-Vee, Inc., an Iowa corporation, that the instrument to which this is attached was signed on behalf of said corporation by authority of its Board of Directors; and that the said Peter Hosch and Nathan Allen as such officers acknowledged the execution of said instrument to be the voluntary act and deed of said corporation, by it and by them voluntarily executed.

Notary Public in and for the
State of Iowa

CERTIFICATION OF APPROVAL

The aforesaid Specific Implementation Plan was approved by the Village of Waunakee – Town of Westport Joint Plan Commission on May 14, 2019.

Dated this ____ day of _____, 2019.

Tracy Meinholz, Joint Plan Commission Clerk

This instrument drafted by
Bryan Kleinmaier, Esq.
Stafford Rosenbaum LLP
222 W. Washington Ave., Ste. 900
Madison, WI 53701

**Strand Associates, Inc.®**

910 West Wingra Drive

Madison, WI 53715

(P) 608-251-4843

(F) 608-251-8655

May 3, 2019

Mr. Kevin Even, P.E.
Village of Waunakee
500 West Main Street
P.O. Box 100
Waunakee, WI 53597

Re: HyVee Site Plan

Dear Kevin,

We last received updated drawings of the HyVee site on February 15, 2019. We provided a letter to you, dated April 2, 2019, indicating the applicant had complied with all site plan comments we have had in the past.

At the April 29, 2019 technical staff meeting, one additional item related to the February 15, 2019 site drawing modifications was discussed, that is, the applicant's addition of a dumpster between the HyVee parking lot and the C-Store parking. The applicant should provide details of the enclosure used to screen the waste and recycling containers stored there. The enclosure should be sturdy and have aesthetic appeal.

Our understanding is others will be commenting on the excess parking areas provided for the two stores as part of this month's review.

Sincerely,

STRAND ASSOCIATES, INC.®

R. Kent Straus, P.E.

c: Todd Schmidt, Administrator, Village of Waunakee
Tim Herlitzka, Village of Waunakee Utilities
Bryan Kleinmeier, Stafford Rosenbaum
Ed Freer, Graef



Strand Associates, Inc.®
910 West Wingra Drive
Madison, WI 53715
(P) 608-251-4843
(F) 608-251-8655

April 2, 2019

Mr. Kevin Even, P.E.
Village of Waunakee
500 West Main Street
P.O. Box 100
Waunakee, WI 53597

Re: HyVee Site Plan and Woodland Crest Development Improvements

Dear Kevin,

HyVee Site Plan

We last provided comments on the HyVee site plan in June 2018. Revised plans, dated February 15, 2019, were provided to address the June 2018 comments. We did not review the entire plan set; we only reviewed the outstanding items from the last letter. Below is a summary of the two requested corrections.

In June 2018, we asked that the applicant create a disconnection between the grocery parking lot and convenience store parking lot at the west side of those lots, as this provided a straight access to Sarah Lane. This was to be a compromise to removing the access to Sarah Lane, which we felt was too close to CTH Q. The applicant has instead removed the access to Sarah Lane, which is the preferred solution.

The applicant has also provided a sidewalk along Woodland Drive through access drive, including through the directional island that prevents left turns. This comment was satisfactorily addressed.

Finally, the applicant should confirm that no additional revisions were made to the drawings since June 2018 that would require a review of those changes.

Woodland Crest Development Improvements

We last provided comments on the Woodland Crest Development Improvements on February 28, 2019. The entirety of those comments, which are attached to this letter, still need to be addressed.

Sincerely,

STRAND ASSOCIATES, INC.®

R. Kent Straus, P.E.

Enclosure

c/enc.: Todd Schmidt, Administrator, Village of Waunakee
Tim Herlitzka, Village of Waunakee Utilities
Bryan Kleinmeier, Stafford Rosenbaum
Ed Freer, Graef

RKS:tlf\S:\MAD\1600-1699\1602\701\WRD\2019 Site Plan Comments\3. HyVee SIP_CUP\HyVee_Woodland Crest Comments 4_02_19.docx



Strand Associates, Inc.®

910 West Wingra Drive

Madison, WI 53715

(P) 608-251-4843

(F) 608-251-8655

February 28, 2019

Mr. Kevin Even, P.E.
Village of Waunakee
500 West Main Street
P.O. Box 100
Waunakee, WI 53597

Re: Woodland Crest Development Plan
Village of Waunakee (Village)

Dear Kevin,

In June 2018, we provide comments on drawings showing proposed public improvements for the Woodland Crest development. We have received revised drawings dated February 15, 2019 intended to address our June 2018 comments. The following items from our June 20, 2018 letter still appear to be unaddressed.

Under **Streets**, the applicant should list the pavement thicknesses for CTH Q on Sheet C5 of the Public Improvement Plans.

Also, truck turning templates show that delivery vehicles using the Woodland Drive and Simon Crestway intersection will track into adjacent or opposing lanes when turning. Revise the design of the intersection so that all turning movements (WB-67 for south leg, S -BUS-40 for north leg) stay within their own lane and do not track over opposing lanes.

Under **Plat**, it appears that not all items listed in our June 20, 2018 letter were addressed. Those items are repeated below for convenience, and a markup of the Plat is enclosed showing the locations of these comments on the document for convenience.

Sheet 1 of 2:

- The right of way (ROW) may vary on sections of the abutting roads, but the individual widths should still be shown where the ROW bends. See enclosed copy of Westbridge for an example.
- The individual distances on the west side do not add up (exactly) to the overall distance.
- The curve numbers on the plat and in the table do not match those shown on the Preliminary Plat. Should the two documents match?
- The bearing reference should be better defined by year. For example, “NAD 83 (fill in year here)” because the numbers will change depending on the year.
- There are still issues with the three-sided bump out on the east side. The Final Plat Surveyors Certificate does not match the plat. The three courses around the bump out are not included. The areas on the Final and Preliminary Plats differ. The Preliminary Plat area matches our closure check and the same with the Final Plat. Are the three courses supposed to be in the Final Plat?
- Why is the notation “Lands” shown in this area of the three-sided bump out? That is generally used to show the status of adjacent non-platted lands outside the plat boundary.
- What is the dashed line for in the same area? Notate or remove for clarity.

RKS:sjl\S:\MAD\1600-1699\1602\701\WRD\2019 Site Plan Comments\2. Woodland Crest\Woodland Crest Comments 2_26_19.docx

Mr. Kevin Even, P.E.
Village of Waunakee
Page 2
February 28, 2019

Sheet 2 of 2:

- If the parcel is annexed into the Village prior to the recording of this plat, the Certificate for Dane County is not required. Dane County is an Objecting Authority only.
- If the parcel is annexed into the Village prior to the recording of this plat, Dane County should be added to the Owners Certificate in addition to State of Wisconsin and Village. We believe Dane County is an Objecting Authority even in villages. Verify and revise as necessary.
- If the parcel is not annexed into the Village prior to recording of this plat, there will need to be changes in the corporate limit line and certificates mentioned above.
- Verify the description in the Surveyors Certificate, checking against each course on the face of the Final Plat on Sheet 1 of 2. They must match. Verify the area as well and edit as necessary.

Sincerely,

STRAND ASSOCIATES, INC.®



R. Kent Straus, P.E.

Enclosures

c: Todd Schmidt, Administrator, Village of Waunakee
Tim Herlitzka, Village of Waunakee Utilities
Bryan Kleinmeier, Stafford Rosenbaum
Ed Freer



To: Village of Waunakee Plan Commission
From: Jason Valerius, AICP
Subject: HyVee SIP and CUP – Parking and Impervious Surface
Date: May 3, 2019

Request

Applicant (Hy-Vee, Inc.) is requesting approval of a Specific Implementation Plan and Conditional Use Permit for a 57,250 SF grocery store and 4,460 SF convenience store on a 10.4 acre site at the southeast corner of Hwy Q and Woodland Dr.

This review is addressing only the proposed parking for the site.

Applicable Zoning & Development Code Regulations

- Sec. 133-995. - Parking requirements.
- Sec. 133-19. - Retail building size.

Consistency with the Village Zoning Ordinance

The ordinance requires, for retail businesses, 1 stall per 200 square feet of floor area used for customer sales or service, also stated as 5 stalls per 1,000 SF of customer floor area.

The proposed grocery store has a total footprint of 57,250 SF and an estimated 45,800 SF of customer space (an assumption of 80% of the total floor area). There are 375 parking spaces provided for the grocery store, or 8.2 per 1,000 net SF. This is 146 more stall than required by the ordinance.

The proposed convenience store and coffee shop has a total footprint of 4,460 SF and an estimated 3,568 SF of customer space (again, 80% of gross area). There are 35 parking spaces provided, not including the 14 gas pumps (where people often leave their vehicles while walking into the store). The 35 stalls equate to 9.8 per 1,000 net SF.

The Village ordinance does not have a parking maximum. However, the Retail Building Size ordinance addresses concerns about the visual and ecological impacts of large parking areas, including a limit on total impervious area (70% of the site), a requirement for stormwater practices that minimize runoff and maximize on-site infiltration, and extra landscaping to screen and buffer large parking areas. The site is more than 30% pervious (if including the wet ponds) and it is my understanding based on the analyses of others that the site has sufficient stormwater detention and infiltration areas to meet the requirements of the Village's stormwater ordinance.

MEMO

May 3, 2019

I am concerned that the parking proposed for these uses is excessive, and therefore inconsistent with the Village's intent to limit the visual and ecological impacts of a large parking lot. While the stormwater management features appear to mitigate the ecological impact, the net result is more infrastructure to maintain.

As indicated in this comparison, other communities in the area require less parking than Waunakee.

	Grocery Store	C-Store
Proposal	57,250 gross/45,800 net 375 spaces 8.2/1,000 net SF, 6.5/1,000 gross SF)	4,460 gross, 3,568 net 35 spaces (9.8 /1,000 net SF, 7.8/1,000 gross SF)
Ordinance Requirements		
Waunakee (5 spaces/1,000 net SF)	229 spaces	18 spaces
Middleton (3.33 spaces/1,000 gross SF)	191 spaces	15 spaces
Sun Prairie (3.33 spaces/1,000 gross SF)	191 spaces	15 spaces
Sauk City (3.33 spaces/1,000 gross SF)	191 spaces	15 spaces
Verona (3.33 spaces/1,000 gross SF)	191 spaces	15 spaces

As another point of comparison, consider these estimates of the building area and parking spaces for some of the existing Hy-Vee stores in the region:

Madison East (105,000 SF)	383 spaces (3.65/1,000 gross SF)
Madison West (84,000 SF)	429 spaces (5.1/1,000 gross SF)*
Fitchburg (81,300 SF)	349 spaces (4.3/1,000 gross SF)

*the Madison West store parking is partially shared with TJ Maxx

MSA Recommendation

I encourage the applicant to consider saving some money and reducing the visual and ecological impact of these stores by reducing parking. I suggest that 4.5 spaces per 1,000 gross square feet is a reasonable maximum for the grocery store, which is still higher than other stores in the area. That would equate to a cap of 258 total stalls, 117 less than proposed. Those 117 stalls and the associated aisles require about 1 acre of impervious paving, space that could be green and pervious, and/or could accommodate infill with other uses.

Because the large store requires a conditional use permit, and because the standards of the conditional use permit ordinance are clearly intended to limit the negative effects of large parking areas, I encourage Plan Commission and Village Board to impose an upper limit on parking as a condition of approval for this use.

Sincerely,
MSA Professional Services, Inc.



Jason Valerius, AICP
Consultant Planner

1010 East Washington Avenue, Suite 202
Madison, WI 53703-3130
608 / 242 1550
608 / 242-0787 fax
www.graef-usa.com



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MEMORANDUM

TO: Keven Even
FROM: Ed Freer
DATE: 05.06.2019
SUBJECT: Site Plan Review
Hy-Vee Facility
Highway Q
Waunakee, Wisconsin

The following comments are focused on the proposed site improvements and design of new Hy-Vee grocery store on Highway Q – south of Woodland Drive. My comments are limited to the following:

1. Architecture
2. Landscape Plan
3. Signage

General Comments and Observations

1. All comments pertain the following sheets/drawings. (all are attached)
 - a. Sheet A6.0 Exterior Elevations (with four building elevations, dated May 2018)
 - b. Sheet A6.0 Exterior Elevations (with three building elevations, dated May 2018)
 - c. Sheet with no title or date -four photos of existing Hy-Vee fuel dispensing and convenience store facilities
 - d. Four untitled and undated three-dimensional renderings
 - e. Sheet C2.0 Site Plan
 - f. Sheet C5.0 Landscape Plan

The buildings (two in total) are all one-story buildings with a tall floor to ceiling height. The buildings represent a total of 61,710 SF footprint on the sight.

The building materials are a combination of glass storefronts, masonry walls, accent panels of E.I.F.S., accent panels of metal and accent panels of flat siding boards.

The primary architectural elevation faces west with the most glass and architectural character, scale and variety of details. This is the main public face and entrance to the

[Click here & type the project number]



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store. There is also a projecting portico for pick up at the pharmacy. There are three primary retail entrances.

The north and south elevations have less glass, limited pedestrian access (no public access), considerably less vision glass, a higher percentage of EFIS at the top of the walls and the base of the building strongly defined by masonry. The loading dock is also visible from the south.

The east elevation has the least relief and no glazing. There is an attempt to reduce the scale of the buildings length by highlighting pilasters and undulating the building at 1/3 and 2/3 portions of the length. There are no man doors and the loading dock ramp is seen at its side elevation. This orientation also hides the loading dock and doors.

The Convenient Store and Coffee Shop are a stand-alone one story building clad in masonry. The coffee shop is delineated and creates variety using a darker colored brick.

The aesthetic of the both buildings provides a strong horizontally and a flat roof line in appearance.

The masonry materials reflect the masonry used in the central business district and the stronger horizontal lines reinforce the forms and roof lines of the commercial property to the south and the surrounding land forms.

The colors are applied at a variety of locations.

- a. masonry units range in colors from orange/red ,
- b. masonry units that are blue/grey,
- c, siding flat boards and EFIS in a buff/sand color

The overall scale of the building is larger than what is currently found in Waunakee's urban fabric with four exceptions; the Village Community Center, the EMS building, the new Library and existing grocery store.

In reviewing the Villages ordinance as they pertain to the proposed building exceeding 50,000SF the commission needs to consider whether or not the project is consistent with code and meets the requirements of a conditional use permit.

Section 133-19-Retail Building size

b) a building between 50,000 and 75,000 SF requires a conditional use permit

(2) Impervious pavement and building shall not exceed 70%



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(3) 1.5 times the number of landscape points shall be required under section 133-996

(4)a. require architectural designed structures that reflect both the character of landmark or historic buildings in the Village and the topographic characteristic of the site;
(b) Stock or standard building designs that are used repetitively in other communities should be avoided.

As a follow-up and comments specifically related to the ordinance referencing landmark structures paying homage to local context I will share the following perspective.

The architectural vocabulary should support and add to the context of the Kilkenny Commons adjacent commercial aesthetic.

There is no need to be overly literal in reference to Waunakee's historic main street.

The adjacent structures in Kilkenny Commons clearly reflect a contemporary use of materials, detailing and technology. They also clearly convey in their architecture that these structures are creating a public destination for businesses, retail services and a public place to meet friends and socialize.

They embrace the surrounding natural topography and agricultural context as expressed in both horizontal lines, massing and materials.

The recent construction has created a collection of structures that attempt to reflect today's retail customer, innovative use of materials, pushing energy efficiencies and the use of natural daylighting. With Waunakee's changing younger demographic seeks an architectural expression offering greater transparency and promoting 24/7 engagement.

The commercial development around Kilkenny Commons is attempting to offer an alternative to help Waunakee reduce economic leakage to Middleton/Madison seeking to better attract business customers from the surrounding communities.

These new commercial buildings need to greet the traveler with a vibrancy and positive image that are both contributing to and enhancing Waunakee's Brand.

The landscape treatment at the corner of Woodland Drive and Q also needs to elevate the planting of this area to a Gateway expression. At the same time the streetscape along Simon Crestway needs to create a walkable interior tree lined street offering an an



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alternative to the busy more auto oriented Highway Q. This is best depicted as a challenge illustrated in the aerial rendering hand labeled 1.

Regarding the signage there appears to be no signage drawings submitted at this time and therefore no comments.

Recommendations:

The following conditions are recommended when considering approval of the Hy-Vee project submittal:

1. Incorporate more awnings, sun screens and vertical lattice work to create more human scale and architectural interest.
2. Maximize vision glass whenever possible.
3. Create as much relief detailing wall materials reducing impacts of long architectural elevations.
4. Increase and formalize plantings at Highway Q and Woodland Drive.
(Applicant needs to increase planting to meet CUP requirements)
5. Correct discrepancy of total parking stall count between Sheet C2.0 [410] and C5.0 [405] .
6. On Sheet C2.0, Incorporate addition canopy tree islands as indicated in red on attached plan to meet requirements Sec-133-996 .
7. On Sheet C5.0 consider incorporating red lined comments of
 - a. increasing parking lot islands,
 - b. implementing a street tree planting program along Simon Crestway and
 - c. increase planting formalizing Gateway feeling as well as reducing visual impact of parking lot.
8. Provide signage design drawings and dimensions. All signage to meet signage code and dark sky initiatives.

End of Memo

Enclosures: Hand Numbered 1,2,3,4
 A6.0 Exterior Elevations May 2018
 A6.0 Exterior Elevations May 2018
 C2.0 Site Plan
 C5.0 Landscape Plan

cc: Tracy Meinholz

- MASONRY UNITS
- 1

BRICK BY KANSAS BRICK & TILE
COLOR #530 FLASH FACESET
SIDE UTILITY
BOND: 1/2" RAUWING
MORTAR: SOL-DOMCH GRIND 10#
- 1A

BRICK BY KANSAS BRICK & TILE
COLOR #530 FLASH FACESET
SIDE UTILITY
BOND: SOLDER
MORTAR: SOL-DOMCH GRIND 10#
- PRECAST CONCRETE
- 1

ARCHITECTURALLY FINISHED
PRECAST CONCRETE PANEL
- E.I.F.S. COLORS
- 1

COLOR #1 LIGHT COLOR
SERIES 3 Y = T-01-C03-421-1
PARREX USA = 55169
- 2

COLOR #2 DARK COLOR
SERIES 3 Y = T-01-C03-421-2
PARREX USA = 55170
- GLASS & GLAZING
- 1

VISION GLASS 1" CLEAR ANNEALED INSULATION GLASS
LOW-E #3 SURFACE
- 1A

VISION GLASS 1" CLEAR TEMPERED INSULATION GLASS
LOW-E #3 SURFACE
- 2

SPANDREL GLASS 1" ANNEALED INSULATION GLASS
SPANDREL PAINT #4 SURFACE LT. GRAY - VERIFY COLOR W/ ARCHITECT
- 3

VISION GLASS 3/8" CLEAR TEMPERED INSULATION GLASS
LOW-E #3 SURFACE
- METAL FLASHINGS
- 1

PREFINISHED METAL WALL CAP
COLOR TO MATCH EPS COLOR #1 LIGHT -
PRESTONIC UVA-GLAD ALUMINUM BR
- 2

PREFINISHED METAL WALL CAP
COLOR TO MATCH EPS COLOR #2 DARK -
PRESTONIC UVA-GLAD SIERRA TAN SR
- 3

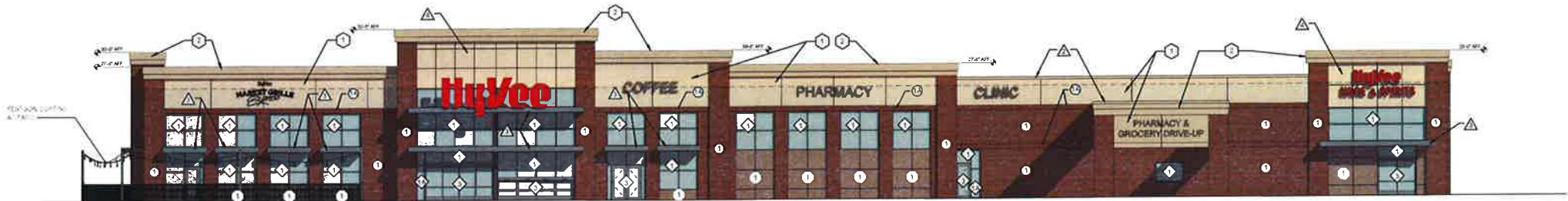
ALUMINUM CANOPY STRUCTURE BY DIVISION 8
COLOR TO MATCH EPS COLOR #2 DARK -
PRESTONIC UVA-GLAD SIERRA TAN SR
- 4

METAL WALL PANEL SYSTEM BY METAL DEBRIZ SYSTEMS
COLOR: PUEBLO TAN
- EXTERIOR METAL ASSEMBLIES
- 1

GUARDRAIL
1-1/2" O.D. PIPE RAILING PAINTED WITH TOP AT +42' ABOVE
TOP OF LANDING
- 2

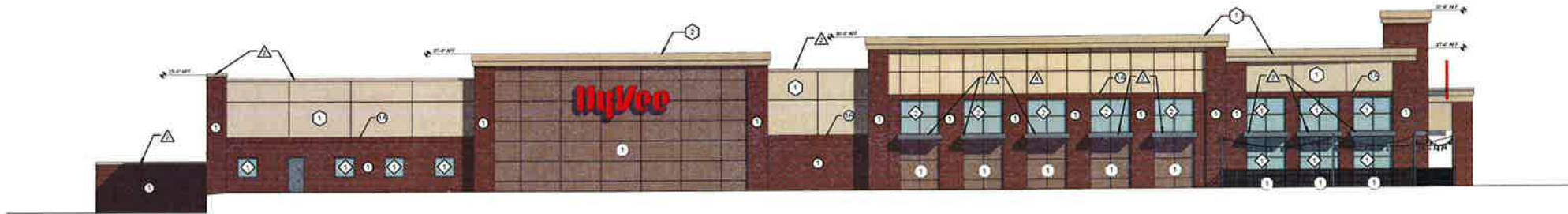
PAINT ALL EXTERIOR HOLLOW METAL DOORS AND
FRAMES TO MATCH ADJACENT WALL COLOR
- 3

PAINT ALL EXTERIOR PIPE BOLLARDS TO MATCH
MAIN BRICK COLOR



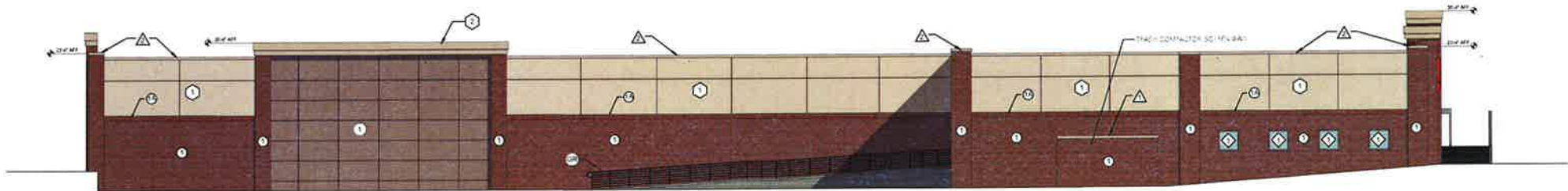
1 WEST ELEVATION

SCALE: 3/32" = 1'-0"



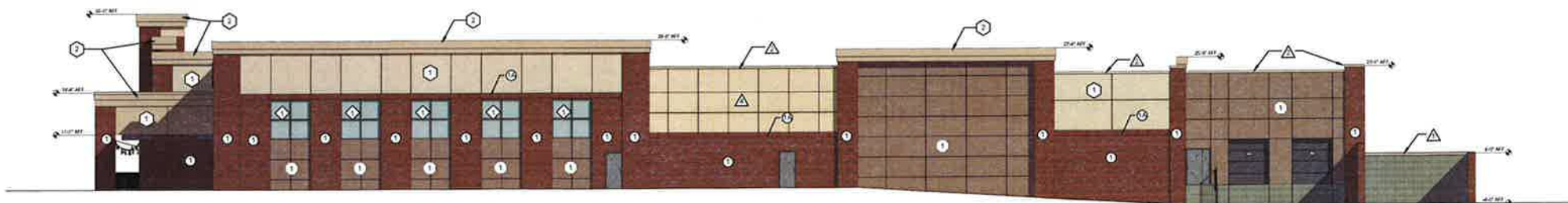
2 NORTH ELEVATION

SCALE: 3/32" = 1'-0"



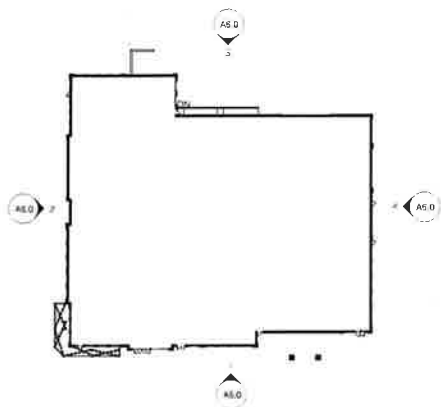
3 EAST ELEVATION

SCALE: 3/32" = 1'-0"



4 SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



KEY PLAN

SCALE: N.T.S.

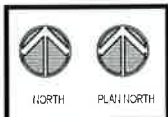
REVISION	DATE



LOCATION
Waunakee, Wisconsin

HY-VEE, INC.
5925 WESTOWN PARKWAY
WAUNAKEE, WI 53190
TELEPHONE: (608) 267-2800
FAX: (608) 267-2835

Hy-Vee
EMPLOYEE OWNED



EXTERIOR
ELEVATIONS

DATE TJN	DATE MAY 2018
SCALE As indicated	SCALE As indicated
SHEET	A6.0

32 of 74



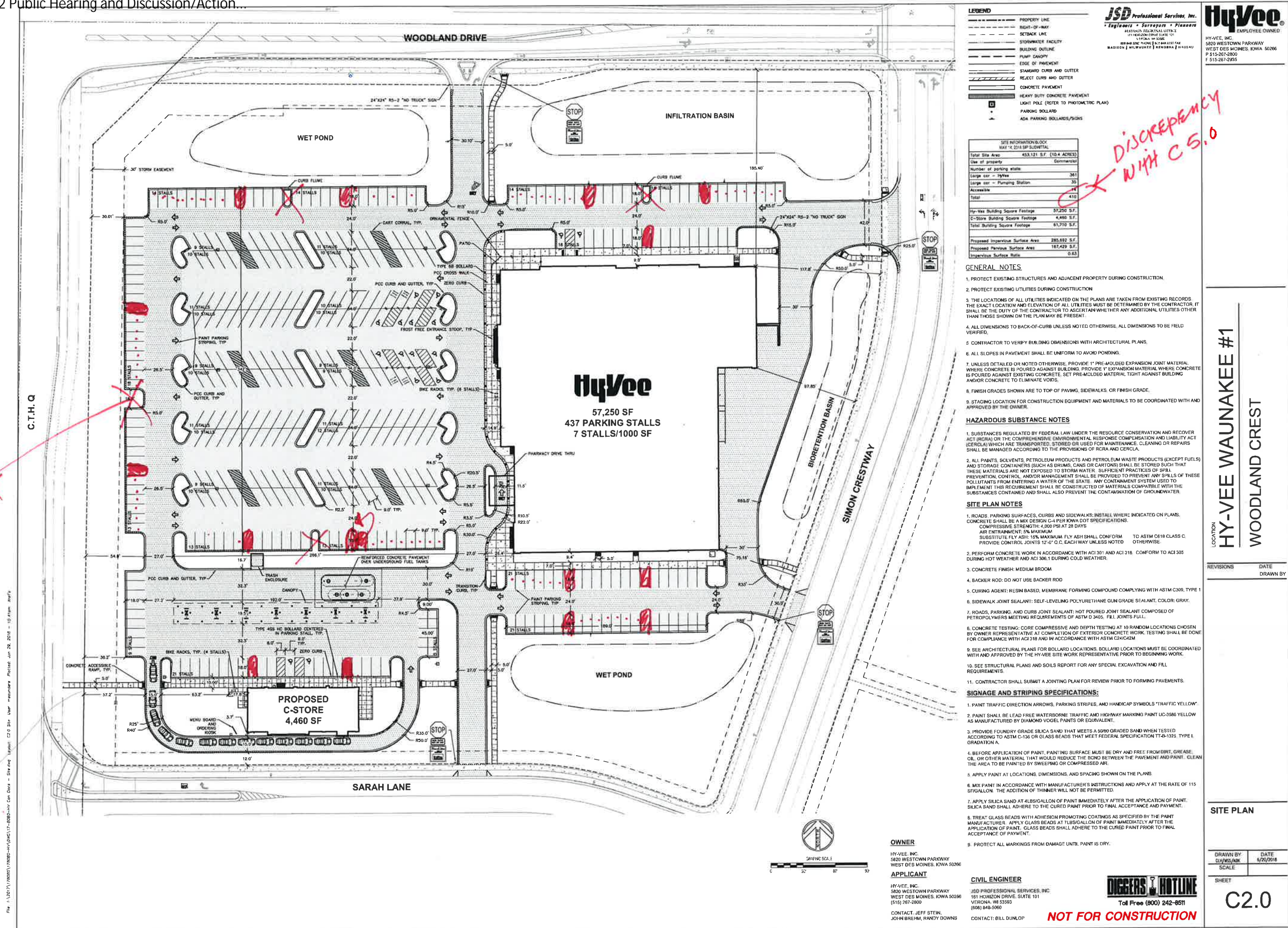








43



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- SETBACK LINE
- STORMWATER FACILITY
- BUILDING OUTLINE
- PUMP CANOPY
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- LIGHT POLE (REFER TO PHOTOGRAPHIC PLAN)
- PARKING BOLLARD
- ADA PARKING BOLLARDS/SIGNS

HY-VEE Professional Services, Inc.
Engineers • Surveyors • Planners
181 HORIZON DRIVE, SUITE 101
VERONA, WI 53593
(800) 848-5060 FAX (262) 848-2333 FAX
MADISON • MILWAUKEE • KENOSHA • WAUKESHA • WAUWATOSA

HY-VEE, INC.
EMPLOYEE OWNED
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266
P 515-267-2800
F 515-267-2935

SITE INFORMATION BLOCK
MAY 14, 2018 SP 01/01

Total Site Area	453,121 S.F. (10.4 ACRES)
Use of property	Commercial
Number of parking stalls	301
Large lot - Hy-Vee	301
Large lot - Pumping Station	35
Accessible	14
Total	410
Hy-Vee Building Square Footage	57,250 S.F.
C-Store Building Square Footage	4,460 S.F.
Total Building Square Footage	61,710 S.F.
Proposed Impervious Surface Area	285,692 S.F.
Proposed Pervious Surface Area	167,429 S.F.
Impervious Surface Ratio	0.63

- GENERAL NOTES**
- PROTECT EXISTING STRUCTURES AND ADJACENT PROPERTY DURING CONSTRUCTION.
 - PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
 - THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
 - ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
 - CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
 - ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
 - UNLESS DETAILED OR NOTED OTHERWISE, PROVIDE 1" PRE-FORMED EXPANSION JOINT MATERIAL WHERE CONCRETE IS POURED AGAINST EXISTING BUILDING. PROVIDE 1" EXPANSION MATERIAL WHERE CONCRETE IS POURED AGAINST EXISTING CONCRETE. SET PRE-MOLDED MATERIAL TIGHT AGAINST BUILDING AND/OR CONCRETE TO ELIMINATE VOIDS.
 - FINISH GRADES SHOWN ARE TO TOP OF PAVING, SIDEWALKS, OR FINISH GRADE.
 - STAGING LOCATION FOR CONSTRUCTION EQUIPMENT AND MATERIALS TO BE COORDINATED WITH AND APPROVED BY THE OWNER.

- HAZARDOUS SUBSTANCE NOTES**
- SUBSTANCES REGULATED BY FEDERAL LAW UNDER THE RESOURCE CONSERVATION AND RECOVERY ACT (RCRA) OR THE COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY ACT (CERCLA) WHICH ARE TRANSPORTED, STORED OR USED FOR MAINTENANCE, CLEANING OR REPAIRS SHALL BE MANAGED ACCORDING TO THE PROVISIONS OF RCRA AND CERCLA.
 - ALL PAINTS, SOLVENTS, PETROLEUM PRODUCTS AND PETROLEUM WASTE PRODUCTS (EXCEPT FUELS) AND STORAGE CONTAINERS (SUCH AS DRUMS, CANS OR CARTONS) SHALL BE STORED SUCH THAT THESE MATERIALS ARE NOT EXPOSED TO STORM WATER. SUFFICIENT PRACTICES OF SPILL PREVENTION, CONTROL, AND/OR MANAGEMENT SHALL BE PROVIDED TO PREVENT ANY SPILLS OF THESE POLLUTANTS FROM ENTERING A WATER OF THE STATE. ANY CONTAINMENT SYSTEM USED TO IMPLEMENT THIS REQUIREMENT SHALL BE CONSTRUCTED OF MATERIALS COMPATIBLE WITH THE SUBSTANCES CONTAINED AND SHALL ALSO PREVENT THE CONTAMINATION OF GROUNDWATER.

- SITE PLAN NOTES**
- ROADS, PARKING SURFACES, CURBS AND SIDEWALKS, INSTALL WHERE INDICATED ON PLANS. CONCRETE SHALL BE A MIX DESIGN C-4 PER KWA DOT SPECIFICATIONS. COMPRESSIVE STRENGTH: 4,000 PSI AT 28 DAYS. AIR ENTRAINMENT: 5% MAXIMUM. SUBSTITUTE FLY ASH: 10% MAXIMUM. FLY ASH SHALL CONFORM TO ASTM C618 CLASS C. PROVIDE CONTROL JOINTS 12'-0" O.C. EACH WAY UNLESS NOTED OTHERWISE.
 - PERFORM CONCRETE WORK IN ACCORDANCE WITH ACI 301 AND ACI 318. CONFORM TO ACI 303 DURING HOT WEATHER AND ACI 308.1 DURING COLD WEATHER.
 - CONCRETE FINISH: MEDIUM BROOM.
 - BACKER ROD: DO NOT USE BACKER ROD.
 - CURING AGENT: RESIN BASED, MEMBRANE FORMING COMPOUND COMPLYING WITH ASTM C309, TYPE 1.
 - SIDEWALK JOINT SEALANT: SELF-LEVELING POLYURETHANE GUN GRADE SEALANT, COLOR: GRAY.
 - ROADS, PARKING, AND CURB JOINT SEALANT: HOT POURED JOINT SEALANT COMPOSED OF PETROPOLYMERS MEETING REQUIREMENTS OF ASTM D 3405. FILL JOINTS FULL.
 - CONCRETE TESTING: CORE COMPRESSIVE AND DEPTH TESTING AT 10 RANDOM LOCATIONS CHOSEN BY OWNER REPRESENTATIVE AT COMPLETION OF EXTERIOR CONCRETE WORK. TESTING SHALL BE DONE FOR COMPLIANCE WITH ACI 318 AND IN ACCORDANCE WITH ASTM C242/G24M.
 - SEE ARCHITECTURAL PLANS FOR BOLLARD LOCATIONS. BOLLARD LOCATIONS MUST BE COORDINATED WITH AND APPROVED BY THE HY-VEE SITE WORK REPRESENTATIVE PRIOR TO BEGINNING WORK.
 - SEE STRUCTURAL PLANS AND SOILS REPORT FOR ANY SPECIAL EXCAVATION AND FILL REQUIREMENTS.
 - CONTRACTOR SHALL SUBMIT A JOINTING PLAN FOR REVIEW PRIOR TO FORMING PAVEMENTS.

- SIGNAGE AND STRIPING SPECIFICATIONS:**
- PAINT TRAFFIC DIRECTION ARROWS, PARKING STRIPES, AND HANDICAP SYMBOLS 'TRAFFIC YELLOW'.
 - PAINT SHALL BE LEAD FREE WATERBORNE TRAFFIC AND HIGHWAY MARKING PAINT UC-3586 YELLOW AS MANUFACTURED BY DIAMOND VOGEL PAINTS OR EQUIVALENT.
 - PROVIDE FOUNDRY GRADE SILICA SAND THAT MEETS A #600 GRADED SAND WHEN TESTED ACCORDING TO ASTM C-136 OR GLASS BEADS THAT MEET FEDERAL SPECIFICATION TT-4-1325, TYPE I, GRADATION A.
 - BEFORE APPLICATION OF PAINT, PAINTING SURFACE MUST BE DRY AND FREE FROM DIRT, GREASE, OIL, OR OTHER MATERIAL THAT WOULD REDUCE THE BOND BETWEEN THE PAVEMENT AND PAINT. CLEAN THE AREA TO BE PAINTED BY SWEEPING OR COMPRESSED AIR.
 - APPLY PAINT AT LOCATIONS, DIMENSIONS, AND SPACING SHOWN ON THE PLANS.
 - MIX PAINT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPLY AT THE RATE OF 115 SFG/GALLON. THE ADDITION OF THINNER WILL NOT BE PERMITTED.
 - APPLY SILICA SAND AT 4LBS/GALLON OF PAINT IMMEDIATELY AFTER THE APPLICATION OF PAINT. SILICA SAND SHALL ADHERE TO THE CURED PAINT PRIOR TO FINAL ACCEPTANCE AND PAYMENT.
 - TREAT GLASS BEADS WITH ADHESION PROMOTING COATINGS AS SPECIFIED BY THE PAINT MANUFACTURER. APPLY GLASS BEADS AT 1LBS/GALLON OF PAINT IMMEDIATELY AFTER THE APPLICATION OF PAINT. GLASS BEADS SHALL ADHERE TO THE CURED PAINT PRIOR TO FINAL ACCEPTANCE OF PAYMENT.
 - PROTECT ALL MARKINGS FROM DAMAGE UNTIL PAINT IS DRY.

OWNER
HY-VEE, INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266

APPLICANT
HY-VEE, INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266
(515) 267-2800

**CONTACT: JEFF STEIN,
JOHN BREHM, RANDY DOWNS**

CIVIL ENGINEER
JSD PROFESSIONAL SERVICES, INC.
181 HORIZON DRIVE, SUITE 101
VERONA, WI 53593
(800) 848-5060

CONTACT: BILL DUNLOP

DIGGERS HOTLINE
Toll Free (800) 242-8511

NOT FOR CONSTRUCTION

HY-VEE WAUNAKEE #1
WOODLAND CREST

REVISIONS

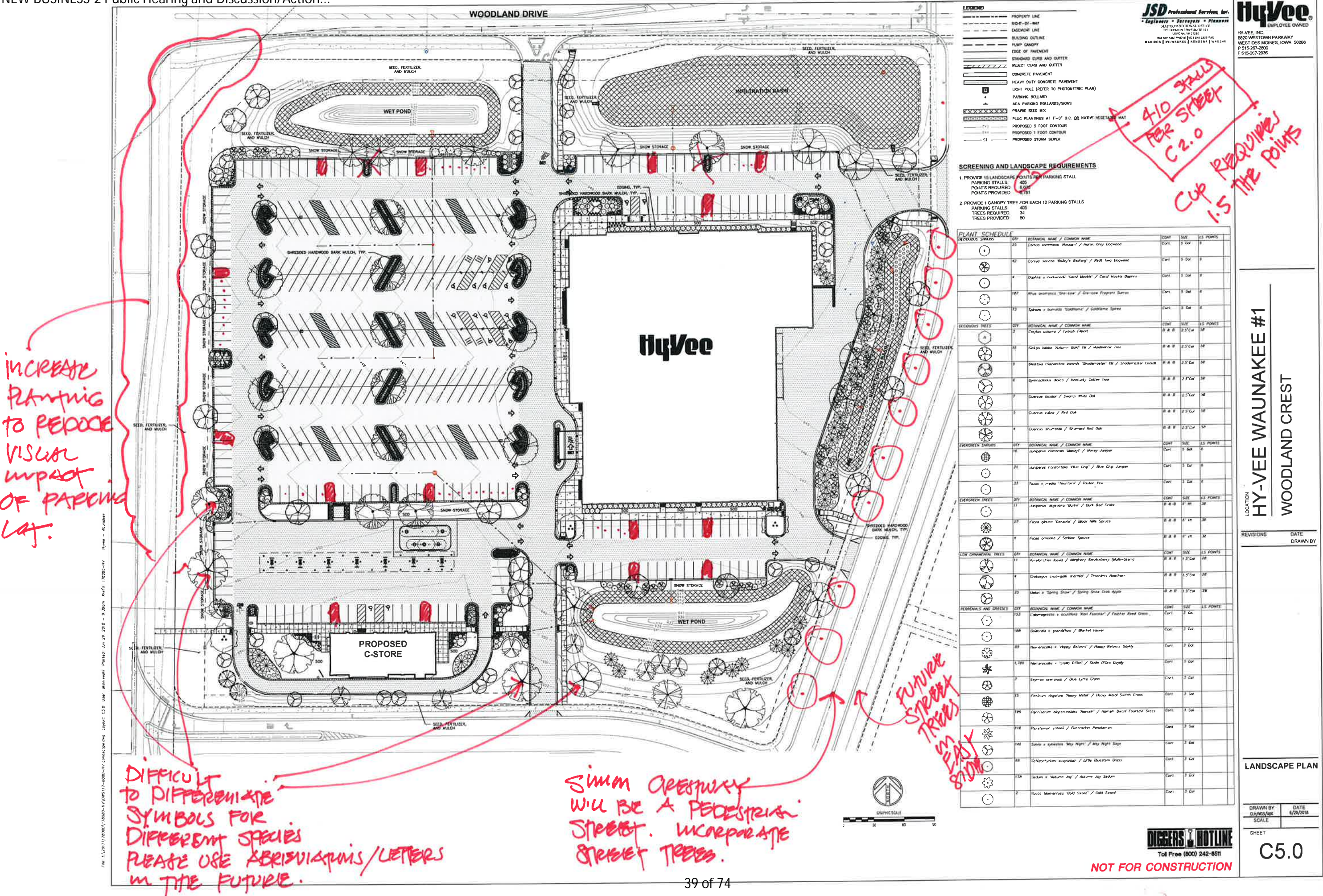
REVISIONS	DATE

SITE PLAN

DRAWN BY: C2.0/JSK	DATE: 8/20/2018
SCALE:	

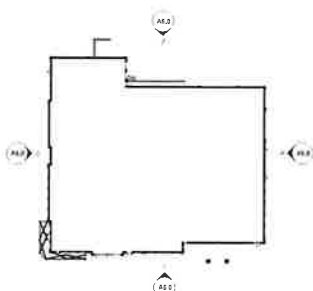
SHEET

C2.0





- KEY PLAN
SCALE: N.T.S.

[illegible]

1001

LOCATION
Waunakee, Wisconsin



EXTERIOR
ELEVATIONS

Type	MAF 2010
As indicated	

A6.0

186 of 219





SITE CONSTRUCTION DOCUMENT PACKAGE
HY-VEE WAUNAKEE #1
WOODLAND CREST

PLANS ISSUED

REV	DATE	DESCRIPTION
1	05/14/2018	SIP SUBMITTAL
2	06/20/2018	SIP RESUBMITTAL
3	06/29/2018	SIP RESUBMITTAL
4	02/15/2019	SIP RESUBMITTAL

OWNER/DEVELOPER

JOHN BREHM
HY-VEE, INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA
515-453-2795

CIVIL ENGINEER

BILL DUNLOP, PE
JSD PROFESSIONAL SERVICES, INC.
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593
608-848-5060

COREY HUHTA, PE
JSD PROFESSIONAL SERVICES, INC.
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593
608-848-5060

GEOTECHNICAL ENGINEER

TED A CERA, PE
MIDWEST ENGINEERING SERVICE, INC.
821 CORPORATE COURT, SUITE 102
WAUKESHA, WI 53189-5010
262-521-2125

LANDSCAPE ARCHITECT

MIKE SCHMELTZER, PLA
JSD PROFESSIONAL SERVICES, INC.
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593
608-848-5060

SITE SURVEY

TODD BUHR, PLS
JSD PROFESSIONAL SERVICES, INC.
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593

REGULATORY AGENCIES

VILLAGE ADMINISTRATOR
TODD SCHMIDT
608-850-5227

TOWN ADMINISTRATOR
TOM WILSON
608-849-4372

VILLAGE ENGINEER/PUBLIC WORKS
KEVIN EVEN
608-849-6276

WAUNAKEE UTILITIES
TIM HERLITZKA
608-849-8111

FIRE CHIEF
DAVE KOPP
608-848-5488

POLICE CHIEF
KEVIN PLENDL
608-849-4523

UTILITY CONTACTS

STATE ONE CALL
800-242-8111

GAS/ELECTRIC
MADISON GAS AND ELECTRIC CO
STEVE BEVERSDORF
608-252-1552

TELEPHONE
TDS TELECOM
JERRY MYERS
608-664-4889

CABLE TV
CHARTER COMMUNICATIONS
KIRK UPPERMAN
608-274-3822

SHEET INDEX

- C0.0 COVER SHEET
- C1.0 EXISTING CONDITIONS
- C2.0 SITE PLAN
- C3.0 EROSION CONTROL PLAN
- C3.1 GRADING PLAN
- C4.0 UTILITY PLAN
- C5.0 LANDSCAPE PLAN
- C5.1 LANDSCAPE DETAILS AND NOTES
- C6.0 CONSTRUCTION DETAILS
- C6.1 CONSTRUCTION DETAILS
- C6.2 CONSTRUCTION DETAILS
- C6.3 CONSTRUCTION DETAILS
- C6.4 CONSTRUCTION DETAILS
- C6.5 CONSTRUCTION DETAILS
- C6.6 CONSTRUCTION DETAILS
- C7.0 STORMWATER MANAGEMENT FACILITY DETAIL
- C8.0 PHOTOMETRIC PLAN

SHOP DRAWINGS REQUIRED
PRIOR TO INSTALLATION

DIVISION 31 - EARTHWORK

(312323) FILL:
PRODUCT DATA
MATERIAL SOURCE

DIVISION 32 - EXTERIOR IMPROVEMENTS

(321216) ASPHALT PAVING:
LIGHT DUTY MIX DESIGN
HEAVY DUTY MIX DESIGN

(321313) CONCRETE PAVING:
LIGHT DUTY MIX DESIGN
HEAVY DUTY MIX DESIGN
PAVING PHASING PLAN LAYOUT
PAVING JOINT PLAN LAYOUT
CURE COMPOUND PRODUCT DATA

(321316) DECORATIVE CONCRETE PAVING:
CONCRETE STAIN PRODUCT DATA

(321373) CONCRETE PAVING JOINT SEALANTS:
TAR JOINT SEALANT PRODUCT DATA

(321613) CURBS AND GUTTERS:
CURB AND GUTTER DESIGN MIX

(321623) SIDEWALKS:
SIDEWALK MIX DESIGN

(321723) PAVEMENT MARKINGS:
PAVEMENT MARKING PRODUCT DATA

(323100) FENCES AND GATES:
FENCE AND GATE PRODUCT DATA

(323200) RETAINING WALLS:
RETAINING WALL PRODUCT DATA
RETAINING WALL SHOPS

(323913) BOLLARDS:
PRODUCT DATA

(328000) IRRIGATION:
IRRIGATION CONTROLS PRODUCT DATA
IRRIGATION LAYOUT

SHOP DRAWINGS REQUIRED
PRIOR TO INSTALLATION

(329000) PLANTINGS:
PLANT SUBSTITUTION SCHEDULE
MULCH PRODUCT DATA

(329113) SOIL PREPARATION:
AMEND SOIL MIX

(329219) SEEDING:
SEEDING PRODUCT DATA

(329223) SOD:
SOD PRODUCT DATA

DIVISION 33 - UTILITIES

(331400) WATER MAIN APPURTENANCES:
WATER MAIN AND APPURTENANCES

(333100) SANITARY SEWER:
SANITARY SEWER AND
MANHOLES

(333400) GREASE INTERCEPTOR:
GREASE INTERCEPTOR SHOPS

(334100) STORM DRAIN PIPING:
STORM SEWER MANHOLES
TRENCH DRAINS
DRAIN TILE

(334400) STORMWATER TREATMENT
STRUCTURES:
STORMWATER TREATMENT SHOPS

SITE LOCATION MAP



HY-VEE WAUNAKEE #1, WISCONSIN, FEBRUARY 15, 2019



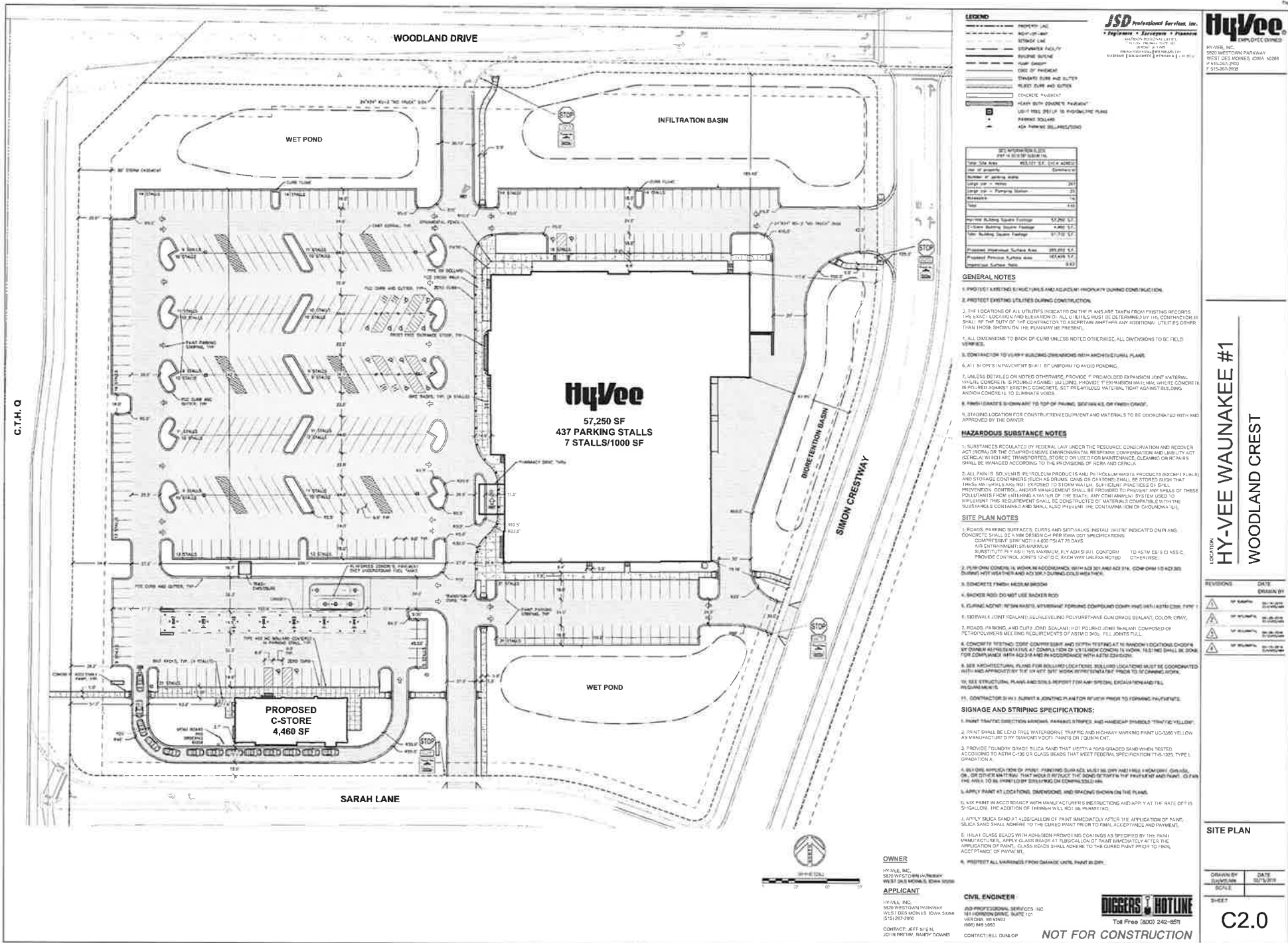
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C0.0



NEW BUSINESS-2 Discussion of HyVee Specific

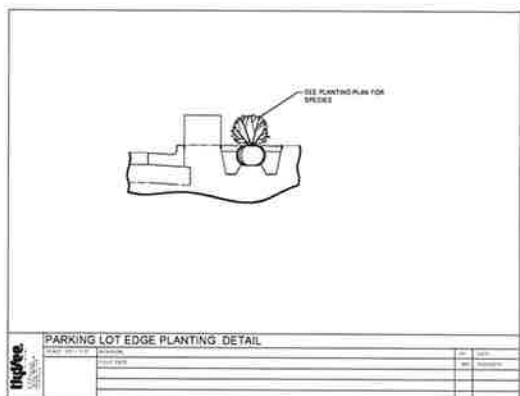
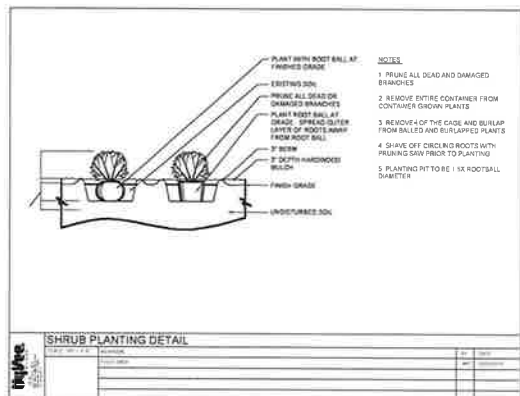
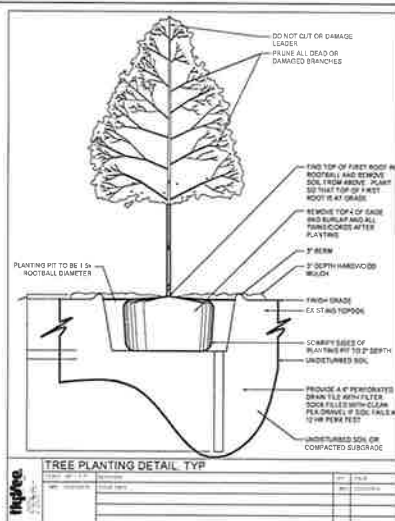








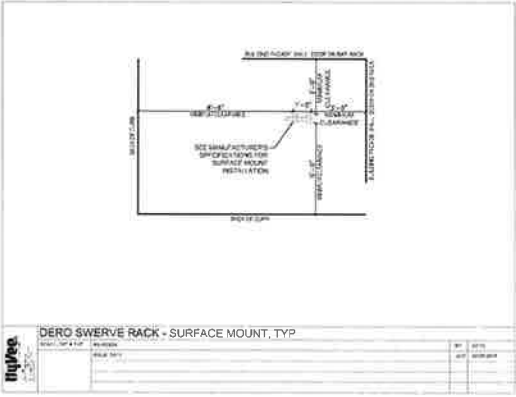
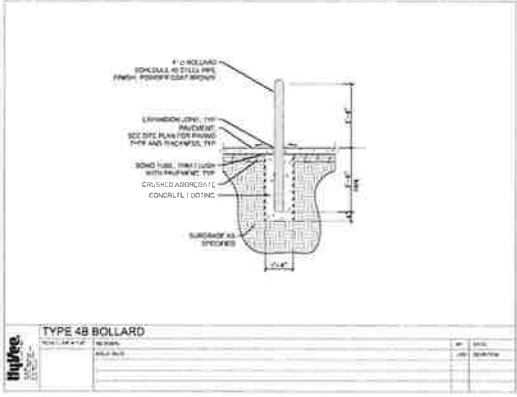
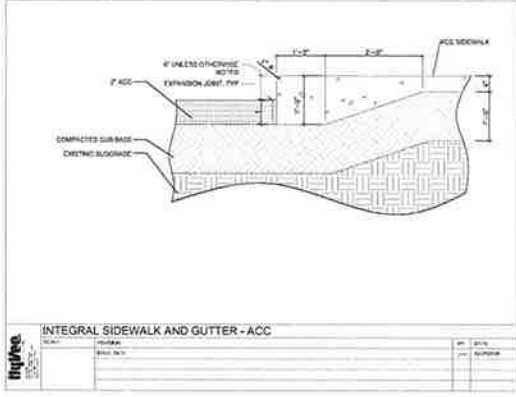
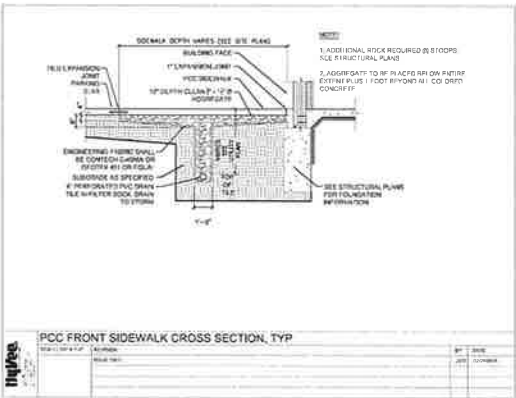
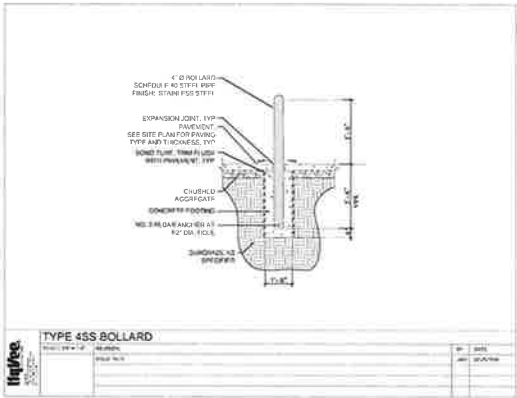
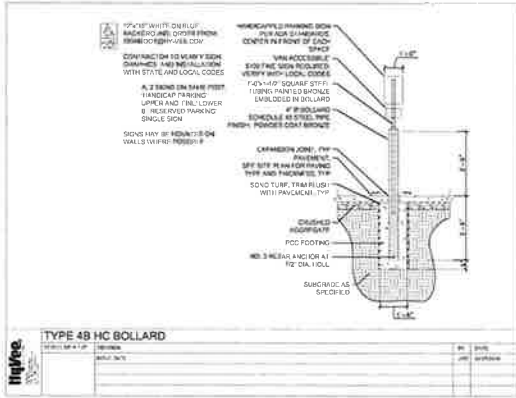
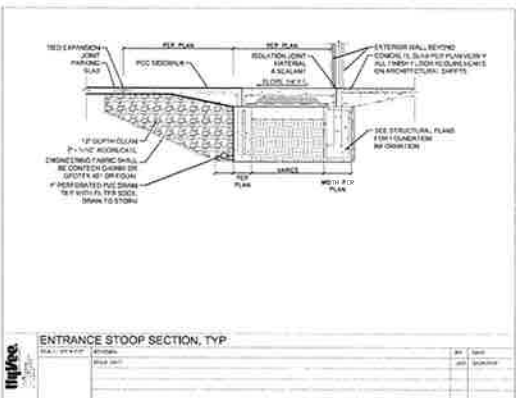
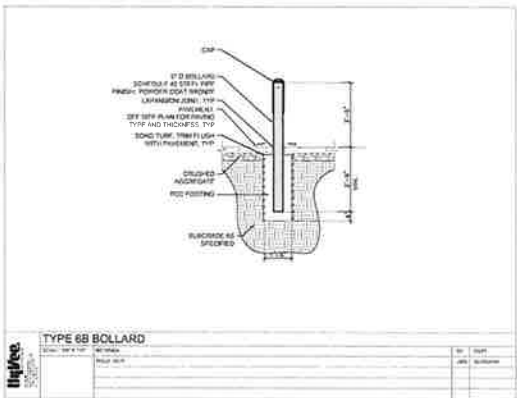
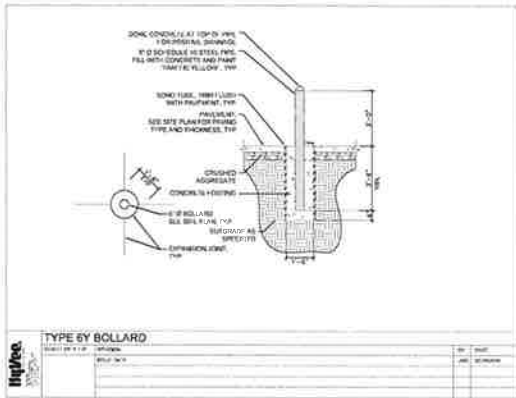




C5.1

NEW BUSINESS-2 Discussion of Hy-Vee Specifics

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JSD Professional Services, Inc.
Engineers • Architects • Planners
1000 WEST 10TH AVENUE
WEST DES MOINES, IOWA 50305
P 515-267-0800
F 515-267-0805

Hy-Vee
EMPLOYEE OWNED
HY-VEE, INC.
500 WEST 10TH AVENUE
WEST DES MOINES, IOWA 50305
P 515-267-0800
F 515-267-0805

LOCATION
HY-VEE WAUNAKEE #1
WOODLAND CREST

REVISIONS	DATE	DRAWN BY
1	08/14/2018	01-1118
2	08/14/2018	01-1118
3	08/14/2018	01-1118
4	08/14/2018	01-1118

DETAILS

DRAWN BY	DATE
01-1118	08/14/2018

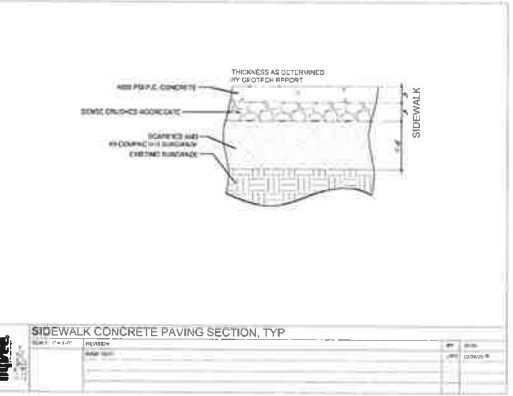
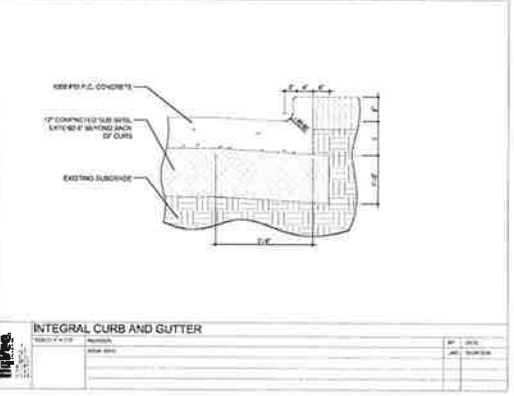
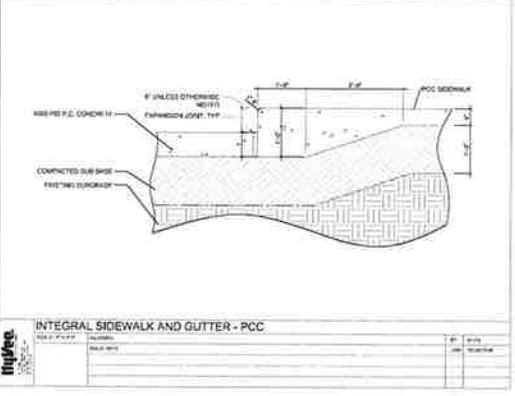
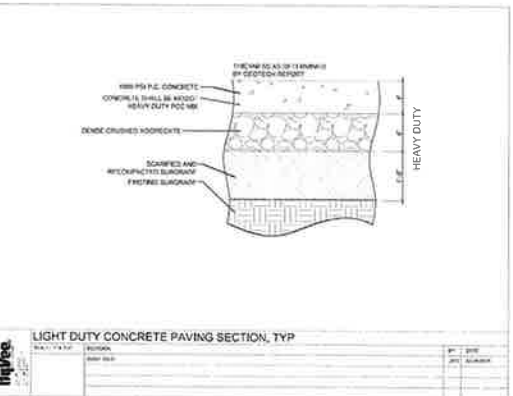
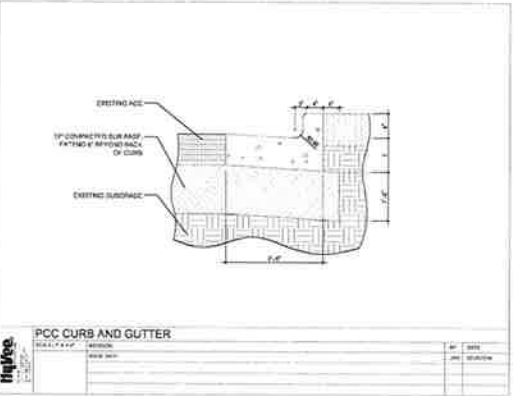
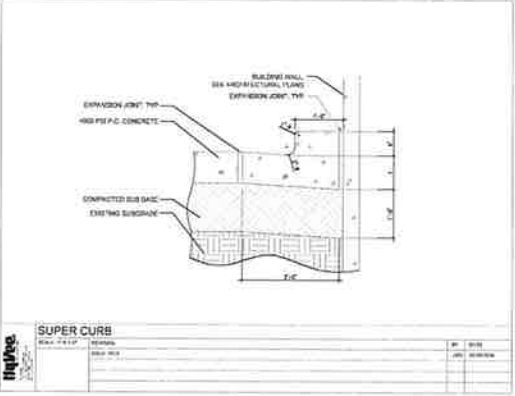
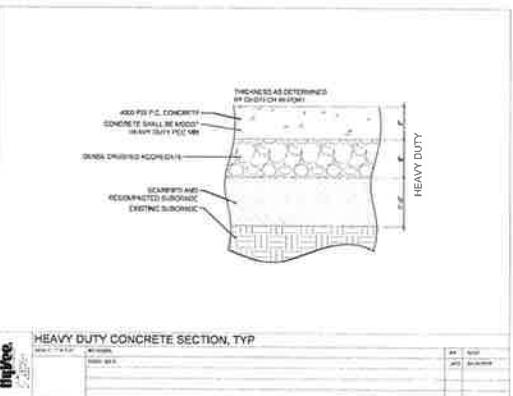
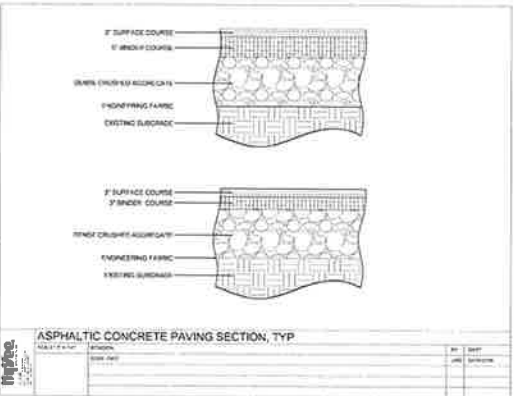
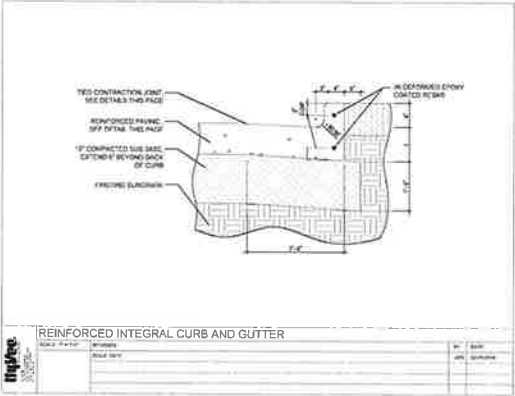
SHEET

C6.0

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Toll Free (800) 343-8888

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NEW BUSINESS-2 Discussion of HyVee Specific...



JSD Professional Services, Inc.
Engineers • Surveyors • Planners
1111 W. 20th St., Suite 100
Decorah, IA 52001
Phone: 563-385-2211 Fax: 563-385-2212
HARRISON • HUNTERDON • KENOSHA • ROCKY HILL

HyVee
EMPLOYEE OWNED
HY-VEE, INC.
3820 WESTDALE PARKWAY
WEST DES MOINES, IOWA 50305
P: 515-281-2000
F: 515-281-2005

HY-VEE WAUNAKEE #1
WOODLAND CREST

REVISIONS	DATE	DRAWN BY
1	10/1/2018	JAN
2	10/1/2018	JAN
3	10/1/2018	JAN
4	10/1/2018	JAN

DETAILS

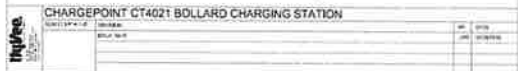
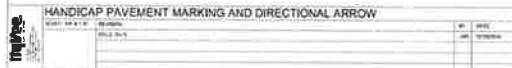
DRAWN BY	DATE
JAN	10/1/2018

SHEET

C6.1

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JSD Professional Services, Inc.
 • Engineers • Surveyors • Planners
 MATCON REGIONAL OFFICE
 1000 UNIVERSITY DRIVE, SUITE 100
 ALBANY, NY 12207
 FOR HANDBOOKS, CONTACT: (518) 486-2200 FAX:
 (518) 486-1177 • E-MAIL: JSD@AOL.COM

HyVee.
EMPLOYEE OWNED

HYVEE, INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266
P 515-267-2800
F 515-267-2938

LOCATION

REVISONS	DATE	DRAWN BY
1	07-14-2018	CLW/MSL/ABM
2	08-27-2018	CLW/MSL/ABM
3	08-28-2018	CLW/MSL/ABM
4	09-15-2018	CLW/MSL/ABM

DETAILS

DESIGNED BY DANIEL J. W.	DATE 12/11/2018
SCALE	
SHEET	

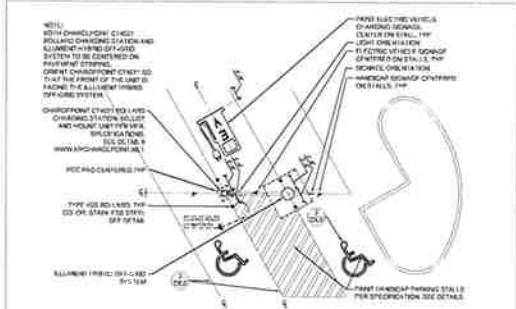
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DIGGERS HOTLINE
Toll Free (800) 242-8211

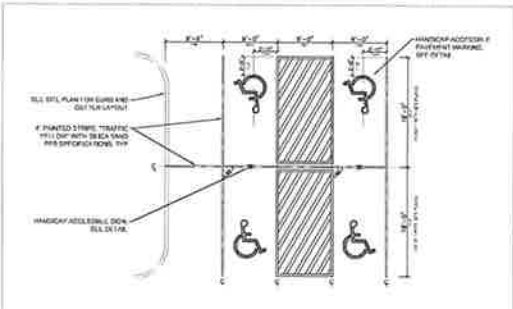
NOT FOR CONSTRUCTION

NEW BUSINESS-2 Discussion of Hy-Vee Specific...

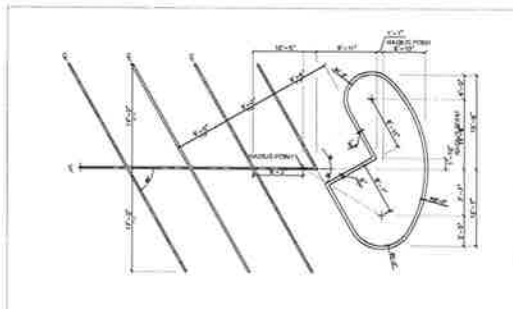
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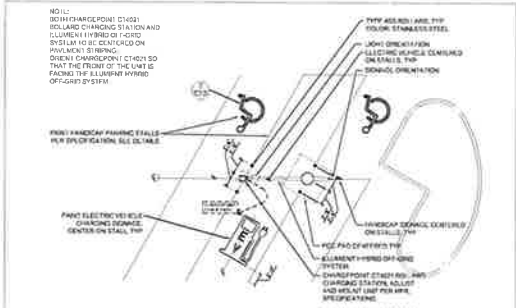
CHARGEPOINT CHARGING STATION AND ILLUMINANT SYSTEM - 60 DEGREE



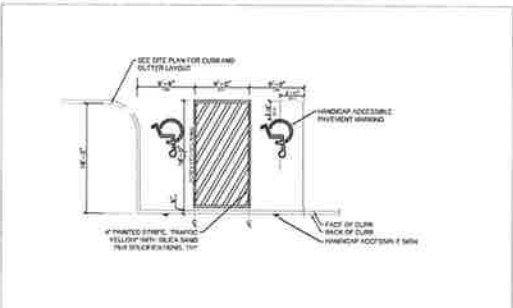
HANDICAP PARKING AND PERPENDICULAR PAVEMENT STRIPING



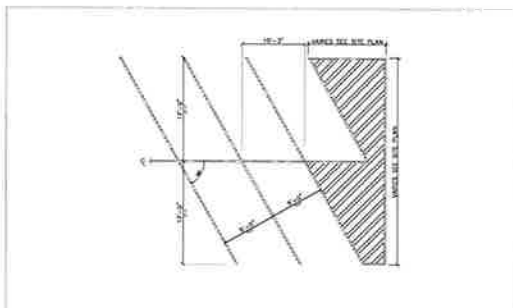
DIAGONAL PARKING AND PCC ISLAND DETAIL



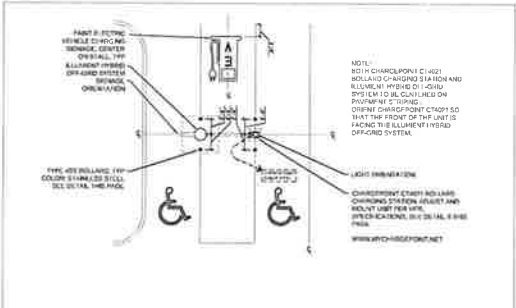
CHARGEPOINT CHARGING STATION AND ILLUMINANT SYSTEM - 60 DEGREE



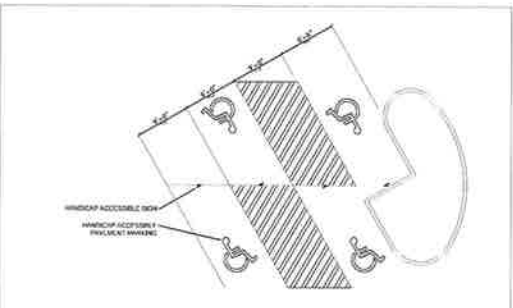
HANDICAP PARKING AND PERPENDICULAR PAVEMENT STRIPING



DIAGONAL PARKING AND STRIPED ISLAND DETAIL



CHARGEPOINT CHARGING STATION AND ILLUMINANT SYSTEM - 90 DEGREE



HANDICAP PARKING STALL LAYOUT

JSD Professional Services, Inc.
Engineers • Surveyors • Planners
10000 Highway 100, Suite 100
Minnetonka, MN 55345
Phone: (763) 536-1000
Fax: (763) 536-1001

Hy-Vee
EMPLOYEE OWNED
HY-VEE, INC.
3620 WEST 17TH AVENUE
WEST DES MOINES, IOWA 50308
P 515.281.2000
F 515.281.2001

HY-VEE WAUNAKEE #1
WOODLAND CREST

REVISIONS	DATE	DRAWN BY
1	01-15-2016	CHANDLER
2	01-15-2016	CHANDLER
3	01-15-2016	CHANDLER
4	01-15-2016	CHANDLER

DETAILS

DRAWN BY	DATE
CHANDLER	01-15-2016
SCALE	REVISION
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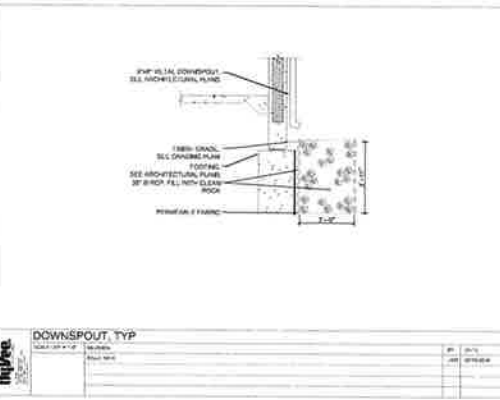
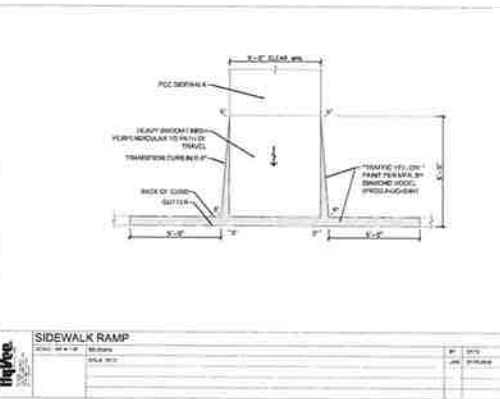
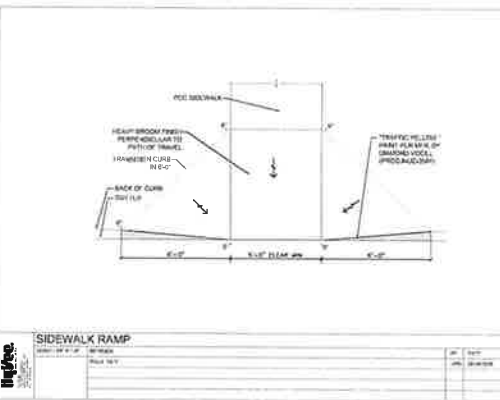
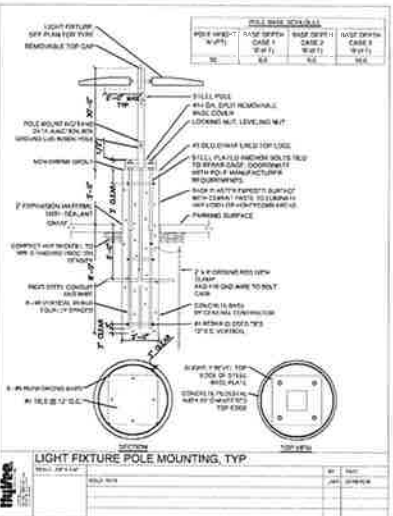
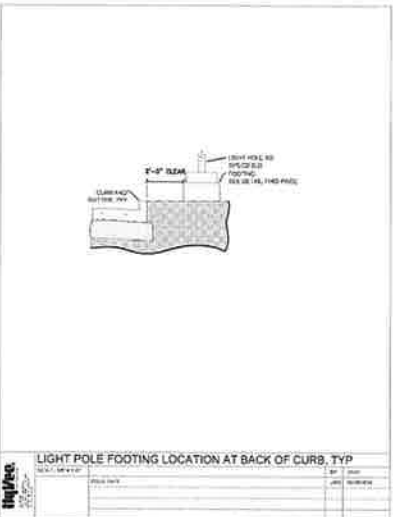
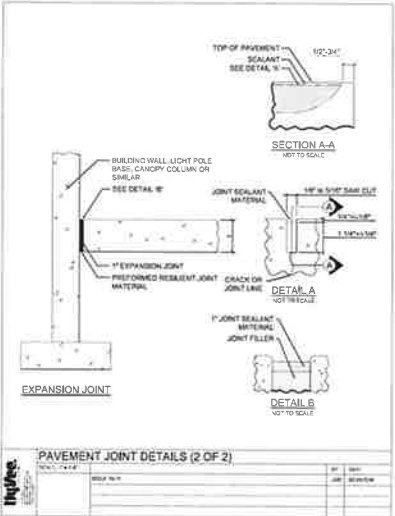
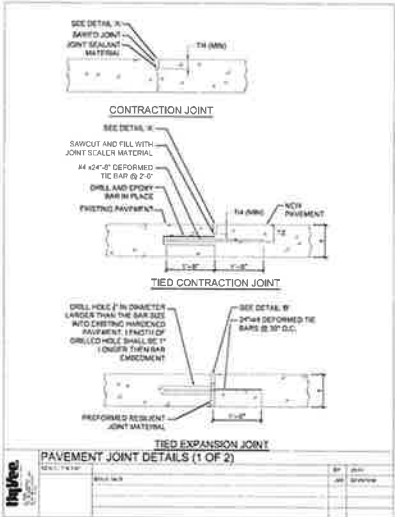
SHEET
C6.3

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NEW BUSINESS-1 Discussion of HyVee Specific

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JSD Professional Services, Inc.
Engineering • Surveying • Planning
1111 LEXINGTON BLVD, SUITE 100
MADISON, WI 53703
(608) 261-1000
WWW.JSDPS.COM

HyVee
HY-VEE INC.
300 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50308
P 319-287-2800
F 319-287-2802

HY-VEE WAUNAKEE #1
WOODLAND CREST

REVISIONS	DATE	DRAWN BY
1	01/15/2019	SP - SETH
2	01/15/2019	SP - SETH
3	01/15/2019	SP - SETH
4	01/15/2019	SP - SETH

DETAILS

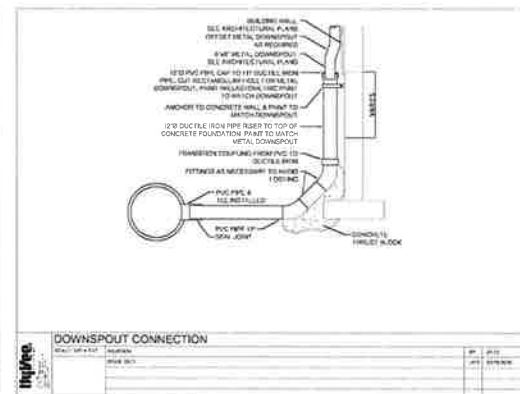
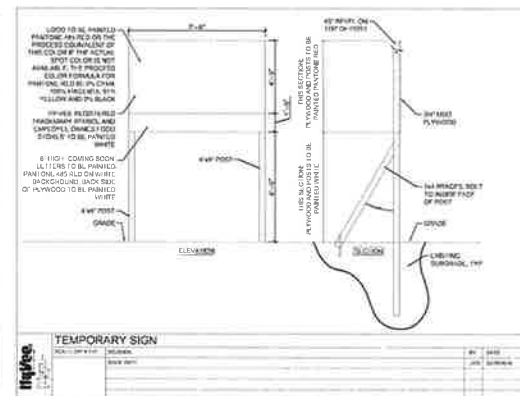
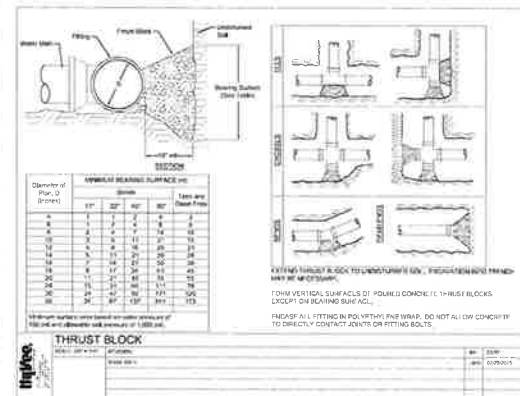
DRAWN BY	DATE
SP - SETH	01/15/2019

SHEET

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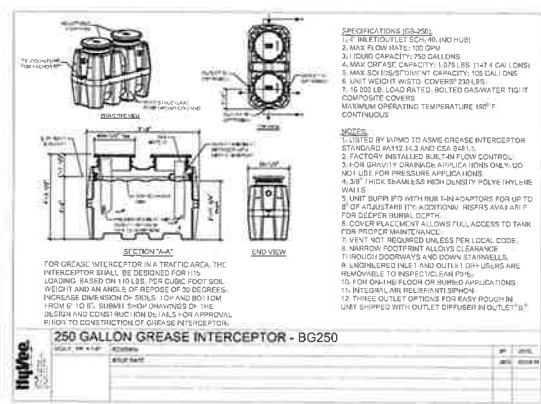
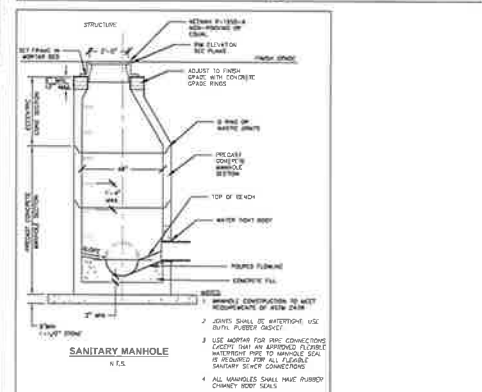
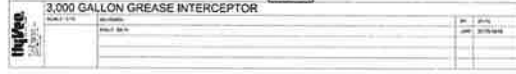
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HY-VEE WAUNAKEE #1
WOODLAND CREST

C6.5

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Hu-Vee.
EMPLOYEE OWNED
HU-VEE, INC.
5820 WESTERN PARKWAY
WEST DES MOINES, IOWA 50265

HY-VEE WAUNAKEE #1
WOODLAND CREST

REVISONS	DATE	CHANGÉ PAR
1	08-11-2018	CLM/MSB/MSB
2	08-12-2018	CLM/MSB/MSB
3	08-12-2018	CLM/MSB/MSB
4	08-12-2018	CLM/MSB/MSB

DETAILS

DRAWN BY C. A. WILSON	DATE 2/15/2018
SCALE	
SHEET	

C6.6

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WAUNAKEE/WESTPORT JOINT PLAN COMMISSION SUMMARY SHEET

MEETING DATE: 05/13/2019

ITEM: NEW BUSINESS

TITLE: Update on Festival Foods Specific Implementation Plan

ISSUE SUMMARY: Festival Foods wishes to present updated plans as a result of working through the process with staff. This item will be on the June 10 agenda for formal action including a public hearing.

STAFF RECOMMENDATION: None at this time.

RECOMMENDED MOTION: No action necessary.

ATTACHMENT(S): SIP Plans

FOR MORE INFORMATION CONTACT: kevin@waunakee.com or (608) 849-6276



Proposed Festival Foods

WAUNAKEE, WISCONSIN

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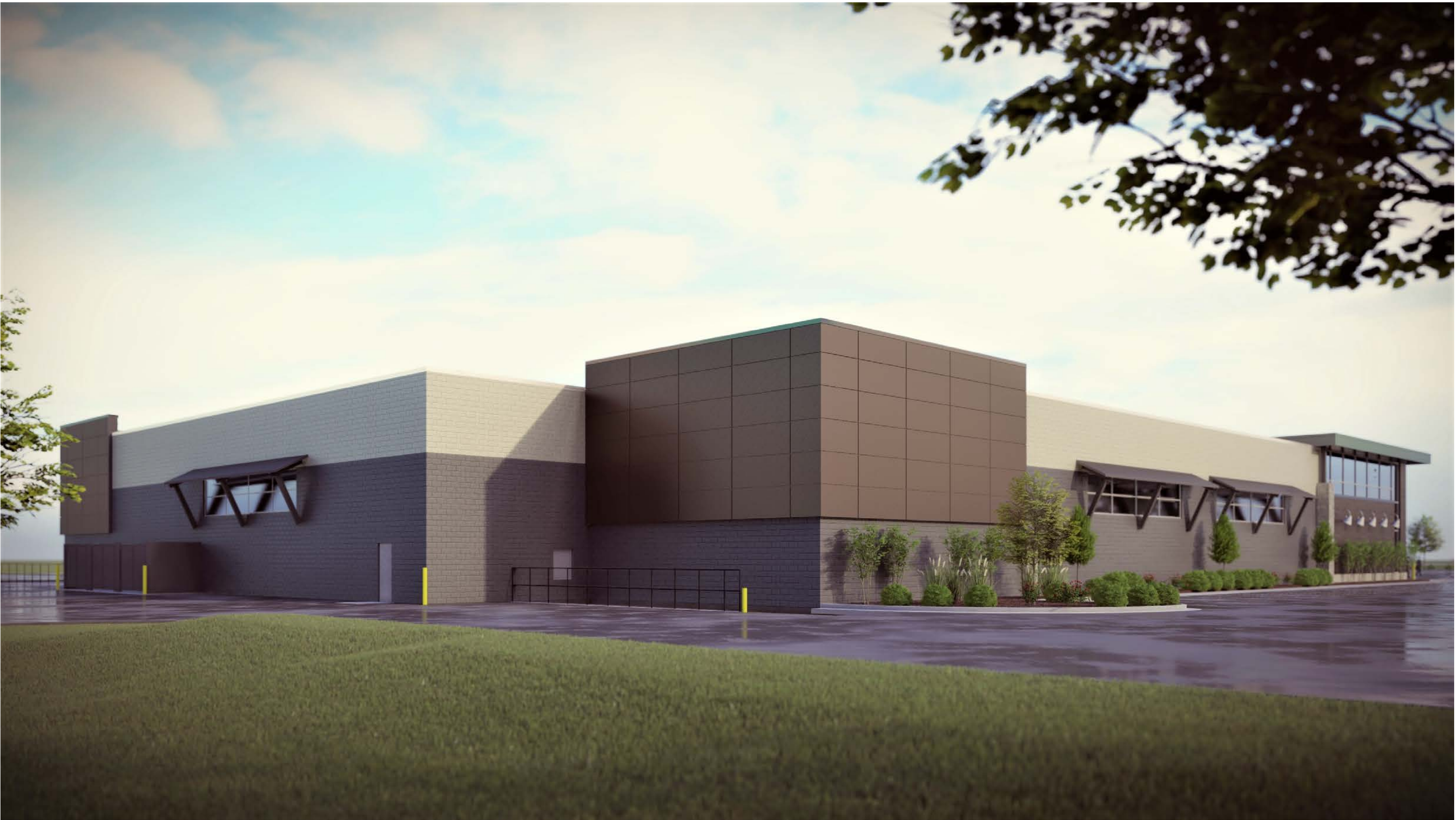


Proposed Festival Foods

WAUNAKEE, WISCONSIN

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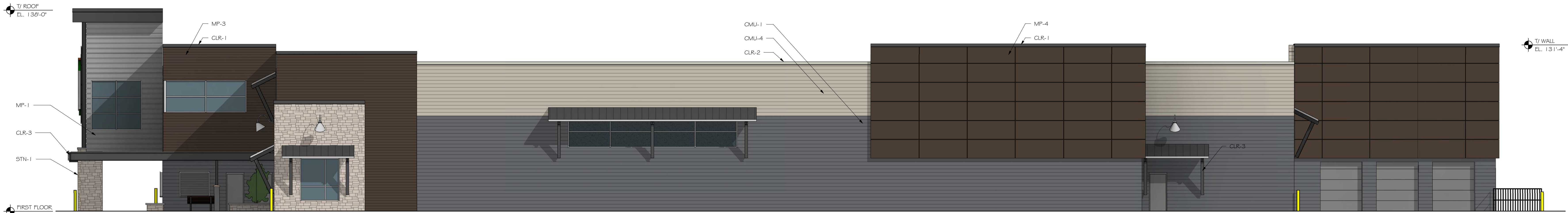


Proposed Festival Foods

WAUNAKEE, WISCONSIN

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NORTH ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND	
NOTE: THE MATERIALS LISTED BELOW ARE THE BASIS OF DESIGN. SUBCONTRACTORS MAY SUBMIT ALTERNATE MATERIALS, HOWEVER, IT IS THE ARCHITECT'S OPTION TO REJECT OR APPROVE ANY OF THE ALTERNATES SUBMITTED.	
MARK	DESCRIPTION
	ALUMINUM STOREFRONT KAWNEER TRIPAD VERSA-GLAZE 45 IT OR EQUAL 2" x 4 1/2" MINIMUM DIMENSION (PROVIDE CALCULATIONS FOR EACH OPENING) ANODIZED ALUMINUM (CLEAR) 1" THERMALLY BROKEN LOW E GLAZING
CMU-1	SPLIT-FACE CMU COUNTY MATERIALS CORPORATION OR EQUAL SPLIT-FACE RUNNING BOND 1 COAT OF BLOCK FILLER (PRIMER) 2 COATS OF ELASTOMERIC PAINT - SW7068 - GRIZZLE GRAY
CMU-2	SMOOTH-FACE CMU COUNTY MATERIALS CORPORATION OR EQUAL SMOOTH-FACE RUNNING BOND 1 COAT OF BLOCK FILLER (PRIMER) 2 COATS OF ELASTOMERIC PAINT - SW7051 - ANALYTICAL GRAY
CMU-3	SMOOTH-FACE CMU COUNTY MATERIALS CORPORATION OR EQUAL SMOOTH-FACE RUNNING BOND 1 COAT OF BLOCK FILLER (PRIMER) 2 COATS OF ELASTOMERIC PAINT - SW7068 - GRIZZLE GRAY
CMU-4	SPLIT-FACE CMU COUNTY MATERIALS CORPORATION OR EQUAL SPLIT-FACE RUNNING BOND 1 COAT OF BLOCK FILLER (PRIMER) 2 COATS OF ELASTOMERIC PAINT - SW7051 - ANALYTICAL GRAY
STN-1	STONE VENEER EDEN - VALDERS STONE EDEN MACHINE CUT VENEER
MP-1	METAL WALL PANEL RIB PROFILE ALUMINUM WALL PANEL - HORIZONTAL FAC. CLAD "SILVER"
MP-2	METAL WALL PANEL ALUMINUM WALL PANEL - 2" PROJECTION, 1" REVEAL CUSTOM COLOR GREEN
MP-3	METAL WALL PANEL ALUMINUM WALL PANEL - 6" V-GROOVE PLANK WOOD GRAIN PATTERN - ITALIAN ROSEWOOD
MP-4	METAL WALL PANEL ALUMINUM WALL PANEL - 2" PROJECTION, 1" REVEAL BROWN
CLR-1	PREFINISHED METAL FACTORY FINISH UNACQUAD "CHARCOAL"
CLR-2	PREFINISHED METAL FACTORY FINISH UNACQUAD "SANDSTONE"
CLR-3	PAINTED STEEL PAINT - SW7068 - GRIZZLE GRAY

Revisions	Description	Date
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- ORNAMENTAL TREES (DECIDUOUS)**
- SFS Spring Flurry Serviceberry
 - ABS Autumn Brilliance Serviceberry
 - FAH Firespire American Hornbeam
 - AH American Hornbeam
 - TCH Thornless Cockspur Hawthorn
 - AFC Adams Flowering Crabapple
 - PFC Prairie Fire Flowering Crabapple
 - RJC Red Jewel Flowering Crabapple
 - CFP Chanticleer Flowering Pear
 - ITL Ivory Silk Japanese Tree Lilac

- EVERGREEN TREES**
- CF Concolor Fir
 - HCI Hetzi Columnar Juniper (upright)
 - NS Norway Spruce
 - BHS Black Hills Spruce
 - SP Scots Pine

- EVERGREEN SHRUBS**
- GMB Green Mountain Boxwood
 - GVB Green Velvet Boxwood
 - SGJ Sea Green Juniper
 - KCPJ Kallay Compact Pfritzer Juniper
 - TYT Taunton Intermediate Yew

- DECIDUOUS SHRUBS**
- BRC Brilliant Red Chokeberry
 - IH Incredible Hydrangea
 - GLS Gro Low Fragrant Sumac
 - PPSR Pink Pavement Series Rose
 - AWS Anthony Waterer Spirea
 - GMS Goldmund Spirea
 - MKL Miss Kim Dwarf Lilac
 - AJAV Autumn Jazz Arrowwood Viburnum
 - MV Mohican Viburnum
 - WRW Wine & Roses Compact Wiegela

- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass
 - PDS Prairie Dropseed

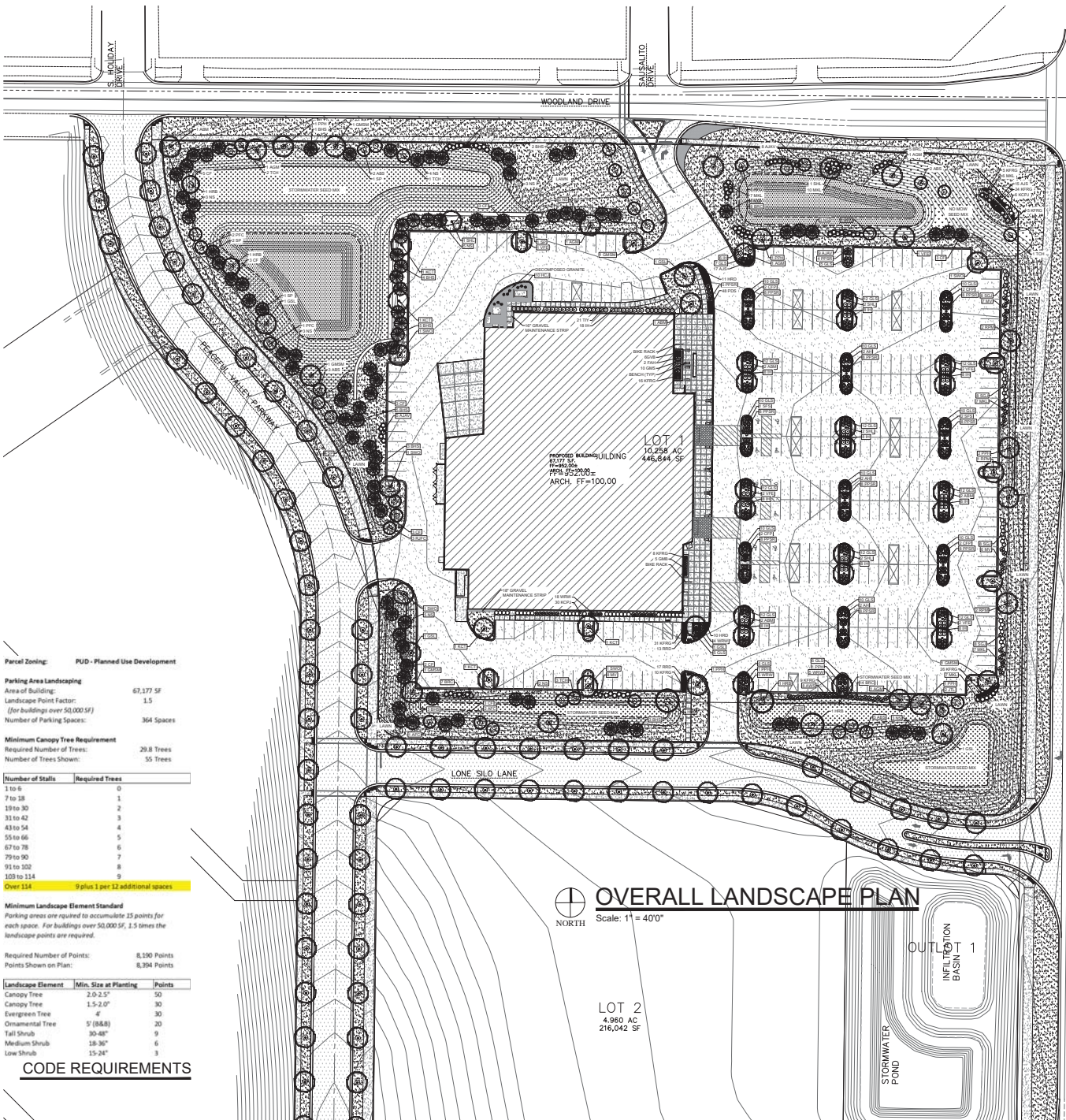
- HERBACEOUS PERENNIALS**
- HRD Happy Returns Daylily
 - RDR Rosy Returns Daylily
 - AJS Autumn Joy Sedum

PLANT ABBREVIATIONS

Botanical Name	Common Name	PLS Dimensions/Rate
Permanent Grasses/Sedges/Reeds:		
Carex crinita	Ornamental Crested Sedge	1.00
Carex pensilvanica	Brilliant Crested Sedge	1.00
Carex lasiocarpa	Hardstem Sedge	2.00
Carex sparganoides v. corymbosa	Rough-Clustered Sedge	2.00
Carex vulpinoidea	Brown Fox Sedge	6.00
Eleocharis acicularis	Blunt Spike Rush	0.50
Elymus virginicus	Virginia Wild Rye	12.00
Glyceria striata	Fine Leaf Meadow Grass	1.25
Arrhenathera elatior	Common Rush	1.00
Ammophila	Tammy's Rush	0.25
Lernaea virginica	Royal Coat Grass	1.00
Panicum virgatum	Silver Grass	2.00
Scirpus atrovirens	Dark Green Rush	1.00
Scirpus capillaris	Wool Grass	0.50
Scirpus pinnatifidus	River Bulrush	0.25
Scirpus setosus	Great Bulrush	6.00
Total		45.75
Temporary Cover:		
Avena sativa	Common Oat	300.00
Lolium multiflorum	Annual Ryegrass	110.00
Total		410.00
Palms:		
Alseodaphne	Water Plantain (Various Mix)	4.25
Asplenium nidus	Swamp Plantain	1.50
Boltonia	Boltonia (Various Mix)	2.00
Hieracium autumnale	Swampweed	0.50
Melissa virginica	Melissa Flower	1.00
Polygonum perfoliatum	Stitch Wrenworts	0.50
Ruellia brittanica	Flower	4.00
Ruellia brittanica	Swamp Black-eyed Susan	1.00
Scilla maritima	Broad Leaf Arrowhead	1.00
Senecio	Wild Senecio	1.00
Thalictrum flavum	Purple Meadow Rue	2.00
Total		21.25
Approximate area of coverage:		
Total area (SF) of coverage surrounding 5000 ponds:		14,070
Total area (Acres) of coverage surrounding 5000 ponds:		1.38

STORMWATER SEED MIX

CODE REQUIREMENTS



OVERALL LANDSCAPE PLAN
Scale: 1" = 40'0"

LOT 2
4,960 AC
216,042 SF

OVERALL SITE LANDSCAPE PLAN

EXCEL
ALWAYS A BETTER PLAN
100 Comstock Drive
Fond Du Lac, WI 54935
Phone: (920) 925-8800
www.EXCELENGINEER.com

PROJECT INFORMATION

PROPOSED GROCERY DEVELOPMENT FOR:
FESTIVAL FOODS, INC.
CTY RD Q • WAUNAKEE, WI 53597

PRELIMINARY DATES
March 15, 2019
May 6, 2019

JOB NUMBER
1868540

SHEET NUMBER
L100

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE

P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph:262.639.9733
plandesign@heller.com
www.wedavidheller.com



SFS	Spring Flurry Serviceberry
ABS	Autumn Brilliance Serviceberry
FAH	Firespire American Hornbeam
AH	American Hornbeam
TCH	Thornless Cockspur Hawthorn
AFC	Adams Flowering Crabapple
PFC	Prairie Fire Flowering Crabapple
RJFC	Red Jewel Flowering Crabapple
CFP	Chanticleer Flowering Pear
JTL	Ivory Silk Japanese Tree Lilac

CF	Concolor Fir
HCI	Hetzl Columnar Juniper (upright)
NS	Norway Spruce
BHS	Black Hills Spruce
SP	Scots Pine

GMB	Green Mountain Boxwood
GVB	Green Velvet Boxwood
SGJ	Sea Green Juniper
KCPJ	Kallay Compact Pfitzer Juniper
TIY	Taunton Intermediate Yew

BRC	Brilliant Red Chokeberry
IH	Incredibly Hydrangea
GLS	Gro Low Fragrant Sumac
PPSR	Pink Pavement Series Rose
AW5	Anthony Waterer Spirea
GMS	Goldmound Spirea
MKL	Miss Kim Dwarf Lilac
AJAW	Autumn Jazz Arrowwood Viburnum
MV	Mohican Viburnum
WRW	Wine & Roses Compact Wiegela

KFRG Karl Foerster Feather Reed Grass
PDS Prairie Dropseed

HRD	Happy Returns Daylily
RRD	Rosy Returns Daylily
AJS	Autumn Joy Sedum

PLANT ABBREVIATIONS



ENLARGED LANDSCAPE PLAN

Scale: 1" = 20'0"

ENLARGED LANDSCAPE PLAN



P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
david@wdavidheller.com
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ARCHITECTS • ENGINEERS • SURVEYORS
Always a Better Plan
100 Camelot Drive
Fond Du Lac, WI 54935
Phone: (920) 926-9800
www.FXCELENGINEER.com

PROJECT INFORMATION

PROPOSED GROCERY DEVELOPMENT FOR:
FESTIVAL FOODS, INC.
CTY RD Q • WAUNAKEE, WI 53597

PROCEEDINGS OF

PRELIMINARY DATA

March 15, 2011
May 6, 2011

[illegible]

JOB NUMBER

186854

SHEET NUM

10

L101

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SFS	Spring Flurry Serviceberry
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AH	American Hornbeam
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WRW	Wine & Roses Compact Wiegela

KFRG Karl Foerster Feather Reed Grass
PDS Prairie Dropseed

HRD	Happy Returns Daylilly
RRD	Rosy Returns Daylilly
AJS	Autumn Joy Sedum

PROPOSED BUILDING BUILDING
67,177 S.F.
FF=952.00±
ARCH. FF=100.00
FF=952.00±
ARCH. FF=100.00



Scale: 1" = 20'0"

ENLARGED LANDSCAPE PLAN



OR:
C.

PROPOSED GROCERY DEVELOPMENT FOR:
FESTIVAL FOODS, INC.
CTY RD Q • WAUNAKEE, WI 53597

PROFESSIONAL SEAL

PRELIMINARY DATES	
March 15, 2019	NOI
May 3, 2019	

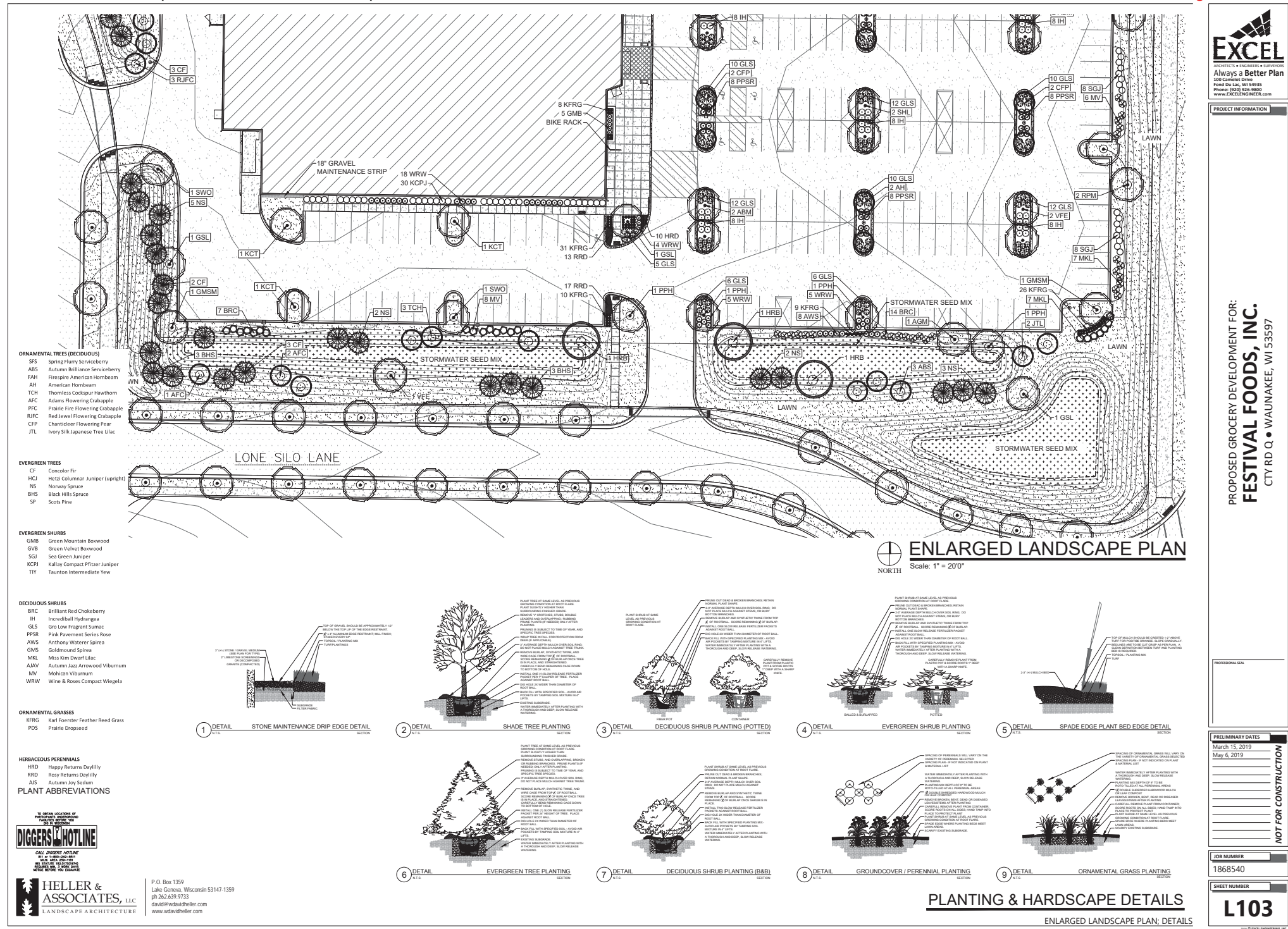
March 15, 2019
May 3, 2019

NOT FOR CONSTRUCTION

JOB NUMBER
1868540

SHEET NUMBER

L102





1. Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
2. Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
3. All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
4. Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
5. Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
6. Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable burl wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top $\frac{1}{2}$ of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, secure the remaining $\frac{1}{2}$ of the burlap and remove the twine. Provide three slow release fertilizer for each tree planted.
7. Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is $\frac{1}{2}$ full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5 diameter (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
8. Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a $\frac{1}{2}$ mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are $\frac{1}{2}$ full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
9. Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of straw/reed hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
10. Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clear definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
11. Plant Preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-fill the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Contaminated and balled & burlapped plant material should be back-filled with amended soil:
- Per 100 SF of bed area (Soil Amendment composition):
- $\frac{1}{2}$ CY Peat Moss or Mushroom Compost
 - $\frac{1}{4}$ CY blended/pulverized Topsoil
 - $\frac{1}{4}$ CY composted manure
- In roto-filled beds only also include in above mixture:
- 2 lbs Starter Fertilizer
12. Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones $\frac{1}{2}$ " and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.
13. Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in Item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary as the discretion of the Landscape Contractor on higher responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a sealer may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.
- An acceptable quality seed installation is defined as having:
- No bare spots larger than one (1) square foot
 - No more than 10% of the total area with bare areas larger than one (1) square foot
 - A uniform coverage through all turf areas
14. No-Mow seed areas: "No-Mow" fine fescue seed mix with annual ryegrass nurse crop (available at Cedar Creek Seed Farm 888-313-6807, or Prairie Nurseries 800-296-3679) or approved equivalent mix from a reputable seed mix provider. Apply at 20 lbs per acre or at rate recommended by supplier. Prepare seed bed and soil as specified in item #13 above.
15. Native Prairie Seed Mix / Stormwater Seed Mix: Native seed mixes as listed on the Plant and Material List or other seeding schedules outlined on the landscape plan set. Seed mixes available from Prairie Nurseries 800-296-3679 or JF New 608-848-1789 or approved equivalent mix from a reputable seed mix provider. Apply at rates specified herein, or per supplier recommendation. Prepare soil and seed bed as in item #13 above.
16. Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
17. The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and dead-heading.
18. Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE GENERAL NOTES

PLANT & MATERIAL SCHEDULE: FESTIVAL FOODS PARCEL

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CALIPER/HEIGHT	ROOT	SPECIFICATION / NOTES	POINT VALUE FOR EACH	PLANT SPACING	MATURE SPREAD
Proposed Landscape Materials									
SHADE TREES (DECIDUOUS)									
ABM	9	Acer freemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	50		
PM	5	Acer rubrum 'Frank's'	Redpointe Maple	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	50		
GSM	5	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	50		
HRB	5	Betula nigra 'Heritage'	Heritage Riverbirch	7"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance	50		
PH	8	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	50		
SHL	8	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	50		
ADM	5	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	50		
ICT	5	Kentucky coffee tree	Kentucky Coffee Tree	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	50		
SWO	5	Quercus bicolor	Swamp White Oak	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	50		
OSL	5	Tilia cordata 'Greenspire'	Greenspire Linden	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	50		
VFE	9	Ulmus americana 'Valley Forge'	Valley Forge American Elm	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	50		
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CALIPER/HEIGHT	ROOT	SPECIFICATION / NOTES	POINT VALUE FOR EACH	PLANT SPACING	MATURE SPREAD
ORNAMENTAL TREES (DECIDUOUS)									
SFS	3	Ameiacher laevis 'SFS Aris'	Spring Flurry Serviceberry	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	20		
ABS	7	Ameiacher agrippifolia 'Autumn Brilliance'	Autumn Brilliance Serviceberry	7"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance	20		
FB	2	Carpinus caroliniana 'N. Upright'	Firespine American Hornbeam	1.5"	B&B	Straight central leader, full and even crown. Prune only after planting	20		
FB	1	Carpinus caroliniana	American Hornbeam	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	20		
TCH	7	Cotoneaster cuneifolius 'Thomas'	Thomas' Cotoneaster Hawthorn	7"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance	20		
AHC	5	Malus 'Adams'	Adams' Flowering Crabapple	7"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance	20		
PCF	3	Malus 'Prairie Fire'	Prairie Fire Flowering Crabapple	7"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance	20		20'
DUC	8	Malus 'Newgold'	Red Jewel Flowering Crabapple	7"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance	20		20'
PFC	3	Pyrus calleryana 'Chanticleer'	Chanticleer Flowering Pear	7"	B&B	Straight central leader, full and even crown. Prune only after planting	20		
JTL	4	Syringa reticulata 'Tony Silk'	Ivory Silk Japanese Tree Lilac	7"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance	20		
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	HEIGHT	ROOT	SPECIFICATION / NOTES	POINT VALUE FOR EACH	PLANT SPACING	MATURE SPREAD
EVERGREEN TREES									
CF	25	Abies concolor	Concolor Fir	7'	B&B	Evenly shaped tree with branching to the ground	30	15'	
HCI	30	Juniperus chinensis 'Hetzl Columnaris'	Hetzl Columnar Juniper (upright)	9"	B&B	Evenly shaped tree with branching to the ground	30	42"	
NS	30	Pinus strobus	Norway Spruce	7"	B&B	Evenly shaped tree with branching to the ground	30	15'	
BHS	26	Pinus glauca 'Venusta'	Black Hills Spruce	7"	B&B	Evenly shaped tree with branching to the ground	30	15'	
SP	6	Pinus sylvestris	Scots Pine	7"	B&B	Evenly shaped tree with branching to the ground	30	15'	
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	SHRUB SIZE (HEIGHT)	ROOT/ CONT.	SPECIFICATION / NOTES	POINT VALUE FOR EACH	PLANT SPACING	MATURE SPREAD
EVERGREEN SHRUBS									
GMB	5	Buxus 'Green Mountain'	Green Mountain Boxwood	30"	B&B	Full rounded well branched shrub	6	24"	42"
GVB	6	Buxus 'Green Velvet'	Green Velvet Boxwood	15"-18"	Cont.	Full rounded well branched shrub	3	24-30"	36"
SGI	32	Juniperus chinensis 'Sea Green'	Sea Green Juniper	45	Cont.	Full rounded well branched shrub	6	54"	72"
KCP	36	Juniperus chinensis 'Kallay'	Kallay Compact Pfitzer Juniper	45	Cont.	Full rounded well branched shrub	6	48"	60"
TYT	21	Taxus media 'Tadpole'	Tadpole Intermediate Yew	24"	B&B	Full rounded well branched shrub	6	42"	60"
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	SHRUB SIZE (HEIGHT)	ROOT/ CONT.	SPECIFICATION / NOTES	POINT VALUE FOR EACH	PLANT SPACING	MATURE SPREAD
DECIDUOUS SHRUBS									
BRB	44	Amelanchier alnifolia 'Brilliantissima'	Brilliant Red Chokeberry	42"	Cont.	Full, well rooted plant, evenly shaped	9	48"	36"
HR	96	Hydrangea arborescens 'Abelwood'	Incredible! Hydrangea	45	Cont.	Full, well rooted plant, evenly shaped	6	48"	48"
GLS	227	Rhus aromatica 'Variegata'	Blue aromatic Variegated Sumac	45	Cont.	Full, well rooted plant, evenly shaped	3	42"	48"
PFSR	81	Rosa rugosa 'Pink Pavement'	Pink Pavement Series Rose	18"	Cont.	Full, well rooted plant, evenly shaped	6	42"	48"
AKS	8	Spirea alba 'Anthony Waterer'	Anthony Waterer Spirea	24"	Cont.	Full, well rooted plant, evenly shaped	6	36"	36"
OMS	30	Spirea alba 'Goldmound'	Goldmound Spirea	24"	Cont.	Full, well rooted plant, evenly shaped	6	36"	36"
MKL	44	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	24"	Cont.	Full, well rooted plant, evenly shaped	9	60"	60"
AAV	22	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Arrowwood Viburnum	42"	Cont.	Full, well rooted plant, evenly shaped	9	60"	60"
WV	21	Viburnum lentago 'Molokini'	Molokini Viburnum	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance	9	60"	72"
WRW	32	Wigelia florida 'Wine & Roses'	Wine & Roses Compact Wigelia	24"	Cont.	Full, well rooted plant, evenly shaped	6	42"	42"
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CONTAINER SIZE	CONT.	SPECIFICATION / NOTES	POINT VALUE FOR EACH	PLANT SPACING	MATURE SPREAD
ORNAMENTAL GRASSES									
KFGS	341	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	41	Cont.	Full, well rooted plant	0	15-18"	18"
PDS	48	Sporobolus heterophyllus	Prairie Dropseed	41	Cont.	Full, well rooted plant	0	18"	36"
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CONTAINER SIZE	CONT.	SPECIFICATION / NOTES	POINT VALUE FOR EACH	PLANT SPACING	MATURE SPREAD
HERBACEOUS PERENNIALS									
HRB	21	Hemerocallis 'Happy Returns'	Happy Returns Daylily	41	Cont.	Full, well rooted plant, evenly shaped	0	18"	
RBD	30	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily	41	Cont.	Full, well rooted plant, evenly shaped	0	18"	
AJS	32	Sedum spectabile 'Autumn Joy'	Autumn Joy Sedum	41	Cont.	Full, well rooted plant, evenly shaped	0	18"	
PLAN KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CONTAINER SIZE	CONT.	SPECIFICATION / NOTES	PLANT SPACING	MATURE SPREAD	
LAWN	17350	Lawn Establishment Area / Grading Area		5Y		Reinders Deluxe 50 Seed Mix (800-765-3301)			
		Erosion Matting for sloped seeded areas	see plan for area delineation			EroTef 5075 Erosion Control Blanket (or approved equal)			
		Stormwater Seed Mix	see plan for area delineation			Cardno/JF New Stormwater Seed Mix			
	760	Low Mow Meadow Mix	see plan for area delineation			Reinders No Mow / Low-Grow Seed Mix (800-765-3301)			
Hardscape Materials									
30		Decomposed Granite Surface (Rust/Brown)	Area: 700 SF	TF	2" depth				
30		Aluminum Edge Restraint (gray) areas	Permalux Profile 3/16"x5.5" Black Oxide Finish	LN					
700		Landscape Fabric	SF						
210		Shredded Hardwood Mulch (1" depth)	Area: 22,600 SF	CY		Bark Mulch; apply Preemergent after installation of mulch			
139		Soil Amendments (2" depth)	Area: 22,600 SF	CY					
533		Pulverized Topsoil (Lawn Area)	Area: 173,140 SF	CY					
139		Pulverized Topsoil (2" over bed areas)	Area: 22,600 SF	CY					
*Landscape counts & quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan, including the graphics and notations depicted therein, shall govern.									
Seed Compositions:									
Reinders Deluxe 50 Seed Mix (800-765-3301):									
20% Kentucky Bluegrass (Soft Quality)									
15% New York Kentucky Bluegrass									
15% Blue Kentucky Bluegrass									
25% Creeping Red Fescue									
Reinders No Mow / Low-Grow Seed Mix (800-765-3301):									
40% Spartan II Hard Fescue									
40% Quattro Sheep Fescue									
15% TMR Annual Ryegrass									
Seed at rate of 150-200# per acre									
Seed at a rate of 4-6# per 1000 SF									



PROJECT INFORMATION

PROPOSED GROCERY DEVELOPMENT FOR: FESTIVAL FOODS, INC. CTV RD Q • WAUNAKEE, WI 53597

PROFESSIONAL SEAL

PRELIMINARY DATES
March 15, 2019
May 6, 2019

NOT FOR CONSTRUCTION

JOB NUMBER
1868540

SHEET NUMBER

L104

LANDSCAPE NOTES, SCHEDULES



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PROJECT INFORMATION

PROPOSED GROCERY DEVELOPMENT FOR:
FESTIVAL FOODS, INC.
CTY RD Q • WAUNAKEE, WI 53597

PROFESSIONAL SEAL

PRELIMINARY DATES
JAN. 7, 2019
JAN. 8, 2019
FEB. 28, 2019
MAR. 15, 2019
APR. 12, 2019
APR. 24, 2019
MAY 6, 2019

NOT FOR CONSTRUCTION

JOB NUMBER
1868540

SHEET NUMBER

C1.2

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NOTE:
SEE ARCH PLANS FOR BOLLARD DETAILS.

PAVING KEY:

STANDARD ASPHALT

HEAVY ASPHALT

GENERAL PROJECT NOTES

1. NO FLOODPLAIN ON SITE PER FEMA MAPS.

2. NO WETLANDS PRESENT PER WDNR MAPS.

SITE INFORMATION:

PROPERTY AREA:

AREA = 446,844 S.F. (10.26 ACRES).

EXISTING ZONING:

AGRICULTURE A1

PROPOSED ZONING:

PUD

PROPOSED USE:

GROCERY

AREA OF SITE DISTURBANCE:

10.26 ACRES

SETBACKS:

PAVEMENT: FRONT = 15'
SIDE = 15'
REAR = 15'

PROPOSED BUILDING HEIGHT:

38' (MAX. HEIGHT 45')

PARKING REQUIRED:

1 SPACE PER 200 S.F. FLOOR AREA (336 SPACES REQ.)
IN ACCORDANCE WITH VILLAGE CODE SEC. 133-995

PARKING PROVIDED:

349 SPACES (13 H.C. ACCESSIBLE)

HANDICAP STALLS REQUIRED:

8, HANDICAP STALLS PROVIDED: 13

HOURS OF OPERATION:

24 HOURS

EXISTING SITE DATA	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.26	446,844	
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.00	0	0.0%
TOTAL IMPERVIOUS	0.00	0	0.0%
LANDSCAPE/ OPEN SPACE	10.26	446,844	100.0%

PROPOSED SITE DATA	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.26	446,844	
BUILDING FLOOR AREA	1.54	67,148	15.0%
PAVEMENT (ASP. & CONC.)	4.56	198,626	44.5%
TOTAL IMPERVIOUS	6.10	265,774	59.5%
LANDSCAPE/ OPEN SPACE	4.16	181,070	40.5%

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